

Corporate and Community Services Department

Council Headquarters, Eastwood Park, Giffnock, East Renfrewshire, G46 6UG

Phone: 0141 577 3000 Fax: 0141 577 3834

website: www.eastrenfrewshire.gov.uk

Date: 31 July 2020

When calling please ask for: Paul O'Neil (Tel No. 0141 577 3011)

e-mail:- paul.o'neil@eastrenfrewshire.gov.uk

TO: Councillors A Ireland (Chair), B Cunningham (Vice Chair), A Convery, J Fletcher, J McLean, S Miller and J Swift.

LOCAL REVIEW BODY

A meeting of the Local Review Body will be held on **Wednesday, 5 August 2020 at 2.30pm or if later at the conclusion of the Planning Applications Committee which begins at 2.00pm.**

The agenda of business is as shown below.

Please note this is a virtual meeting.

Caroline Innes

C INNES

DEPUTY CHIEF EXECUTIVE

AGENDA

1. Report apologies for absence.
2. Declarations of Interest.
3. Notice of Review – Review 2020/06 – Erection of upper storey extension above existing extension at rear at 40 Acacia Drive, Barrhead (Ref No: 2019/0698/TP) - Report by Deputy Chief Executive (copy attached, pages 3 - 44).
4. Notice of Review – Review 2020/07 – Erection of one and a half storey rear extension with raising of ridge height; installation of dormer window at front at 32 Dorian Drive, Clarkston (Ref No:- 2020/0062/TP) - Report by Deputy Chief Executive (copy attached, pages 45 - 102).
5. Notice of Review – Review 2020/08 - Installation of dormer windows at front and sides; installation of hipped roof over existing rear extension in place of flat roof at 23 Balmeg Avenue, Giffnock (Ref No:- 2020/0151/TP) - Report by Deputy Chief Executive (copy attached, pages 103 - 138).
- 6./...

- 6. Notice of Review – Review 2020/09 - Erection of one and a half storey rear extension forming gable end with associated raising of ridge height at 52 Melford Avenue, Giffnock (Ref No:- 2020/0100/TP) - Report by Deputy Chief Executive (copy attached, pages 139 - 190).**

EAST RENFREWSHIRE COUNCILLOCAL REVIEW BODY5 August 2020Report by Deputy Chief ExecutiveREVIEW OF CASE - REVIEW/2020/06ERECTION OF UPPER STOREY EXTENSION ABOVE EXISTING EXTENSIONAT REAR OF 40 ACACIA DRIVE, BARRHEAD**PURPOSE OF REPORT**

1. The purpose of the report is to present the information currently available to allow a review of the decision taken by officers, in terms of the Scheme of Delegation made in terms of Section 43A of the Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 in respect of the application detailed below.

DETAILS OF APPLICATION

2. Application type: Full Planning Permission (Ref No:- 2019/0698/TP).
- Applicant: Mrs A Walsh.
- Proposal: Erection of upper storey extension above existing extension at rear.
- Location: 40 Acacia Drive, Barrhead G78 1PW.
- Council Area/Ward: Barrhead, Liboside and Uplawmoor (Ward 1).

REASON FOR REQUESTING REVIEW

3. The applicant has requested a review on the grounds that the Council's Appointed Officer refused the application.

RECOMMENDATIONS

4. The Local Review Body is asked to:-
- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
- (i) it proceeds to determine whether the decision taken in respect of the application under review should be upheld, reversed or varied; and
- (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed.

- (b) In the event that further procedure is required to allow it to determine the review, consider:-
 - (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

BACKGROUND

5. At the meeting of the Council on 29 April 2009, consideration was given to a report by the Director of Environment seeking the adoption of a new Scheme of Delegation in terms of the new Section 43A of the Town and Country Planning (Scotland) Act 1997, subject to approval of the scheme by Scottish Ministers.

6. The report provided details of the new hierarchy of developments that took effect from 6 April 2009 explaining that the Scheme of Delegation related to those applications within the “local development” category as set out in the Town and Country Planning (Hierarchy of Development) (Scotland) Regulations 2009, but would in future be determined by an “appointed officer”. In the Council’s case this would be either the Director of Environment or the Head of Roads, Planning and Transportation Service now designated the Head of Environment (Chief Planning Officer).

7. The report highlighted that historically appeals against planning decisions were dealt with by Scottish Ministers. However, following the introduction of the new planning provisions which came into effect on 3 August 2009 all appeals against decisions made in respect of local developments under delegated powers would be heard by a Local Review Body. The Local Review Body would also deal with cases where the appointed officer had failed to determine an application within two months from the date it was lodged.

NOTICE OF REVIEW – STATEMENT OF REASONS FOR REQUIRING THE REVIEW

8. The applicant in submitting the review has stated the reasons for requiring the review of the determination of the application. A copy of the applicant’s Notice of Review and Statement of Reasons is attached as Appendix 5.

9. The applicant is entitled to state a preference for the procedure (or combination of procedures) to be followed by the Local Review Body in the determination of the review and has indicated that her stated preference is the assessment of the review documents only, with no further procedure.

10. The Local Review Body is not bound to accede to the applicant’s request as to how it will determine the review and will itself decide what procedure will be used in this regard.

11. However, at the meeting of the Local Review Body on 10 August 2016, it was decided that the Local Review Body would carry out unaccompanied site inspections for every review case it received prior to the cases being given initial consideration at a meeting of the Local Review Body.

12. Given the current restrictions that are in place associated with the Covid-19 pandemic it will not be possible for members of the Local Review Body to visit the site to carry out their inspection in accordance with the aforementioned decision.

13. To overcome this issue, discussions have taken place with Councillor Ireland, Chair of the Local Review Body following which it was decided that as alternative to members of the Local Review Body visiting the site, the Planning Adviser to the Local Review Body will visit the site prior to the meeting during which he will film the application site. The recording will then be made available to the members of the Local Review Body to view in advance of the meeting which will be held on Wednesday, 5 August at 2.30pm.

INFORMATION AVAILABLE TO ALLOW REVIEW OF APPLICATION

14. Section 43B of the Planning etc (Scotland) Act 2006 restricts the ability of parties to introduce new material at the review stage. The Local Review Body is advised that the focus of the review should, therefore, be on the material which was before the officer who dealt with the application under the Scheme of Delegation.

15. The information detailed below is appended to this report to assist the Local Review Body in carrying out the review of the decision taken by the Appointed Officer:-

- (a) Application for planning permission – Appendix 1 (Pages 7 - 16);
- (b) Report of Handling by the planning officer under the Scheme of Delegation - Appendix 2 (Pages 17 - 26);
- (c) Decision notice and reasons for refusal - Appendix 3 (Pages 27 - 30); and
- (d) A copy of the applicant's Notice of Review and Statement of Reasons - Appendix 4 (Pages 31 - 38).

16. The applicant has also submitted the drawings listed below and these are attached as Appendix 5 (Pages 39 - 44).

- (a) Existing Elevations and Floor Plans;
- (b) Refused – Location Plan; and
- (c) Refused – Elevation and Floor Plans as Proposed.

17. The Local Review Body is advised that initial consultation responses and representations received if any, relating to the application will be listed in the planning officer's Report of Handling.

18. All the documents referred to in this report can be viewed online on the Council's website at www.eastrenfrewshire.gov.uk.

RECOMMENDATIONS

19. The Local Review Body is asked to:-

- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
 - (i) it proceeds to determine whether the decisions taken in respect of the application under review should be upheld, reversed or varied; and
 - (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed.

- (b) In the event that further procedure is required to allow it to determine the review, consider:-
- (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

Report Author: Paul O'Neil

Director - Caroline Innes, Deputy Chief Executive

Paul O'Neil, Committee Services Officer
e-mail: paul.o'neil@eastrenfrewshire.gov.uk
Tel: 0141 577 3011

Date:- July 2020

**APPLICATION
FOR
PLANNING PERMISSION**

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100195018-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Type of Application

What is this application for? Please select one of the following: *

- Application for planning permission (including changes of use and surface mineral working).
- Application for planning permission in principle.
- Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- Application for Approval of Matters specified in conditions.

Description of Proposal

Please describe the proposal including any change of use: * (Max 500 characters)

To build on top of existing single storey at rear of property

Is this a temporary permission? *

Yes No

If a change of use is to be included in the proposal has it already taken place?

Yes No

(Answer 'No' if there is no change of use.) *

Has the work already been started and/or completed? *

No Yes – Started Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	CAFO Designs Ltd		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	Caroline	Building Name:	44
Last Name: *	Foy	Building Number:	<input type="text"/>
Telephone Number: *	07540969931	Address 1 (Street): *	Victoria Place
Extension Number:	<input type="text"/>	Address 2:	Barrhead
Mobile Number:	<input type="text"/>	Town/City: *	Glasgow
Fax Number:	<input type="text"/>	Country: *	East Renfrewshire
		Postcode: *	G78 1GA
Email Address: *	caroline@cafodesigns.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Mrs	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	A	Building Number:	40
Last Name: *	Walsh	Address 1 (Street): *	Acacia Drive
Company/Organisation:	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	Barrhead
Extension Number:	<input type="text"/>	Country: *	Scotland
Mobile Number:	<input type="text"/>	Postcode: *	G78 1PW
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text"/>		

Site Address Details

Planning Authority:

East Renfrewshire Council

Full postal address of the site (including postcode where available):

Address 1:

40 ACACIA DRIVE

Address 2:

BARRHEAD

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

GLASGOW

Post Code:

G78 1PW

Please identify/describe the location of the site or sites

Northing

660135

Easting

249464

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

Yes No

Site Area

Please state the site area:

350.00

Please state the measurement type used:

Hectares (ha) Square Metres (sq.m)

Existing Use

Please describe the current or most recent use: * (Max 500 characters)

Domestic

Access and Parking

Are you proposing a new altered vehicle access to or from a public road? *

Yes No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any change to public paths, public rights of way or affecting any public right of access? * Yes No

If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?

How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *

Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).

Water Supply and Drainage Arrangements

Will your proposal require new or altered water supply or drainage arrangements? * Yes No

Are you proposing to connect to the public drainage network (eg. to an existing sewer)? *

- Yes – connecting to public drainage network
 No – proposing to make private drainage arrangements
 Not Applicable – only arrangements for water supply required

Do your proposals make provision for sustainable drainage of surface water?? * Yes No
(e.g. SUDS arrangements) *

Note:-

Please include details of SUDS arrangements on your plans

Selecting 'No' to the above question means that you could be in breach of Environmental legislation.

Are you proposing to connect to the public water supply network? *

- Yes
 No, using a private water supply
 No connection required

If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).

Assessment of Flood Risk

Is the site within an area of known risk of flooding? * Yes No Don't Know

If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.

Do you think your proposal may increase the flood risk elsewhere? * Yes No Don't Know

Trees

Are there any trees on or adjacent to the application site? * Yes No

If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste (including recycling)? * Yes No

If Yes or No, please provide further details: * (Max 500 characters)

As Existing

Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? *

Yes No

All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? *

Yes No

Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013? *

Yes No Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

Yes No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

Yes No

Is any of the land part of an agricultural holding? *

Yes No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: Caroline Foy

On behalf of: Mrs A Walsh

Date: 29/10/2019

Please tick here to certify this Certificate. *

Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? *

Yes No Not applicable to this application

b) If this is an application for planning permission or planning permission in principle where there is a crown interest in the land, have you provided a statement to that effect? *

Yes No Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? *

Yes No Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? *

Yes No Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? *

Yes No Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? *

Yes No Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- Site Layout Plan or Block plan.
- Elevations.
- Floor plans.
- Cross sections.
- Roof plan.
- Master Plan/Framework Plan.
- Landscape plan.
- Photographs and/or photomontages.
- Other.

If Other, please specify: * (Max 500 characters)

Provide copies of the following documents if applicable:

- | | |
|--|--|
| A copy of an Environmental Statement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Design Statement or Design and Access Statement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Flood Risk Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Drainage/SUDS layout. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Transport Assessment or Travel Plan | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Contaminated Land Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Habitat Survey. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Processing Agreement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |

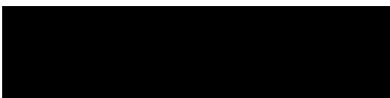
Other Statements (please specify). (Max 500 characters)

Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mrs Caroline Foy
Declaration Date: 29/10/2019

Payment Details



Created: 29/10/2019 22:53

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REPORT OF HANDLING

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REPORT OF HANDLING

Reference: 2019/0698/TP

Date Registered: 3rd December 2019

Application Type: Full Planning Permission

This application is a Local Development

Ward: 1 -Barrhead, Liboside And Uplawmoor

Co-ordinates: 249464/:660135

Applicant/Agent:

Applicant:

Mrs A Walsh

40 Acacia Drive

Barrhead

Scotland

G78 1PW

Agent:

Caroline Foy

44 Victoria Place

Barrhead

Glasgow

East Renfrewshire

G78 1GA

Proposal: Erection of upper storey extension above existing extension at rear

Location: 40 Acacia Drive

Barrhead

East Renfrewshire

G78 1PW

CONSULTATIONS/COMMENTS: None.

PUBLICITY: None.

SITE NOTICES: None.

SITE HISTORY:

2005/0425/TP Erection of rear Approved Subject 04.07.2005
conservatory to Conditions

2005/0734/TP Erection of single storey Approved Subject 31.10.2005
extension to rear of dwellinghouse to Conditions

REPRESENTATIONS: No representations have been received.

DEVELOPMENT PLAN & GOVERNMENT GUIDANCE: See Appendix 1

SUPPORTING REPORTS: No reports have been submitted for consideration as part of this application.

ASSESSMENT:

The site is an existing two storey semi-detached dwellinghouse on the north east side of Acacia Drive. It consists of a front and rear garden as well as a driveway and detached garage along the side (west). The house is finished in facing brick, dry dash render, concrete roof tiles and upvc window/door frames. There is a single storey rear extension.

The surrounding area is characterised by similar style properties. A single storey rear extension has been erected on the adjoining house (No.38) and this house is at a lower level than the application site.

The proposal is for the erection of an upper floor extension above the existing single storey extension. It is to have a hipped roof and to be set down from the existing roof ridge. In terms of size it is to measure approx. 3.6m in depth, 5.7m in width and tie into the existing eaves.

The proposal is required to be assessed against the Local Development Plan (LDP), in particular Policies D1 and D14, and the Supplementary Planning Guidance (SPG) - Householder Design Guide. These require that extensions should not dominate or overwhelm the original form or appearance of the house and that they should be in keeping in terms of scale, size, massing and design of the original building and the locality. Furthermore, extensions should have the roof design as the house and not to adversely impact on the amenity of neighbouring properties by unreasonably restricting their sunlight and privacy. In particular, the SPG requires two storey extensions to be set off by 2m from the adjoining boundaries to lessen the impact on neighbouring properties.

The highest part of roof of the extension is to be set down from the existing roof ridge and the eaves line is to tie into the existing eaves line. The style of the roof would be compatible with the existing. The scale of the resultant two storey extension would not result overdevelopment of the house or site. These elements of the proposal comply with Policies D1 and D14 of the LDP and the SPG.

The impact of the proposal on neighbouring properties also has to be considered. The proposal would result in a two storey extension which is not set off the boundary by 2m with the adjoining house. Consequently the proposal would create a dominant and overwhelming visual impact on the adjoining property, bearing in mind that the application site is at a higher level, and this in turn will diminish residential amenity. The adjoining house also sits lower than the application site and this would exacerbate the visual dominance of the proposal on this neighbour. It is therefore contrary to Policy D1 and the Supplementary Planning Guidance: Householder Design Guide.

The submitted drawings show a window being installed at upper floor level on the side elevation of the original house. This is to be in a bathroom and would not facilitate direct overlooking into windows in the neighbouring property at No.42. The window proposed along the rear elevation would also not result in any greater overlooking than the existing windows along the rear elevation.

On the upper floor of the resultant extension a window would face towards the rear garden of No.42. This is to be in an en-suite however the drawings do not show whether this is to have obscure glazing. If the proposal was otherwise acceptable this window would require obscure glazing and this could be addressed by a condition, if approved.

There would be some degree of overshadowing on the adjoining neighbour at No.38 however this would only be in the late afternoon/evenings when the sun is lower and would therefore not be significant. The extension is considered a sufficient distance away from the neighbouring site at No.42 to not result in adverse overshadowing.

In conclusion while elements of the proposal comply with local development plan policy these do not in their own justify approval of the application. Indeed the extension would adversely impact the amenity of the resident at No.38. The proposal is therefore contrary to Policy D1 of the LDP and the requirements of the SPG. It is considered that there are no significant material considerations that outweigh the provisions of the Development Plan, it is recommended that planning permission is refused.

RECOMMENDATION: Refuse

PLANNING OBLIGATIONS: None.

REASONS FOR REFUSAL:

1. The proposal is contrary to Policy D1 of the adopted East Renfrewshire Local Development Plan and the Supplementary Planning Guidance: Householder Design Guide as the resultant two storey rear extension would be within 2m of the boundary of the adjoining property and therefore create a visually dominant and overwhelming impact on this property.

ADDITIONAL NOTES: None

ADDED VALUE: None

BACKGROUND PAPERS:

Further information on background papers can be obtained from Mrs Zara Foster on 0141 577 3128.

Ref. No.: 2019/0698/TP
(ZAFO)

DATE: 30th January 2020

DIRECTOR OF ENVIRONMENT

Reference: 2019/0698/TP - Appendix 1

DEVELOPMENT PLAN:

Strategic Development Plan

This proposal raises no strategic issues in terms of the Glasgow and the Clyde Valley Strategic Development Plan and therefore the East Renfrewshire Local Plan is the relevant policy document

Adopted East Renfrewshire Local Development Plan

Policy D1

Detailed Guidance for all Development

Proposals for development should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. In some cases, where the criteria have not been met, a written justification will be required to assist with assessment.

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. The proposal should be of a size, scale, massing and density that is in keeping with the buildings in the locality and should respect local architecture, building form, design, and materials;
3. The amenity of neighbouring properties should not be adversely affected by unreasonably

- restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Planning Guidance;
4. The development should not impact adversely on landscape character or the green network, involve a significant loss of trees or other important landscape, greenspace or biodiversity features;
 5. Developments should incorporate green infrastructure including access, landscaping, greenspace, water management and Sustainable Urban Drainage Systems at the outset of the design process. Where appropriate, new tree or shrub planting should be incorporated using native species. The physical area of any development covered by impermeable surfaces should be kept to a minimum to assist with flood risk management. Further guidance is contained within the Green Network and Environmental Management Supplementary Planning Guidance;
 6. Development should create safe and secure environments that reduce the scope for anti-social behaviour and fear of crime;
 7. Developments must be designed to meet disability needs and include provision for disabled access within public areas;
 8. The Council will not accept 'backland' development, that is, development without a road frontage;
 9. Parking and access requirements of the Council should be met in all development and appropriate mitigation measures should be introduced to minimise the impact of new development. Development should take account of the principles set out in 'Designing Streets';
 10. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the development;
 11. Developments should include provision for the recycling, storage, collection and composting of waste materials;
 12. Where possible, all waste material arising from construction of the development should be retained on-site for use as part of the new development;
 13. Where applicable, new development should take into account the legacy of former mining activity;
 14. Development should enhance the opportunity for and access to sustainable transportation, including provision for bus infrastructure, and particularly walking and cycle opportunities including cycle parking and provision of facilities such as showers/lockers, all where appropriate. The Council will not support development on railway solums or other development that would remove opportunities to enhance pedestrian and cycle access unless mitigation measures have been demonstrated;
 15. The Council requires the submission of a design statement for national and major developments. Design statements must also be submitted in cases where a local development relates to a site within a conservation area or Category A listed building in line with Planning Advice Note 68: Design Statements.
 16. Where applicable, developers should explore opportunities for the provision of digital infrastructure to new homes and business premises as an integral part of development.

Policy D14

Extensions to Existing Buildings and Erection of Outbuildings and Garages

Any extensions must complement the existing character of the property, particularly in terms of style, form and materials.

The size, scale and height of any development must be appropriate to the existing building. In most circumstances, pitched roofs utilising slates or tiles to match the existing house will be the appropriate roof type. Alternatives, such as flat roofs or green roofs, will be considered on a site specific basis.

Side extensions should not create an unbroken or terraced appearance.

The development should avoid over-development of the site by major loss of existing garden space.

Dormer windows should not in general dominate the existing roof, nor rise above or break the existing ridgeline or hip of the roof, and should be finished in materials to match existing roof finishes.

The above are broad requirements and these are further defined in the Householder Design Guide Supplementary Planning Guidance.

Proposed Local Development Plan 2

Policy D1

Placemaking and Design

Proposals for development within the urban and rural areas should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. Proposals will be assessed against the 6 qualities of a successful place as outlined in SPP, Designing Streets and the Placemaking and Design Supplementary Guidance.

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. The proposal should be appropriate to its location, be high quality and of a size, scale, height, massing and density that is in keeping with the buildings in the locality or appropriate to the existing building and should respect local architecture, building form and design;
3. Respect existing building lines and heights of the locality;
4. Create a well-defined structure of streets, public spaces and buildings;
5. Ensure the use of high quality sustainable and durable materials, colours and finishes that complement existing development and buildings in the locality;
6. Respond to and complement site topography and not impact adversely upon the green belt and landscape character, green networks, features of historic interest, landmarks, vistas, skylines and key gateways. Existing buildings and natural features of suitable quality, should be retained and sensitively integrated into proposals including greenspace, trees and hedgerows;
7. Boundary treatment and landscaping should create a distinctive edge and gateway to the development and reflect local character;
8. Promote permeable and legible places through a clear sustainable movement hierarchy favouring walking, then cycling, public transport, then the private car as forms of movement;
9. Demonstrate connectivity through the site and to surrounding spaces via a network of

- safe, direct, attractive and coherent walking and cycling routes. These must be suitable for all age groups, and levels of agility and mobility to allow for ease of movement from place to place;
10. Demonstrate that safe and functional pedestrian, cycle and vehicular access, and parking facilities and infrastructure, including for disabled and visitor parking, is provided in accordance with the Council's Roads Development Guide. Where appropriate, proposals will be required to provide secure and accessible shelters, lockers, showers and seating and be designed to meet the needs of all users. Cycle parking and facilities should be located in close proximity to the entrances of all buildings to provide convenience and choice for users;
 11. Incorporate integrated and enhance existing green infrastructure assets, such as landscaping, trees and greenspace, water management and SUDs including access and prioritise links to the wider green network as an integral part of the design process from the outset, in accordance with Policies D4 - D6. New green infrastructure must be designed to protect and enhance the habitat and biodiversity of the area and demonstrate a net gain;
 12. There will be a general presumption against all proposals that involve landraising. Where there is a justifiable reason for landraising, proposals must have regard to the scale and visual impact of the resultant changes to the local landscape and amenity. Proposals that adversely impact upon the visual and physical connections through the site and to the surrounding areas will be resisted;
 13. Backland development should be avoided;
 14. Provide safe, secure and welcoming places with buildings and spaces, including open spaces, play areas and landscaping, designed and positioned to reduce the scope for anti-social behaviour and fear of crime, improve natural surveillance, passive overlooking, security and street activity;
 15. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by unreasonably restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Guidance;
 16. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the proposal;
 17. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by noise, dust, pollution and smell or poor air quality;
 18. Ensure buildings and spaces are future proof designed to be easily adaptable and flexible to respond to changing social, environmental, technological, digital and economic conditions;
 19. Incorporate provision for the recycling, storage, collection and composting of waste materials; and
 20. Incorporate the use of sustainable design and construction methods and materials in the layout and design to support a low carbon economy.

Proposals must meet the requirements of any development brief prepared by the Council for an allocated site.

Further detailed guidance and information will be set out in the Placemaking and Design Supplementary Guidance, Householder Design Supplementary Guidance and the Daylight and Sunlight Design Supplementary Guidance.

Policy D1.1

Extensions and Alterations to Existing Buildings for Residential Purposes

Proposals will be assessed against the following criteria:

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. Should complement the scale and character of the existing building, neighbouring properties and their setting, particularly in terms of style, form and materials;
3. The size, scale and height of any development must be appropriate to and not adversely impact or dominate the existing building;
4. Should not create an unbroken or terraced appearance;
5. Where additional bedrooms are proposed or a garage/driveway is being converted to another use other than for the parking of a vehicle, proposals will be required to provide parking in accordance with the Council's Roads Development Guide; and
6. Should avoid over-development of the site by major loss of existing front and rear garden space. No more than 50% of the rear garden should be occupied by the development.

Further detailed information and guidance will be set out in the Householder Design Guide Supplementary Guidance.

GOVERNMENT GUIDANCE: None

Finalised 30/01/20 AC(3)

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**DECISION NOTICE
AND
REASONS FOR REFUSAL**

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**TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
(AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(SCOTLAND) REGULATIONS 2013**

REFUSAL OF PLANNING PERMISSION

Ref. No. **2019/0698/TP**

Applicant:

Mrs A Walsh
40 Acacia Drive
Barrhead
Scotland
G78 1PW

Agent:

Caroline Foy
44 Victoria Place
Barrhead
Glasgow
East Renfrewshire
G78 1GA

With reference to your application which was registered on 3rd December 2019 for planning permission under the abovementioned Act and Regulations for the following development, viz:-

Erection of upper storey extension above existing extension at rear

at: 40 Acacia Drive, Barrhead, East Renfrewshire, G78 1PW

the Council in exercise of their powers under the abovementioned Act and Regulations hereby refuse planning permission for the said development.

The reason(s) for the Council's decision are:-

1. The proposal is contrary to Policy D1 of the adopted East Renfrewshire Local Development Plan and the Supplementary Planning Guidance: Householder Design Guide as the resultant two storey rear extension would be within 2m of the boundary of the adjoining property and therefore create a visually dominant and overwhelming impact on this property.

Dated 30th January 2020



Director of Environment
East Renfrewshire Council
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG
Tel. No. 0141 577 3001

The following drawings/plans have been refused

Plan Description	Drawing Number	Drawing Version	Date on Plan
Location Plan	P-1083-03		
Elevations Proposed	P-1083-02 B		

GUIDANCE NOTE FOR REFUSAL OF LOCAL DEVELOPMENTS DETERMINED UNDER DELEGATED POWERS**REVIEW BY EAST RENFREWSHIRE COUNCIL'S LOCAL REVIEW BODY**

1. If the applicant is aggrieved by a decision to refuse permission (or by an approval subject to conditions), the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. A Notice of Review can be submitted online at www.eplanning.scotland.gov.uk. Please note that beyond the content of the appeal or review forms, **you cannot normally raise new matters** in support of an appeal or review, unless you can demonstrate that the matter could not have been raised before, or that its not being raised before is a consequence of exceptional circumstances. Following submission of the notice, you will receive an acknowledgement letter informing you of the date of the Local Review Body meeting or whether further information is required.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

CONTACT DETAILS

**East Renfrewshire Council
Development Management Service
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG**

**General Inquiry lines 0141 577 3895 or 0141 577 3878
Email planning@eastrenfrewshire.gov.uk**

**NOTICE OF REVIEW
AND
STATEMENT OF REASONS**

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100195018-006

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	<input type="text" value="CAFO Designs Ltd"/>		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	<input type="text" value="Caroline"/>	Building Name:	<input type="text" value="44"/>
Last Name: *	<input type="text" value="Foy"/>	Building Number:	<input type="text"/>
Telephone Number: *	<input type="text" value="07540969931"/>	Address 1 (Street): *	<input type="text" value="Victoria Place"/>
Extension Number:	<input type="text"/>	Address 2:	<input type="text" value="Barrhead"/>
Mobile Number:	<input type="text"/>	Town/City: *	<input type="text" value="Glasgow"/>
Fax Number:	<input type="text"/>	Country: *	<input type="text" value="East Renfrewshire"/>
		Postcode: *	<input type="text" value="G78 1GA"/>
Email Address: *	<input type="text" value="caroline@cafodesigns.co.uk"/>		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mrs"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="A"/>	Building Number:	<input type="text" value="40"/>
Last Name: *	<input type="text" value="Walsh"/>	Address 1 (Street): *	<input type="text" value="Acacia Drive"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text" value="Barrhead"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Glasgow"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="Scotland"/>
Mobile Number:	<input type="text" value=""/>	Postcode: *	<input type="text" value="G78 1PW"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value=""/>		

Site Address Details

Planning Authority:	<input type="text" value="East Renfrewshire Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="40 ACACIA DRIVE"/>
Address 2:	<input type="text" value="BARRHEAD"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="GLASGOW"/>
Post Code:	<input type="text" value="G78 1PW"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="660135"/>	Easting	<input type="text" value="249464"/>
----------	-------------------------------------	---------	-------------------------------------

Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Erection of upper storey extension on existing single storey at rear of property.

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

The proposed application has been refused however, there are at least 3 to 4 properties in the same location/street (including neighbouring property) that have same design and have previously been granted. The planning officer had stated that it could not be granted in case a future buyer of neighbouring property didn't approve of the design. My clients feel that this is an unfair decision as it is being based on future predictions rather than the present situation.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Street view of properties with same designs

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

100195018-003

What date was the application submitted to the planning authority? *

02/12/2019

What date was the decision issued by the planning authority? *

31/01/2020

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

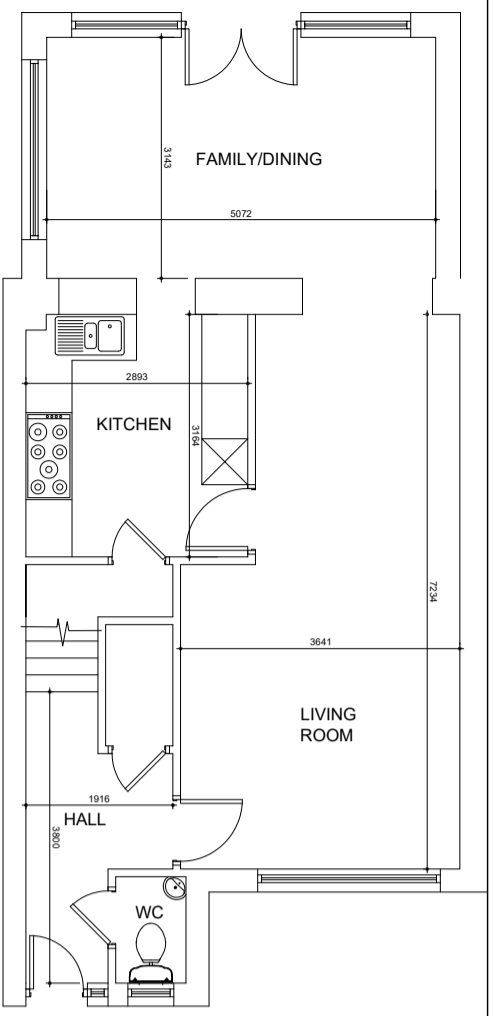
Declaration Name: Mrs Caroline Foy

Declaration Date: 01/03/2020

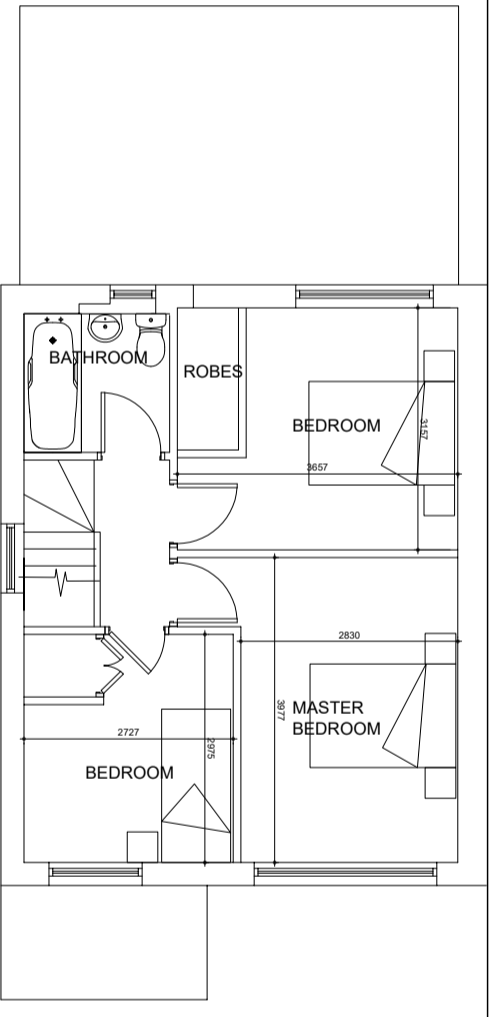
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PLANS/PHOTOGRAPHS/DRAWINGS

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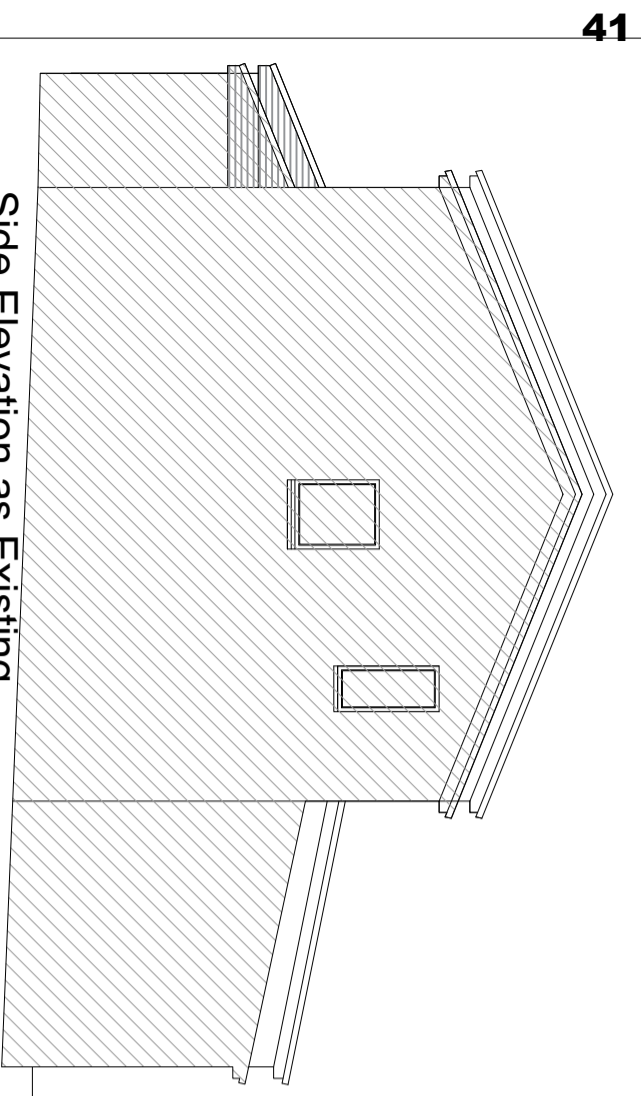
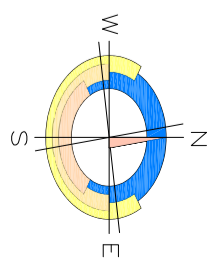


Ground Floor Plan as Existing
Scale 1:100

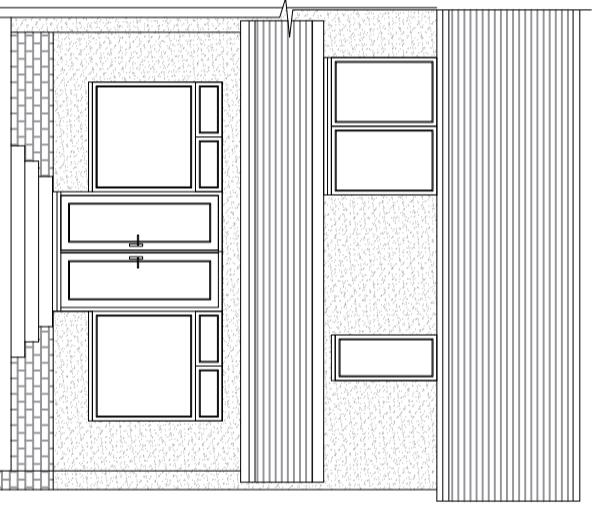


First Floor Plan as Existing
Scale 1:100

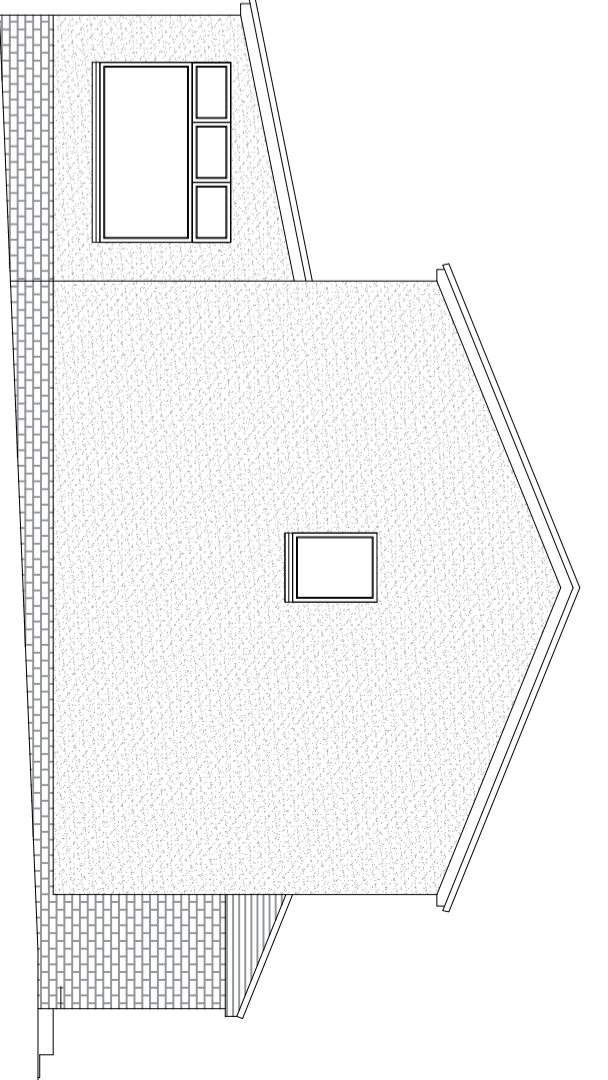
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N.B. any variations between stated dimensions and site dimensions should be reported to the surveyor prior to work being executed.



Side Elevation as Existing
Scale 1:100



Rear Elevation as Existing
Scale 1:100



Side Elevation as Existing
Scale 1:100

41

Notes:

Do not scale from drawing
All dimensions to be confirmed on site prior to proceeding any works and any discrepancies notified to CAFO Designs

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PURPOSE OF ISSUE

PLANNING

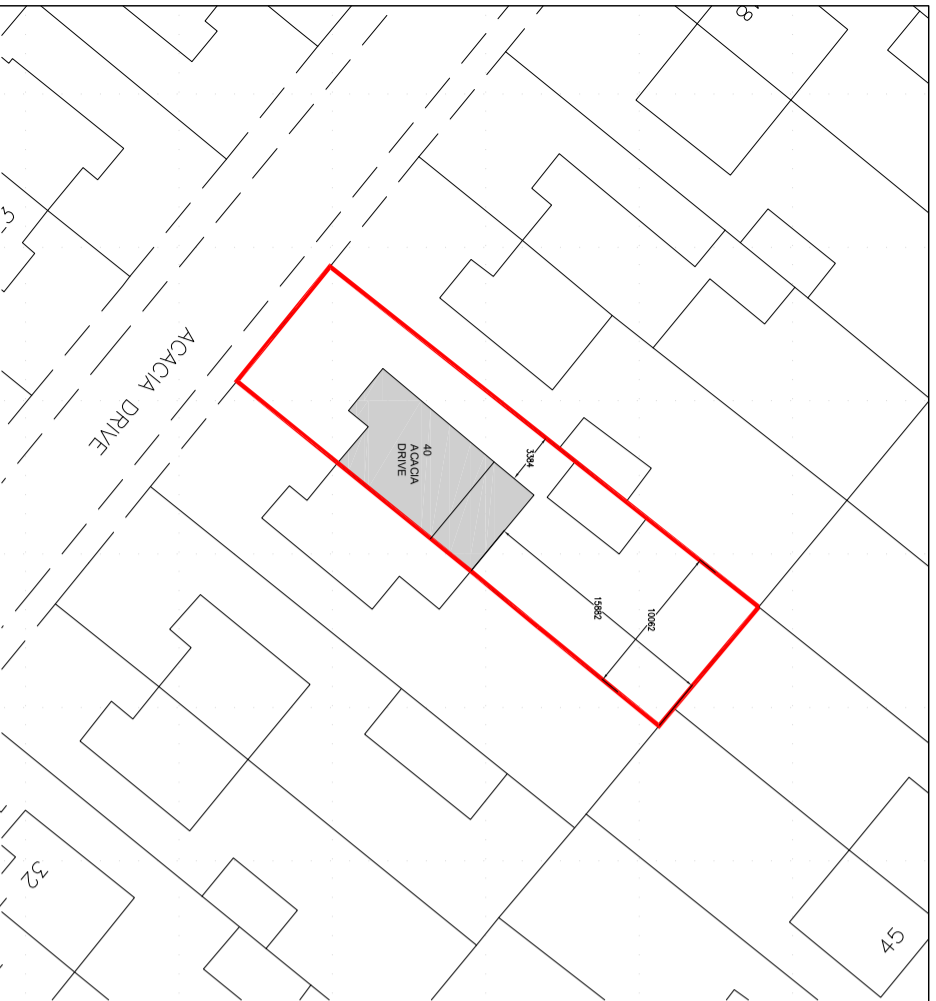
Ref	Date	Revision
B	Dec 19	As planners request
A	Nov 19	As per Planners Request

Client :
Mr and Mrs Walsh
40 Acacia Drive
BARRHEAD
G78

Project :
Mr and Mrs Walsh
40 Acacia Drive
Barrhead
G78

Title : Floor Plans as Existing	
Job No : 10083	Drawing No : P-1083-01
Date : Aug 19	Scale :
Rev : A	Drawn by : CF
Checked by :	

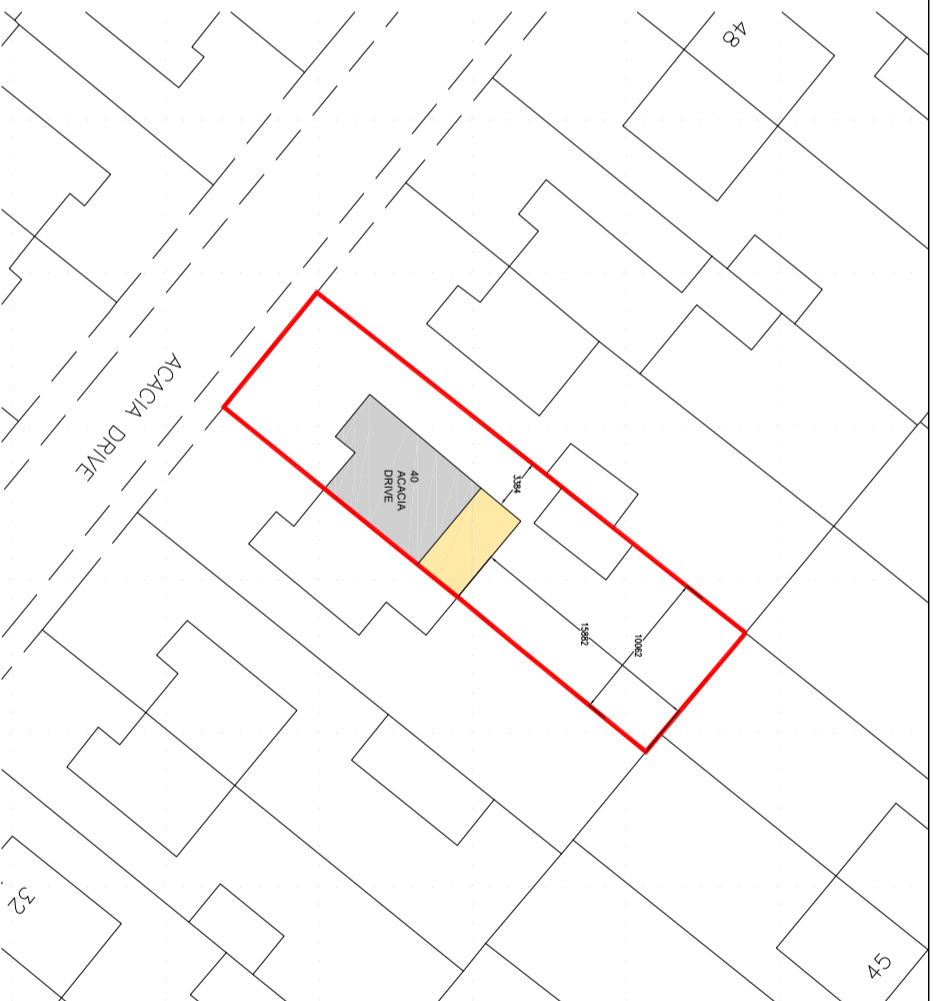




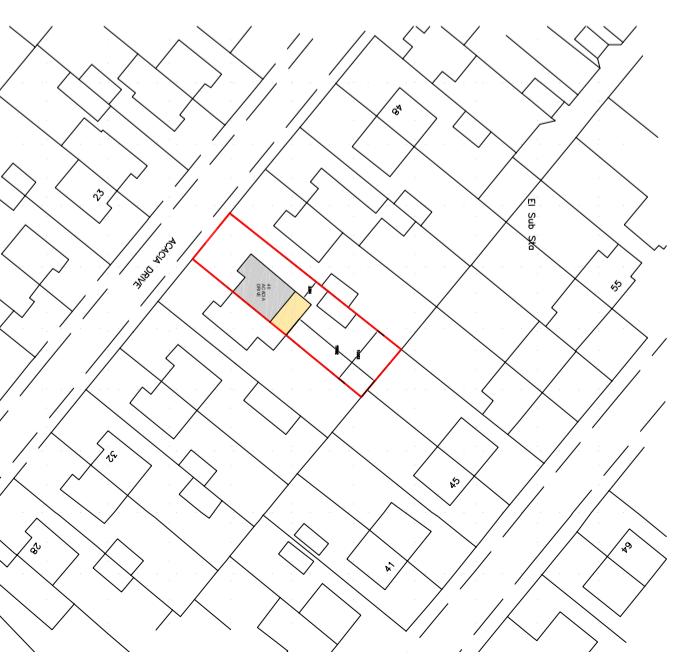
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Location Plan as Existing
Scale 1:1250

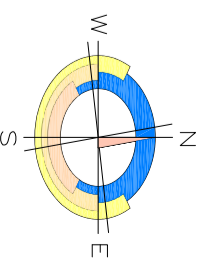


Block Plan as Proposed
Scale 1:500



Location Plan as Proposed
Scale 1:1250

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PURPOSE OF ISSUE
Planning

Ref	Date	Revision	By

Client :
**Mr and Mrs Walsh
40 Acacia Drive
BARRHEAD
G78**

Project :
**Mr and Mrs Walsh
40 Acacia Drive
Barrhead
G78**

Title :
Block and Location Plan

Job No :
10083

Drawing No :
P-1083-03

Date :
Aug 19

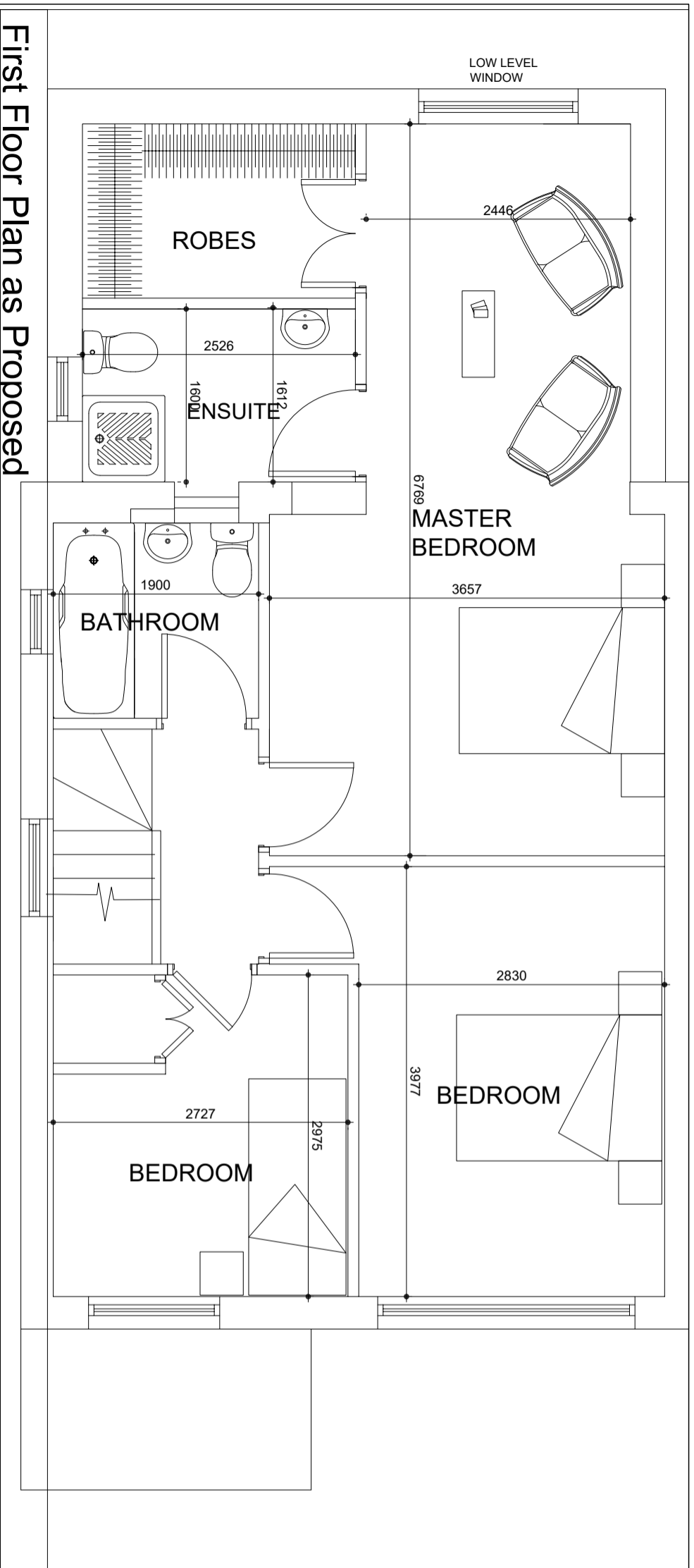
Rev :
CF

Drawn by :
CF

Checked by :

Scale :

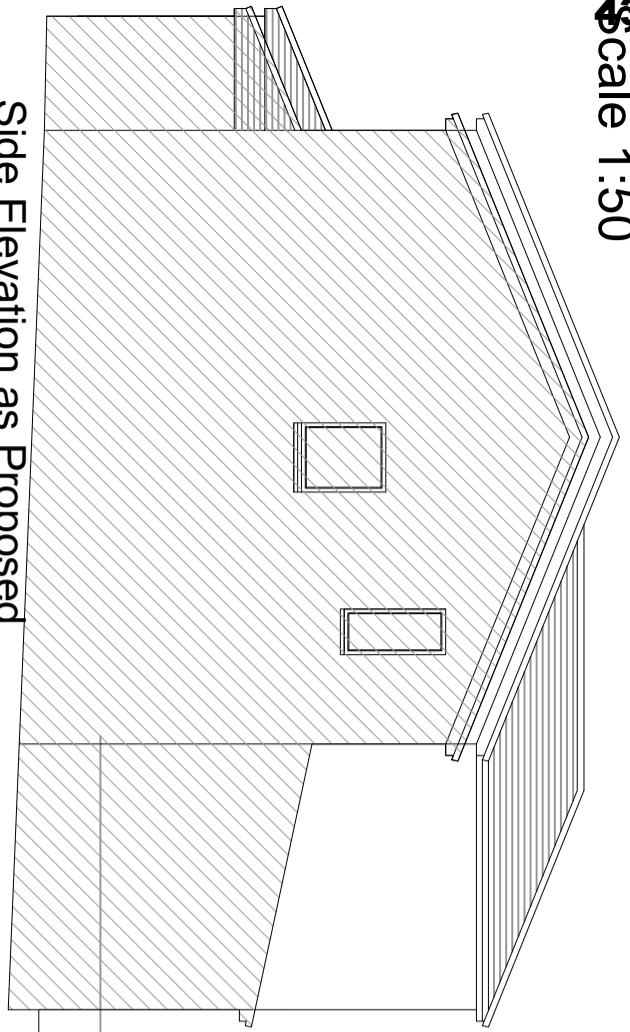
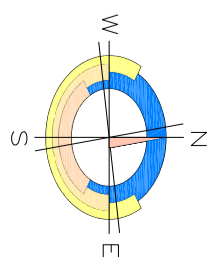




First Floor Plan as Proposed

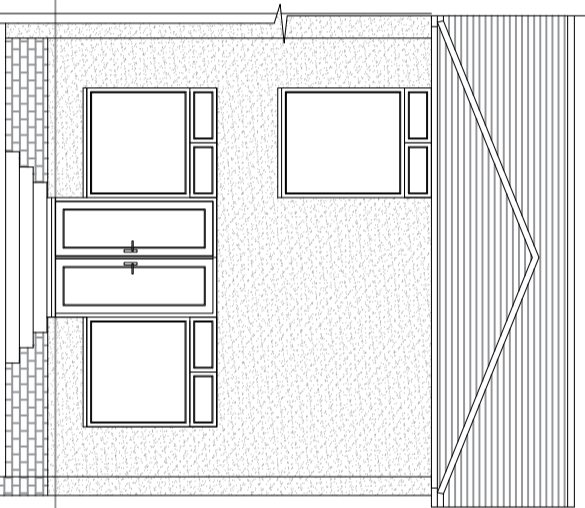
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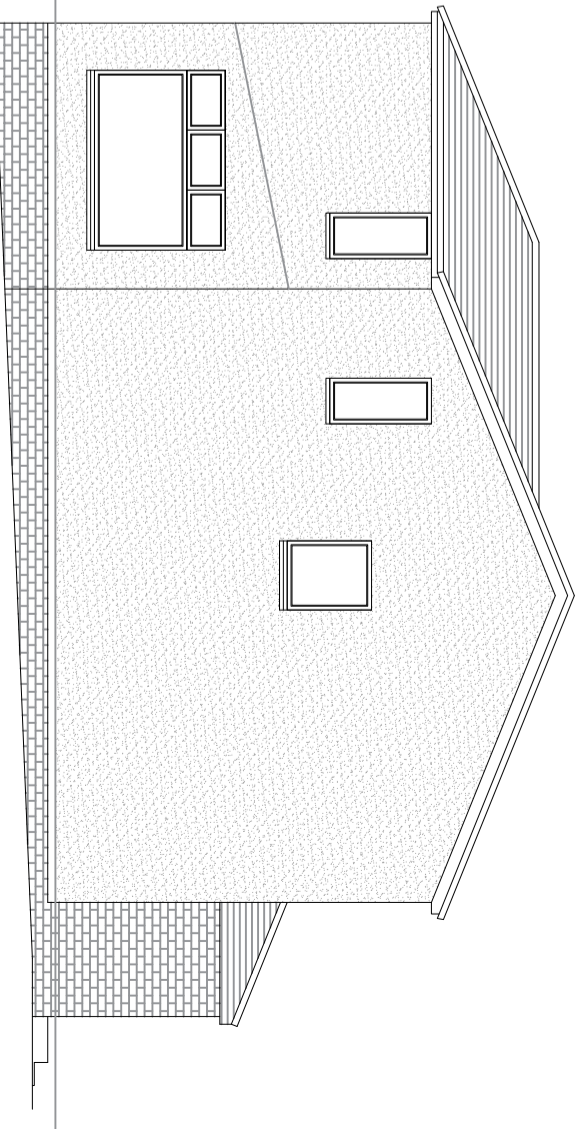
Side Elevation as Proposed

Scale 1:100



Rear Elevation as Proposed

Scale 1:100



Side Elevation as Proposed

Scale 1:100

Notes:

Do not scale from drawing
 All dimensions to be confirmed on site prior to proceeding any works and any discrepancies notified to CAFO Designs

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PURPOSE OF ISSUE

PLANNING

Ref	Date	Revision
B	Dec 19	As per planners request
A	Nov 19	As per planners request

Client :
 Mr and Mrs Walsh
 40 Acacia Drive
 BARRHEAD
 G78

Project :
 Mr and Mrs Walsh
 40 Acacia Drive
 Barrhead
 G78

Title :
 Plans and Elevations as Proposed

Job No : 10083
Drawing No : P-1083-02
Date : Aug 19
Rev : A
Drawn by : CF
Checked by :



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EAST RENFREWSHIRE COUNCILLOCAL REVIEW BODY5 August 2020Report by Deputy Chief ExecutiveREVIEW OF CASE - REVIEW/2020/07ERECTION OF ONE AND A HALF STOREY REAR EXTENSION WITH RAISING OF
RIDGE HEIGHT; INSTALLATION OF DORMER WINDOW AT FRONT
OF 32 DORIAN DRIVE, CLARKSTON**PURPOSE OF REPORT**

1. The purpose of the report is to present the information currently available to allow a review of the decision taken by officers, in terms of the Scheme of Delegation made in terms of Section 43A of the Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 in respect of the application detailed below.

DETAILS OF APPLICATION

2. Application type: Full Planning Permission (Ref No:- 2020/0062/TP).
Applicant: Mrs Judith Burnside.
Proposal: Erection of one and a half storey rear extension with raising of ridge height; installation of dormer window at front.
Location: 32 Dorian Drive, Clarkston G76 7NP

Council Area/Ward: Clarkston, Netherlee and Williamwood (Ward 4).

REASON FOR REQUESTING REVIEW

3. The applicant has requested a review on the grounds that the Council's Appointed Officer refused the application.

RECOMMENDATIONS

4. The Local Review Body is asked to:-
- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
 - (i) it proceeds to determine whether the decision taken in respect of the application under review should be upheld, reversed or varied; and
 - (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed.

- (b) In the event that further procedure is required to allow it to determine the review, consider:-
 - (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

BACKGROUND

5. At the meeting of the Council on 29 April 2009, consideration was given to a report by the Director of Environment seeking the adoption of a new Scheme of Delegation in terms of the new Section 43A of the Town and Country Planning (Scotland) Act 1997, subject to approval of the scheme by Scottish Ministers.

6. The report provided details of the new hierarchy of developments that took effect from 6 April 2009 explaining that the Scheme of Delegation related to those applications within the “local development” category as set out in the Town and Country Planning (Hierarchy of Development) (Scotland) Regulations 2009, but would in future be determined by an “appointed officer”. In the Council’s case this would be either the Director of Environment or the Head of Roads, Planning and Transportation Service now designated the Head of Environment (Chief Planning Officer).

7. The report highlighted that historically appeals against planning decisions were dealt with by Scottish Ministers. However, following the introduction of the new planning provisions which came into effect on 3 August 2009 all appeals against decisions made in respect of local developments under delegated powers would be heard by a Local Review Body. The Local Review Body would also deal with cases where the appointed officer had failed to determine an application within two months from the date it was lodged.

NOTICE OF REVIEW – STATEMENT OF REASONS FOR REQUIRING THE REVIEW

8. The applicant in submitting the review has stated the reasons for requiring the review of the determination of the application. A copy of the applicant’s Notice of Review and Statement of Reasons is attached as Appendix 5.

9. The applicant is entitled to state a preference for the procedure (or combination of procedures) to be followed by the Local Review Body in the determination of the review and has indicated that her stated preference is the assessment of the review documents only, with no further procedure.

10. The Local Review Body is not bound to accede to the applicant’s request as to how it will determine the review and will itself decide what procedure will be used in this regard.

11. However, at the meeting of the Local Review Body on 10 August 2016, it was decided that the Local Review Body would carry out unaccompanied site inspections for every review case it received prior to the cases being given initial consideration at a meeting of the Local Review Body.

12. Given the current restrictions that are in place associated with the Covid-19 pandemic it will not be possible for members of the Local Review Body to visit the site to carry out their inspection in accordance with the aforementioned decision.

13. To overcome this issue, discussions have taken place with Councillor Ireland, Chair of the Local Review Body following which it was decided that as alternative to members of the Local Review Body visiting the site, the Planning Adviser to the Local Review Body will visit the site prior to the meeting during which he will film the application site. The recording will then be made available to the members of the Local Review Body to view in advance of the meeting which will be held on Wednesday, 5 August at 2.30pm.

INFORMATION AVAILABLE TO ALLOW REVIEW OF APPLICATION

14. Section 43B of the Planning etc (Scotland) Act 2006 restricts the ability of parties to introduce new material at the review stage. The Local Review Body is advised that the focus of the review should, therefore, be on the material which was before the officer who dealt with the application under the Scheme of Delegation.

15. The information detailed below is appended to this report to assist the Local Review Body in carrying out the review of the decision taken by the Appointed Officer:-

- (a) Application for planning permission – Appendix 1 (Pages 49 - 56);
- (b) Report of Handling by the planning officer under the Scheme of Delegation - Appendix 2 (Pages 57 - 66);
- (c) Decision notice and reasons for refusal - Appendix 3 (Pages 67 - 72); and
- (d) A copy of the applicant's Notice of Review and Statement of Reasons - Appendix 4 (Pages 73 - 84).

16. The applicant has also submitted the drawings listed below and these are attached as Appendix 5 (Pages 85 - 102).

- (a) Existing Plans – Drawing No.01;
- (b) Existing Elevations and Sections – Drawing No.02 – Rev B;
- (c) Refused – Location Plan; and
- (d) Refused – Proposed Plans – Drawing No 03;
- (e) Refused – Proposed Elevations – Drawing No.04;
- (f) Photo 1;
- (g) Photo 2;
- (h) Photo 3;
- (i) Photo 4;
- (j) Photo 5;
- (k) Photo 6; and
- (l) Photo 7.

17. The Local Review Body is advised that initial consultation responses and representations received if any, relating to the application will be listed in the planning officer's Report of Handling.

18. All the documents referred to in this report can be viewed online on the Council's website at www.eastrenfrewshire.gov.uk.

RECOMMENDATIONS

19. The Local Review Body is asked to:-

- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
 - (i) it proceeds to determine whether the decisions taken in respect of the application under review should be upheld, reversed or varied; and
 - (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed.
- (b) In the event that further procedure is required to allow it to determine the review, consider:-
 - (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

Report Author: Paul O'Neil

Director - Caroline Innes, Deputy Chief Executive

Paul O'Neil, Committee Services Officer
e-mail: paul.o'neil@eastrenfrewshire.gov.uk
Tel: 0141 577 3011

Date:- July 2020

**APPLICATION
FOR
PLANNING PERMISSION**

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100230449-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Description of Proposal

Please describe accurately the work proposed: * (Max 500 characters)

Erection of 1.5 storey extension including the conversion of attic

Has the work already been started and/ or completed? *

No Yes - Started Yes – Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	Abbey Architectural Services Ltd		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	David	Building Name:	Suite 2014, Abbeymill Business Centre
Last Name: *	Aitcheson	Building Number:	<input type="text"/>
Telephone Number: *	0141 848 9708	Address 1 (Street): *	12 Seedhill Road
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	Paisley
Fax Number:	<input type="text"/>	Country: *	Scotland
		Postcode: *	PA1 1JS
Email Address: *	enquiries@abbeyarchitectural.com		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Mrs	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	Judth	Building Number:	32
Last Name: *	Burnside	Address 1 (Street): *	Dorian Drive
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	Clarkston
Extension Number:	<input type="text"/>	Country: *	Scotland
Mobile Number:	<input type="text"/>	Postcode: *	G76 7NP
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text"/>		

Site Address Details

Planning Authority:

East Renfrewshire Council

Full postal address of the site (including postcode where available):

Address 1:

32 DORIAN DRIVE

Address 2:

CLARKSTON

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

GLASGOW

Post Code:

G76 7NP

Please identify/describe the location of the site or sites

Northing

657900

Easting

256420

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

Yes No

Trees

Are there any trees on or adjacent to the application site? *

Yes No

If yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Access and Parking

Are you proposing a new or altered vehicle access to or from a public road? *

Yes No

If yes, please describe and show on your drawings the position of any existing, altered or new access points, highlighting the changes you proposed to make. You should also show existing footpaths and note if there will be any impact on these.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

Yes No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

Yes No

Is any of the land part of an agricultural holding? *

Yes No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: David Aitcheson

On behalf of: Mrs Judith Burnside

Date: 03/02/2020

Please tick here to certify this Certificate. *

Checklist – Application for Householder Application

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

- a) Have you provided a written description of the development to which it relates? * Yes No
- b) Have you provided the postal address of the land to which the development relates, or if the land in question has no postal address, a description of the location of the land? * Yes No
- c) Have you provided the name and address of the applicant and, where an agent is acting on behalf of the applicant, the name and address of that agent? * Yes No
- d) Have you provided a location plan sufficient to identify the land to which it relates showing the situation of the land in relation to the locality and in particular in relation to neighbouring land? *. This should have a north point and be drawn to an identified scale. Yes No
- e) Have you provided a certificate of ownership? * Yes No
- f) Have you provided the fee payable under the Fees Regulations? * Yes No
- g) Have you provided any other plans as necessary? * Yes No

Continued on the next page

A copy of the other plans and drawings or information necessary to describe the proposals (two must be selected). *

You can attach these electronic documents later in the process.

- Existing and Proposed elevations.
- Existing and proposed floor plans.
- Cross sections.
- Site layout plan/Block plans (including access).
- Roof plan.
- Photographs and/or photomontages.

Additional Surveys – for example a tree survey or habitat survey may be needed. In some instances you may need to submit a survey about the structural condition of the existing house or outbuilding. Yes No

A Supporting Statement – you may wish to provide additional background information or justification for your Proposal. This can be helpful and you should provide this in a single statement. This can be combined with a Design Statement if required. * Yes No

You must submit a fee with your application. Your application will not be able to be validated until the appropriate fee has been Received by the planning authority.

Declare – For Householder Application

I, the applicant/agent certify that this is an application for planning permission as described in this form and the accompanying Plans/drawings and additional information.

Declaration Name: Mr David Aitcheson

Declaration Date: 03/02/2020

Payment Details

Online payment: [REDACTED]
Payment date: 0 [REDACTED]

Created: 03/02/2020 13:52

REPORT OF HANDLING

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REPORT OF HANDLING

Reference: 2020/0062/TP

Date Registered: 13th February 2020

Application Type: Full Planning Permission

This application is a Local Development

Ward: 4 -Clarkston, Netherlee And Williamwood

Co-ordinates: 256420/657900

Applicant/Agent:

Applicant:

Mrs Judith Burnside

32 Dorian Drive

Clarkston

Scotland

G76 7NP

Agent:

David Aitcheson

Suite 2014, Abbeymill Business

Centre

12 Seedhill Road

Paisley

Scotland

PA1 1JS

Proposal: Erection of one and a half storey rear extension with raising of ridge height; installation of dormer window at front

Location: 32 Dorian Drive
Clarkston
East Renfrewshire
G76 7NP

CONSULTATIONS/COMMENTS: None.

PUBLICITY: None.

SITE NOTICES: None.

SITE HISTORY: None.

REPRESENTATIONS: No representations have been received.

DEVELOPMENT PLAN & GOVERNMENT GUIDANCE: See Appendix 1

SUPPORTING REPORTS:

A covering letter was submitted which provides commentary on the design and provides examples of developments which were given planning approval by the Local Review Body.

ASSESSMENT:

The site is in an established residential area and contains a detached bungalow. The street is comprised of detached bungalows, some of which have been altered and extended. There are some examples of large alterations and extensions in the street however its character is defined by its modest hipped roof bungalows which make up the predominant built form. The dwelling is finished in roughcast render with buff stone detailing and brown concrete roof tiles. There is a small extension at the rear which would be removed to make way for the proposal.

The proposal is to raise the ridge height of the dwelling in conjunction with erecting a one and a half storey rear extension and install a front dormer window. The extension would be the width of the dwelling and would project outwards by 4 metres from the existing rear elevation to form a gable end. It would be finished in roughcast render and concrete roof tiles to match the existing dwelling. The dormer window would be 4 metres wide and its sides would be finished to match the existing roof.

The proposal is required to be assessed against Policies D1 and D14 of the adopted Local Development Plan and Supplementary Planning Guidance on Householder Design (SPG). The proposal should respect the existing character of the dwelling and surrounding area. The SPG contains specific criteria for extensions to bungalows, which should have a lower ridgeline and not form a gable end. Dormer windows should not dominate the roof and should contain a high proportion of glazing. The proposal must not have an adverse effect on the residential amenity of neighbouring properties by unreasonably restricting sunlight or privacy.

The extension is contrary to policy as it would form a gable end and would raise the ridge height of the dwelling. The dormer window is contrary to policy as it would be excessively wide and would contain a low proportion of glazing. It is considered both the extension and dormer window would dominate and overwhelm the dwelling in their own right. Therefore, in combination, it is considered that they would have a detrimental impact on the appearance of the dwelling. The dwelling is a bungalow of modest proportions and it is considered that the scale and design of the proposal shows little respect for its existing character.

It is acknowledged that there are some examples of dominant alterations and extensions in the street. Notably, both neighbouring properties have dormer windows which are heavy in appearance and do not respect the predominant built form of the area. However, it is not considered that such developments are numerous enough to define the character of Dorian Drive, and therefore, should not be used as justification for poor quality development that is significantly contrary to current adopted policy. The proposal would overwhelm the dwelling and is out of scale with the predominant built form of the street. As such, it is considered that it would result in a significant loss of character to the area.

It is not considered that the extension would raise any significant issues in terms of overlooking or overshadowing because of its size, orientation and position relative to neighbouring properties.

The Proposed Local Development Plan 2 is a material consideration and with regard to this planning application, the relevant policies are considered to be D1 and D1.1. The aforementioned policies largely reflect the adopted Local Development Plan policies. Consequently, for the reasons set out above, it is considered that the proposal is contrary to the relevant policies in the Proposed Local Development Plan.

To conclude, it is considered that the proposal would be significantly out of scale and character with the dwelling and predominant built form of Dorian Drive. There is not considered to be sufficient precedent of large scale alterations and extensions in the area to warrant setting aside the adopted Local Development Plan or Proposed Local Development Plan. For these reasons, it is considered that the proposal is unacceptable in policy terms and that there are no material considerations that would justify recommending approval.

RECOMMENDATION: Refuse

PLANNING OBLIGATIONS: None

REASONS FOR REFUSAL:

1. The proposal is contrary to Policy D1 of the adopted East Renfrewshire Local Development Plan as it would significantly detract from the character of the surrounding area as the scale and massing of both the extension and dormer window would be out of keeping with the predominant built form of the street.
2. The proposal is contrary to Policy D14 of the adopted East Renfrewshire Local Development Plan as the scale and massing of both the extension and dormer window would be out of keeping with the dwelling. As a result, the proposal would dominate the dwelling and would result in a significant loss of character to the dwelling.
3. The proposal is contrary to the Supplementary Planning Guidance on Householder Design as (i) the extension would increase the height of the ridgeline of the dwelling; (ii) the extension would form a gable end; (iii) the dormer window would be excessive in width; and (iv) the dormer window would contain a low proportion of glazing. As a result, the proposal would result in a significant loss of character to the dwelling and surrounding area.

ADDITIONAL NOTES: None.

ADDED VALUE: None

BACKGROUND PAPERS:

Further information on background papers can be obtained from Mr David Haney on 0141 577 3714.

Ref. No.: 2020/0062/TP
(DAHA)

DATE: 23rd March 2020

DIRECTOR OF ENVIRONMENT

Reference: 2020/0062/TP - Appendix 1

DEVELOPMENT PLAN:

Strategic Development Plan

This proposal raises no strategic issues in terms of the Glasgow and the Clyde Valley Strategic Development Plan and therefore the East Renfrewshire Local Plan is the relevant policy document

Adopted East Renfrewshire Local Development Plan

Policy D1

Detailed Guidance for all Development

Proposals for development should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. In some cases, where the criteria have not been met, a written justification will be required to assist with assessment.

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. The proposal should be of a size, scale, massing and density that is in keeping with the buildings in the locality and should respect local architecture, building form, design, and materials;
3. The amenity of neighbouring properties should not be adversely affected by unreasonably restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Planning Guidance;
4. The development should not impact adversely on landscape character or the green network, involve a significant loss of trees or other important landscape, greenspace or biodiversity features;
5. Developments should incorporate green infrastructure including access, landscaping, greenspace, water management and Sustainable Urban Drainage Systems at the outset of the design process. Where appropriate, new tree or shrub planting should be incorporated using native species. The physical area of any development covered by impermeable surfaces should be kept to a minimum to assist with flood risk management. Further guidance is contained within the Green Network and Environmental Management Supplementary Planning Guidance;
6. Development should create safe and secure environments that reduce the scope for anti-social behaviour and fear of crime;
7. Developments must be designed to meet disability needs and include provision for disabled access within public areas;
8. The Council will not accept 'backland' development, that is, development without a road frontage;
9. Parking and access requirements of the Council should be met in all development and appropriate mitigation measures should be introduced to minimise the impact of new development. Development should take account of the principles set out in 'Designing Streets';
10. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the development;
11. Developments should include provision for the recycling, storage, collection and composting of waste materials;
12. Where possible, all waste material arising from construction of the development should be retained on-site for use as part of the new development;
13. Where applicable, new development should take into account the legacy of former mining activity;
14. Development should enhance the opportunity for and access to sustainable transportation, including provision for bus infrastructure, and particularly walking and cycle opportunities including cycle parking and provision of facilities such as showers/lockers, all where appropriate. The Council will not support development on railways solums or other development that would remove opportunities to enhance pedestrian and cycle access unless mitigation measures have been demonstrated;
15. The Council requires the submission of a design statement for national and major developments. Design statements must also be submitted in cases where a local development relates to a site within a conservation area or Category A listed building in line with Planning Advice Note 68: Design Statements.
16. Where applicable, developers should explore opportunities for the provision of digital

infrastructure to new homes and business premises as an integral part of development.

Policy D14

Extensions to Existing Buildings and Erection of Outbuildings and Garages

Any extensions must complement the existing character of the property, particularly in terms of style, form and materials.

The size, scale and height of any development must be appropriate to the existing building. In most circumstances, pitched roofs utilising slates or tiles to match the existing house will be the appropriate roof type. Alternatives, such as flat roofs or green roofs, will be considered on a site specific basis.

Side extensions should not create an unbroken or terraced appearance.

The development should avoid over-development of the site by major loss of existing garden space.

Dormer windows should not in general dominate the existing roof, nor rise above or break the existing ridgeline or hip of the roof, and should be finished in materials to match existing roof finishes.

The above are broad requirements and these are further defined in the Householder Design Guide Supplementary Planning Guidance.

Proposed Local Development Plan 2

Policy D1

Placemaking and Design

Proposals for development within the urban and rural areas should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. Proposals will be assessed against the 6 qualities of a successful place as outlined in SPP, Designing Streets and the Placemaking and Design Supplementary Guidance.

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. The proposal should be appropriate to its location, be high quality and of a size, scale, height, massing and density that is in keeping with the buildings in the locality or appropriate to the existing building and should respect local architecture, building form and design;
3. Respect existing building lines and heights of the locality;
4. Create a well-defined structure of streets, public spaces and buildings;
5. Ensure the use of high quality sustainable and durable materials, colours and finishes that complement existing development and buildings in the locality;
6. Respond to and complement site topography and not impact adversely upon the green belt and landscape character, green networks, features of historic interest, landmarks, vistas, skylines and key gateways. Existing buildings and natural features of suitable quality, should be retained and sensitively integrated into proposals including

- greenspace, trees and hedgerows;
7. Boundary treatment and landscaping should create a distinctive edge and gateway to the development and reflect local character;
 8. Promote permeable and legible places through a clear sustainable movement hierarchy favouring walking, then cycling, public transport, then the private car as forms of movement;
 9. Demonstrate connectivity through the site and to surrounding spaces via a network of safe, direct, attractive and coherent walking and cycling routes. These must be suitable for all age groups, and levels of agility and mobility to allow for ease of movement from place to place;
 10. Demonstrate that safe and functional pedestrian, cycle and vehicular access, and parking facilities and infrastructure, including for disabled and visitor parking, is provided in accordance with the Council's Roads Development Guide. Where appropriate, proposals will be required to provide secure and accessible shelters, lockers, showers and seating and be designed to meet the needs of all users. Cycle parking and facilities should be located in close proximity to the entrances of all buildings to provide convenience and choice for users;
 11. Incorporate integrated and enhance existing green infrastructure assets, such as landscaping, trees and greenspace, water management and SUDs including access and prioritise links to the wider green network as an integral part of the design process from the outset, in accordance with Policies D4 - D6. New green infrastructure must be designed to protect and enhance the habitat and biodiversity of the area and demonstrate a net gain;
 12. There will be a general presumption against all proposals that involve landraising. Where there is a justifiable reason for landraising, proposals must have regard to the scale and visual impact of the resultant changes to the local landscape and amenity. Proposals that adversely impact upon the visual and physical connections through the site and to the surrounding areas will be resisted;
 13. Backland development should be avoided;
 14. Provide safe, secure and welcoming places with buildings and spaces, including open spaces, play areas and landscaping, designed and positioned to reduce the scope for anti-social behaviour and fear of crime, improve natural surveillance, passive overlooking, security and street activity;
 15. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by unreasonably restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Guidance;
 16. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the proposal;
 17. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by noise, dust, pollution and smell or poor air quality;
 18. Ensure buildings and spaces are future proof designed to be easily adaptable and flexible to respond to changing social, environmental, technological, digital and economic conditions;
 19. Incorporate provision for the recycling, storage, collection and composting of waste materials; and
 20. Incorporate the use of sustainable design and construction methods and materials in the

layout and design to support a low carbon economy.

Proposals must meet the requirements of any development brief prepared by the Council for an allocated site.

Further detailed guidance and information will be set out in the Placemaking and Design Supplementary Guidance, Householder Design Supplementary Guidance and the Daylight and Sunlight Design Supplementary Guidance.

Policy D1.1

Extensions and Alterations to Existing Buildings for Residential Purposes

Proposals will be assessed against the following criteria:

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. Should complement the scale and character of the existing building, neighbouring properties and their setting, particularly in terms of style, form and materials;
3. The size, scale and height of any development must be appropriate to and not adversely impact or dominate the existing building;
4. Should not create an unbroken or terraced appearance;
5. Where additional bedrooms are proposed or a garage/driveway is being converted to another use other than for the parking of a vehicle, proposals will be required to provide parking in accordance with the Council's Roads Development Guide; and
6. Should avoid over-development of the site by major loss of existing front and rear garden space. No more than 50% of the rear garden should be occupied by the development.

Further detailed information and guidance will be set out in the Householder Design Guide Supplementary Guidance.

GOVERNMENT GUIDANCE:

Given the size and scale of the development it is not considered that government guidance is a relevant material consideration.

Finalised 23/03/20 AC(3)

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**DECISION NOTICE
AND
REASONS FOR REFUSAL**

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TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
(AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(SCOTLAND) REGULATIONS 2013

REFUSAL OF PLANNING PERMISSION

Ref. No. **2020/0062/TP**

Applicant:

Mrs Judith Burnside
32 Dorian Drive
Clarkston
Scotland
G76 7NP

Agent:

David Aitcheson
Suite 2014, Abbeymill Business Centre
12 Seedhill Road
Paisley
Scotland
PA1 1JS

With reference to your application which was registered on 13th February 2020 for planning permission under the abovementioned Act and Regulations for the following development, viz:-

Erection of one and a half storey rear extension with raising of ridge height; installation of dormer window at front

at: 32 Dorian Drive, Clarkston, East Renfrewshire, G76 7NP

the Council in exercise of their powers under the abovementioned Act and Regulations hereby refuse planning permission for the said development.

The reason(s) for the Council's decision are:-

1. The proposal is contrary to Policy D1 of the adopted East Renfrewshire Local Development Plan as it would significantly detract from the character of the surrounding area as the scale and massing of both the extension and dormer window would be out of keeping with the predominant built form of the street.
2. The proposal is contrary to Policy D14 of the adopted East Renfrewshire Local Development Plan as the scale and massing of both the extension and dormer window would be out of keeping with the dwelling. As a result, the proposal would dominate the dwelling and would result in a significant loss of character to the dwelling.
3. The proposal is contrary to the Supplementary Planning Guidance on Householder Design as (i) the extension would increase the height of the ridgeline of the dwelling; (ii) the extension would form a gable end; (iii) the dormer window would be excessive in width; and (iv) the dormer window would contain a low proportion of glazing. As a result, the proposal would result in a significant loss of character to the dwelling and surrounding area.

Dated 23rd March 2020

Director of Environment
East Renfrewshire Council
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG
Tel. No. 0141 577 3001

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The following drawings/plans have been refused

Plan Description	Drawing Number	Drawing Version	Date on Plan
Location Plan	00		
Plans Proposed	03		
Elevations Proposed	04		

GUIDANCE NOTE FOR REFUSAL OF LOCAL DEVELOPMENTS DETERMINED UNDER DELEGATED POWERS

REVIEW BY EAST RENFREWSHIRE COUNCIL'S LOCAL REVIEW BODY

1. If the applicant is aggrieved by a decision to refuse permission (or by an approval subject to conditions), the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. A Notice of Review can be submitted online at www.eplanning.scotland.gov.uk. Please note that beyond the content of the appeal or review forms, **you cannot normally raise new matters** in support of an appeal or review, unless you can demonstrate that the matter could not have been raised before, or that its not being raised before is a consequence of exceptional circumstances. Following submission of the notice, you will receive an acknowledgement letter informing you of the date of the Local Review Body meeting or whether further information is required.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

CONTACT DETAILS

**East Renfrewshire Council
Development Management Service
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG**

**General Inquiry lines 0141 577 3895 or 0141 577 3878
Email planning@eastrenfrewshire.gov.uk**

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**NOTICE OF REVIEW
AND
STATEMENT OF REASONS**

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100230449-004

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	Abbey Architectural Services Ltd		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	David	Building Name:	Suite 2014, Abbeymill Business Centre
Last Name: *	Aitcheson	Building Number:	<input type="text"/>
Telephone Number: *	0141 848 9708	Address 1 (Street): *	12 Seedhill Road
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	Paisley
Fax Number:	<input type="text"/>	Country: *	Scotland
		Postcode: *	PA1 1JS
Email Address: *	enquiries@abbeyarchitectural.com		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mrs"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="Judith"/>	Building Number:	<input type="text" value="54"/>
Last Name: *	<input type="text" value="Burnside"/>	Address 1 (Street): *	<input type="text" value="Dorian Drive"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Clarkston"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="Scotland"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="G76 7NR"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="judithburnside@btopenworld.com"/>		

Site Address Details

Planning Authority:	<input type="text" value="East Renfrewshire Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="32 DORIAN DRIVE"/>
Address 2:	<input type="text" value="CLARKSTON"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="GLASGOW"/>
Post Code:	<input type="text" value="G76 7NP"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="657900"/>	Easting	<input type="text" value="256420"/>
----------	-------------------------------------	---------	-------------------------------------

Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

1.5 storey extension to rear of dwelling, with the conversion of loft to include 2 bedrooms and 1 wc. Dormer proposed to front of dwelling.

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

I don't feel the extension would be out of keeping with the predominant main street as it is to the rear of the house and the roof pitch will be retained. I admit the front dormer is imposing and therefore I will alter this to suit the comments. The proposed gable end shouldn't be an issue as the garden sits at the railway line. The ridge is to be raised so a contractor to be able to build easier, however I can alter the proposal to retain the current ridge, if deemed absolutely necessary.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Location Plan, Block Plan, Existing Plans and Elevations, Proposed Plans and Elevations, Photographs

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

2020/0062/TP

What date was the application submitted to the planning authority? *

03/02/2020

What date was the decision issued by the planning authority? *

23/03/2020

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr David Aitcheson

Declaration Date: 12/05/2020

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East Renfrewshire Council
2 Spiersbridge Way
Thornliebank
Glasgow
G46 8NG

03rd February 2020

Dear Sir/Madam,

1.5 Storey Extension @ 32 Dorian Drive, Clarkston

This letter has been provided with this Application Package to highlight and explain some of the elements in these proposals that differ from what is usually acceptable in terms of Planning regulations.

1. *Extending the roof to form a Single hipped roof to the front with a Gable to the rear of the dwelling. This has been proposed in order to gain extra head height, allow the Front Dormer to work in terms of Building regulations. I would also draw your attention to the adjacent dwellings which have altered their roof types by construction Dormers out from the Ridges, the adjacent no. 34 dwelling has a higher ridge height than the proposed no. 32 therefore I do not feel the clients new ridge height would impose any viewing restrictions to the side dormer as the new ridge height is not considerably higher than that of the existing.*
2. *The Gable to the rear of the dwelling. This has been proposed for extra space and the allowance of a second bedroom due to Family requirements. I would like to draw your attention to the fact the railway line runs directly to the rear of the proposed properties garden. The extension is also in line with that of the existing single extension and essentially contained within the existing footprint of the dwelling. I feel it would not impose any viewing restrictions to that of the adjacent properties due to no. 30 having a further footprint from that of the proposed no. 30 – I would also like to note that 3 out of 4 of the opposite properties on Dorian Dv have this type of extension to the rear of their properties.*

After discussions with my client and neighboring properties who have in recent years had similar proposals accepted through using the Local Review Body. We would be happy to use the same process if initially declined approval. I kindly ask that this is taken into account prior to any decision being made in order to provide my client with a suitable dwelling due to their personal requirements and to save wasting any time for all the persons involved in the design and ruling of this proposal.

kindest Regards

C Ferguson
Architectural Technician
Email: cameron@abbeyarchitectural.com

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DECISION

The Local Review Body having undertaken a review of the decision of the appointed officer dated 20 June 2018 overturned the decision to refuse planning permission for the reasons stated in the Decision Notice of 20 June 2018 and granted planning permission.

REASONS

The Local Review Body (hereinafter referred to as "the LRB") met on 8 August 2018. The LRB had carried out an unaccompanied site visit immediately prior to the meeting.

Firstly, the LRB considered whether there was sufficient information to proceed to make a determination. The LRB agreed that there was sufficient information before the LRB to proceed to determine the review without any further procedure.

The Planning Adviser referred to the plans starting at page 293 of the agenda papers and specifically referred to the plan at page 296 of the agenda papers which showed the proposed elevations. He outlined the planning application advising that the applicants proposed to erect a one and a half storey rear extension replacing the existing single storey rear extension. The proposal extends across the width of the house, incorporates a gable end, raises the ridge line and installs a dormer at the front.

The Planning Adviser referred the LRB to the Report of Handling on Page 275 of the agenda papers and advised that planning permission was refused as the proposal was considered contrary to Policy D1 of the Adopted East Renfrewshire Local Development Plan due to the rear gable wall not being in keeping with the character of the existing house. The proposal was considered contrary to Policy D14 of the Adopted East Renfrewshire Local Development Plan as it was considered to dominate, overwhelm and detract from the character and design of the original dwelling by virtue of the rear gable, the height and proposed front dormer. The proposal was also considered contrary to the terms of the Adopted Supplementary Planning Guidance: Householder Design Guide by virtue of the introduction of the rear gable wall and the increase in the ridge height.

The Planning Adviser also referred to the applicants' review statement which appeared at Page 287 of the agenda papers and summarised the case put forward by the applicant for the application to be granted. He advised that the applicant's position was that the proposal was the same as other approved alternations in the area and that there would be no overlooking concerns at the rear of the property.

Provost Fletcher expressed concern about the LRB refusing this application on the basis that it is out of character for the area given that there are several other properties in the area with similar extensions. He noted that the proposal was not excessive and was approximately the same footprint as the original property. He also noted that the proposal would not be visible from the front.

The Chair noted that the LRB had seen several houses in close proximity to the property with similar development to that being proposed. She did not believe the proposal to be dominating or excessive.

At this stage, the LRB agreed to overturn the decision of the Appointed Officer as set out in the Decision Notice of 20 June 2018 and grant planning permission, subject to the following condition:-

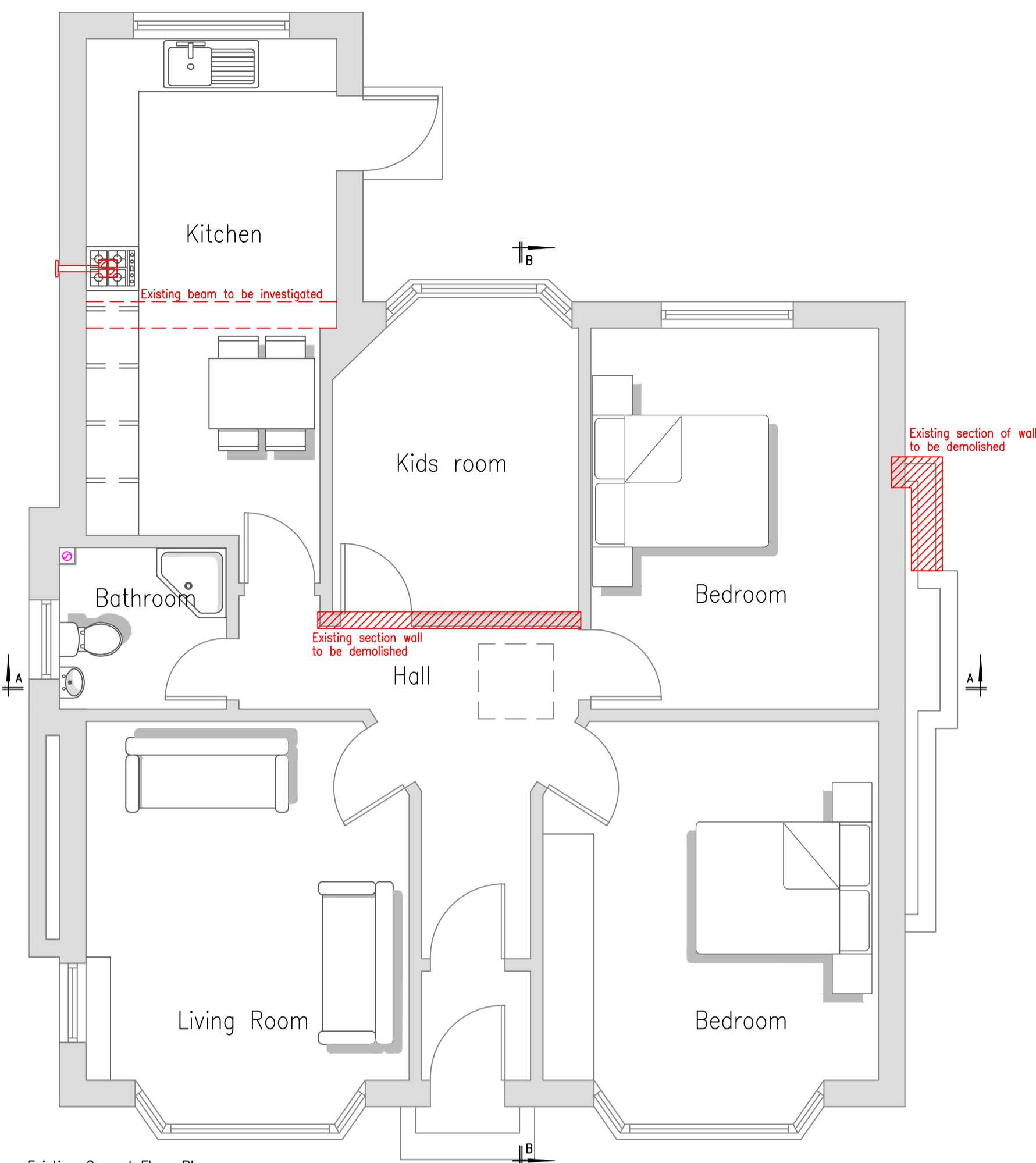
The materials to be used on all external surfaces of the building shall match those of the existing house.

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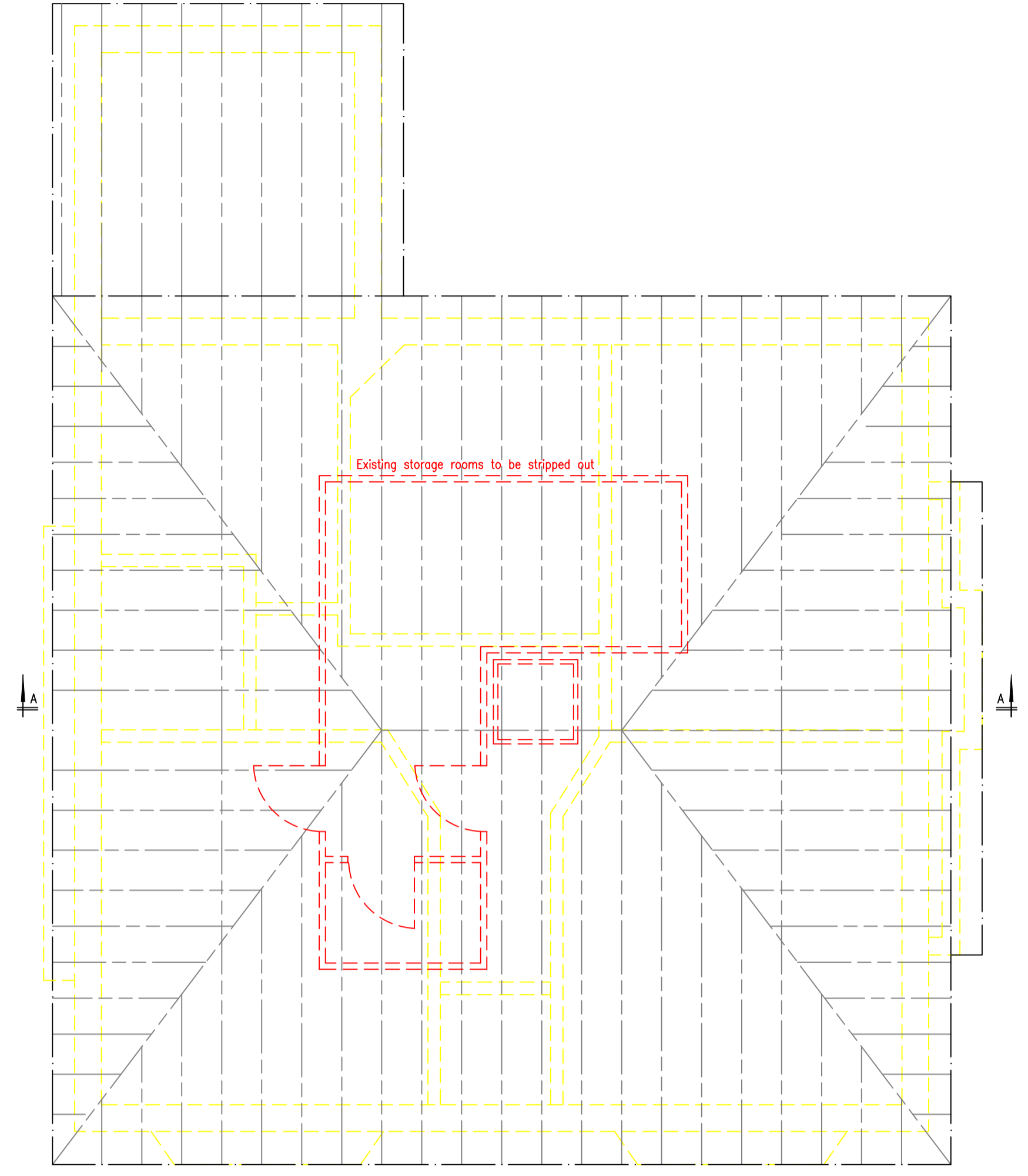
PLANS/PHOTOGRAPHS/DRAWINGS

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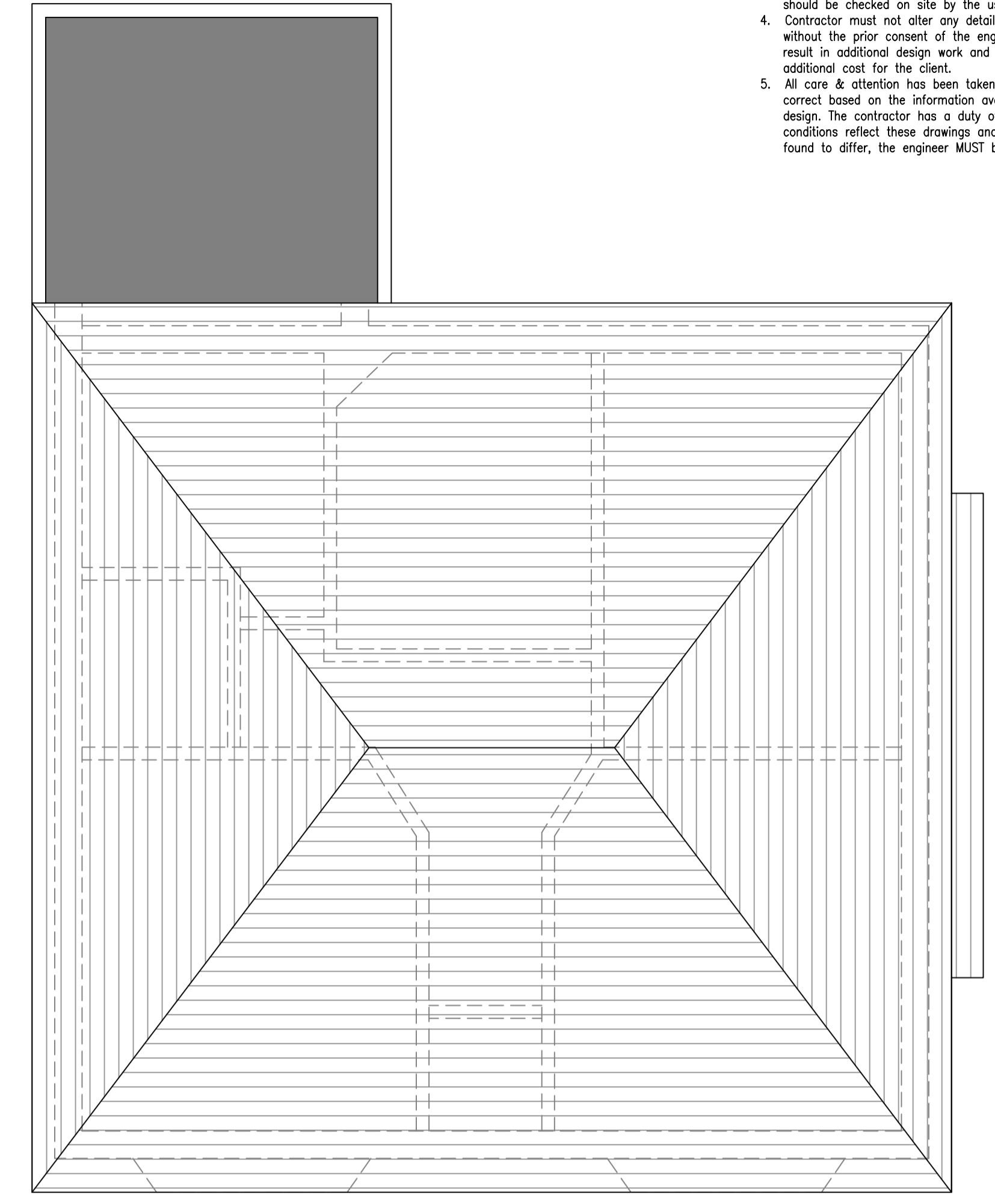
- NOTES:
1. All dimensions are in millimetres unless stated otherwise.
 2. The contractor is to verify all dimensions on site and is responsible for the accurate setting-out.
 3. All sizes scaled from this drawing will be approximate and should be checked on site by the user.
 4. Contractor must not alter any details on these drawings without the prior consent of the engineer. Failure to do this will result in additional design work and time and correspondingly, additional cost for the client.
 5. All care & attention has been taken to ensure all details are correct based on the information available at the time of design. The contractor has a duty of care to ensure all site conditions reflect these drawings and if anything on site is found to differ, the engineer MUST be informed immediately.



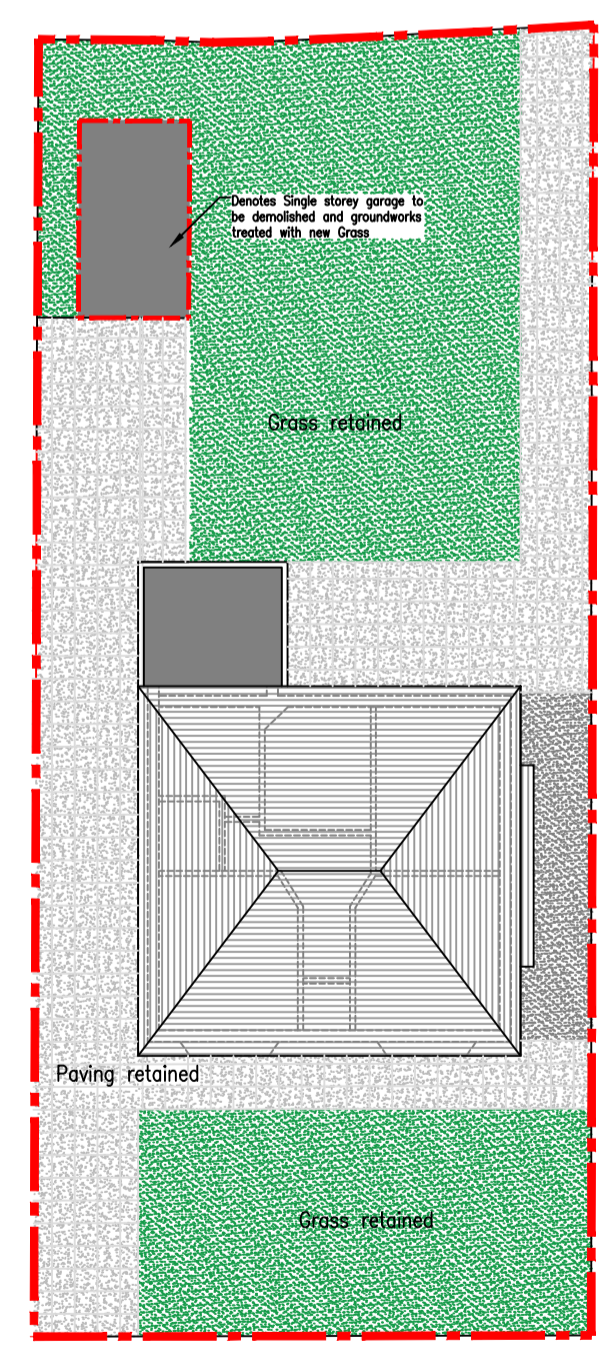
Existing Ground Floor Plan 1:50



Existing Attic Plan 1:50



Existing Roof Plan 1:50



Existing Block Plan 1:200

REV.	DATE	DESCRIPTION	BY	CHECKED
A	13.02.20	Updated to suit Planning comments.	CF	

Engineer Certification
 Issue Date:
 Ref. SER Certificate No:

DRAWING STATUS: **PLANNING**

abbey architectural services

Suite 2005 Mill End Building
 Abbeymill Business Centre
 12 Seacroft Road
 Paigley
 PA1 1JG

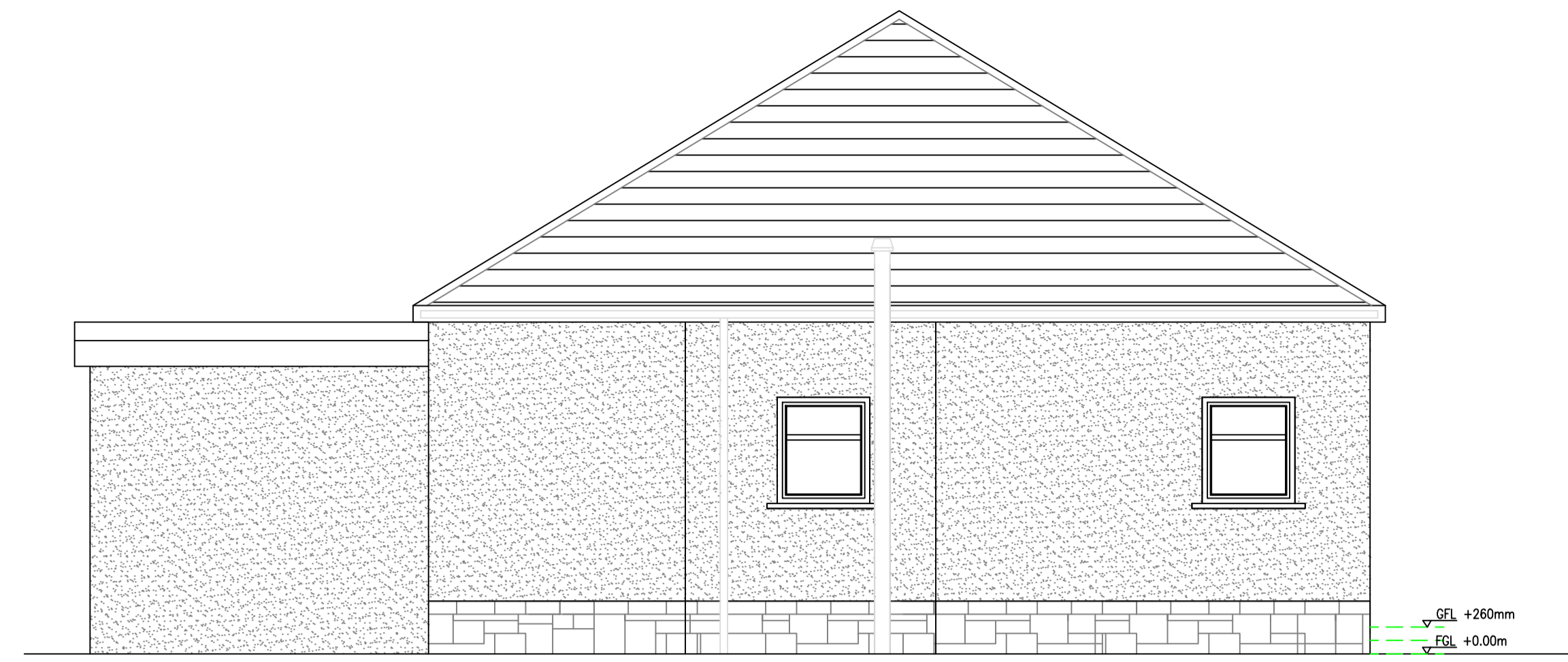
Phone: 0141 848 6708
 Fax: 0141 842 1098
 e-mail: info@abbeyarchitectural.com

PROJECT	Proposed Extension.		
CLIENT	Mr & Mrs Watkins.		
LOCATION	32 Dorion Drive, Clarkston		
SCALE	As shown	DATE	Oct '19
JOB No.	A1054		
DRAWN BY	CF	CHECKED BY	DJA
DRG. TITLE	Existing Plans.		REV. A
DRG. No	01	REV.	A

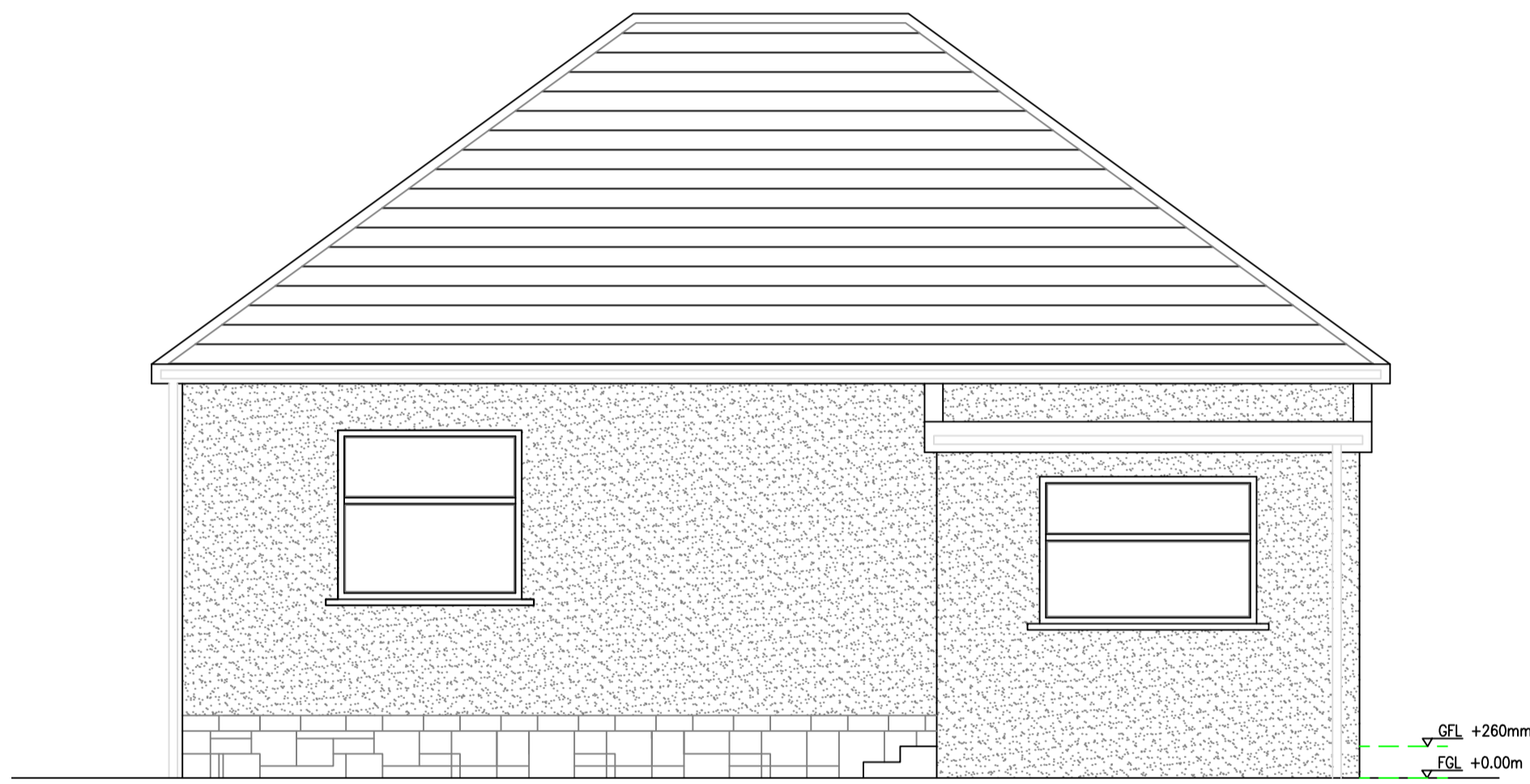
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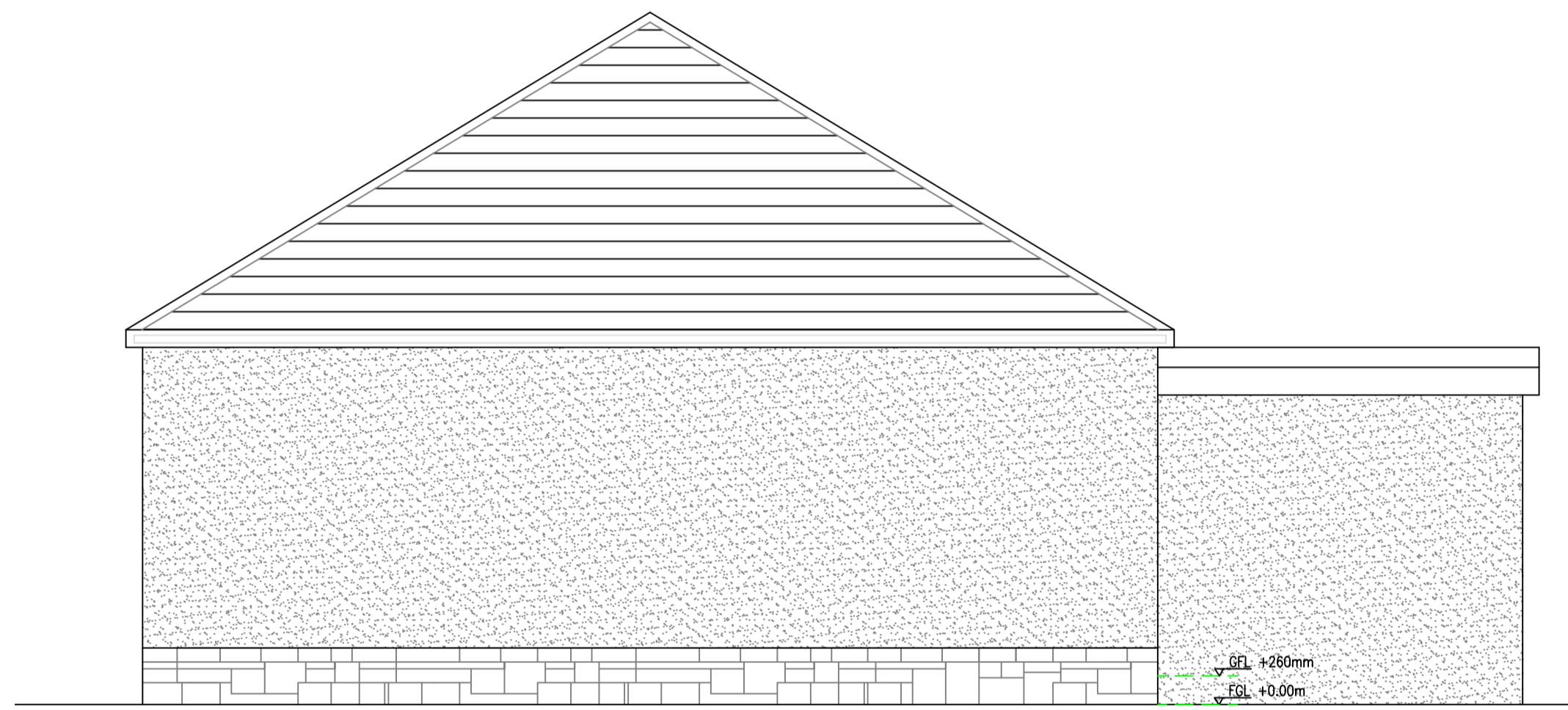
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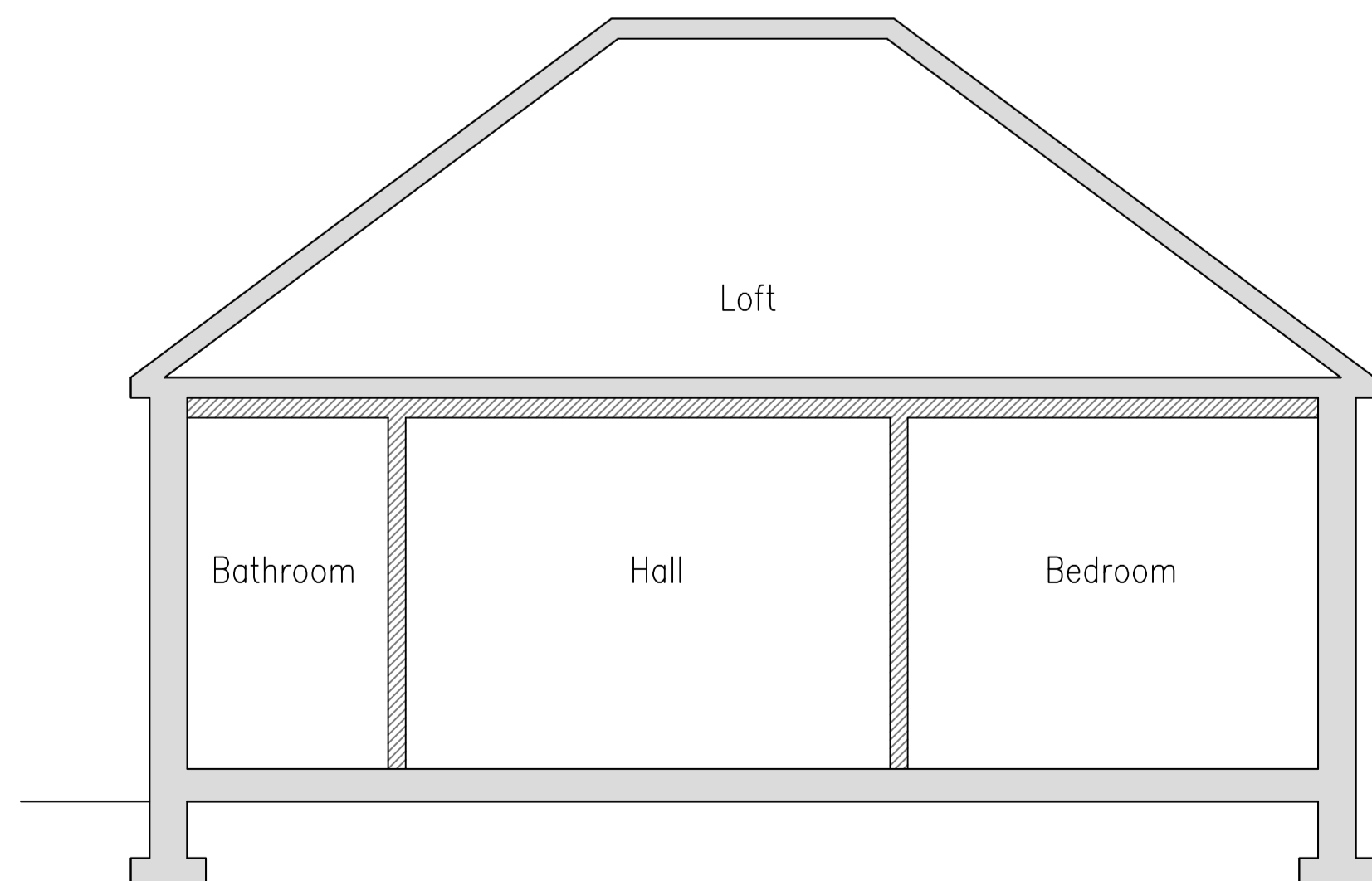
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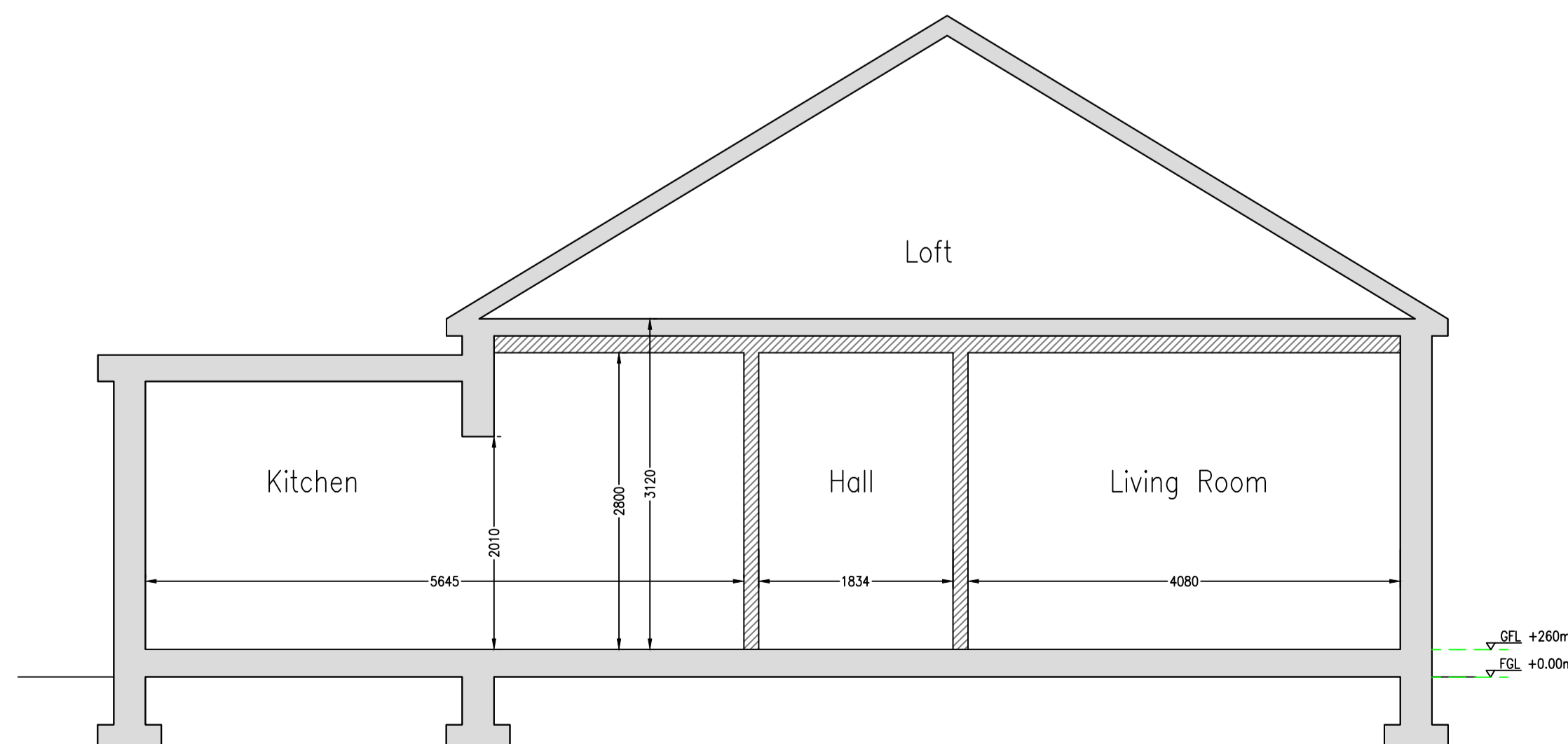
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1:50



Existing Side Elevation
1:50



Existing Section AA
1:50



Existing Section BB
1:50

REV.	DATE	DESCRIPTION	BY	CHECKED

Engineer Certification
 Issue Date:
 Ref. SER Certificate No:

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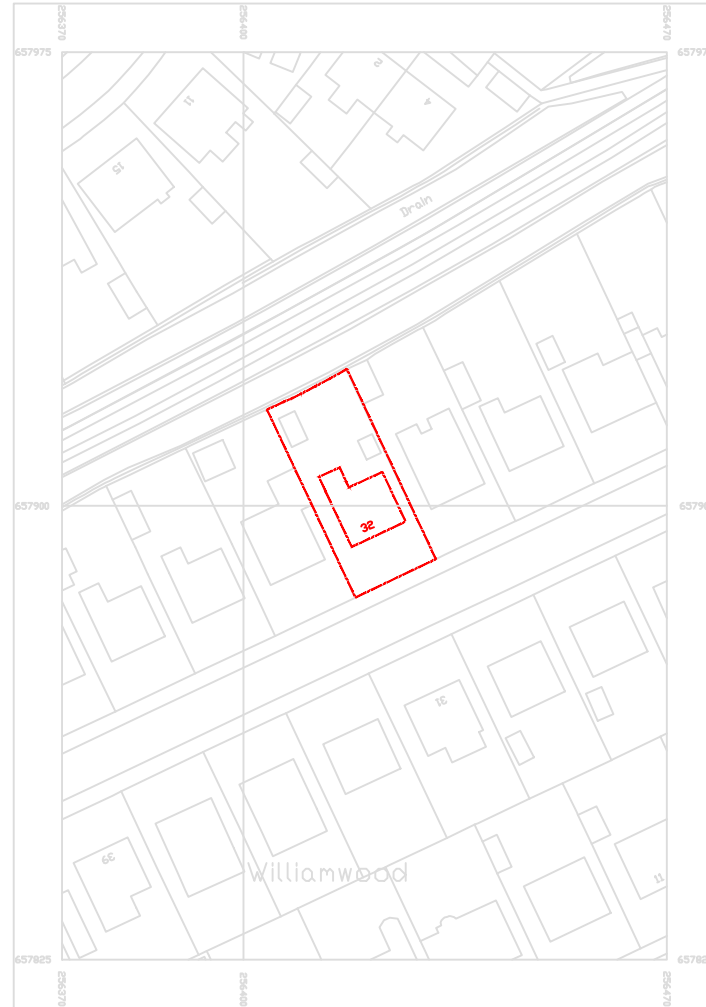
Suite 2005 Mile End Building
 Abbeymill Business Centre
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 PA1 1JG

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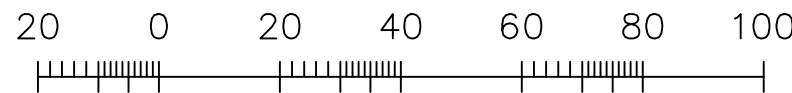
Phone: 0141 848 6708
 Fax: 0141 842 1098
 e-mail: info@abbeyarchitectural.com

PROJECT	Proposed Extension.		
CLIENT	Mr & Mrs Watkins.		
LOCATION	32 Dorion Drive, Clarkston		
SCALE	As shown	DATE	Oct '19
JOB No.	A1054		
DRAWN BY	CF	CHECKED BY	DJA
DRG. TITLE	Existing Elevations & Sections	DRG. No	02
REV.	B	REV.	B

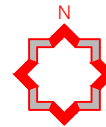
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Metres (scale @ 1:1250)



OS Location Plan
 1:1250

NOTES:

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REV.	DATE	DESCRIPTION	BY	CHECKED

Engineer Certification

Issue Date:

Ref. SER Certificate No:

DRAWING STATUS **PLANNING**

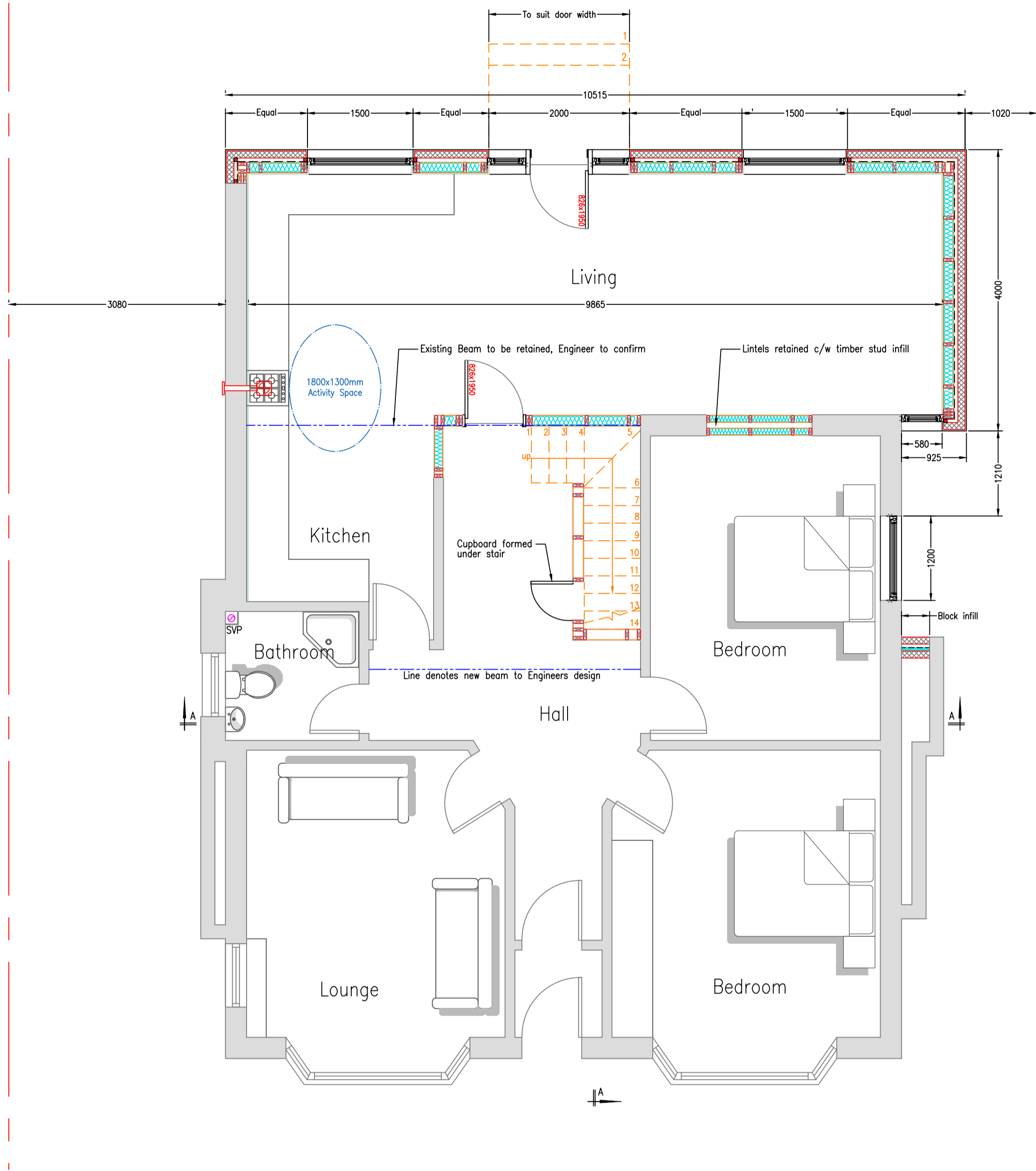


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 PA1 1JS

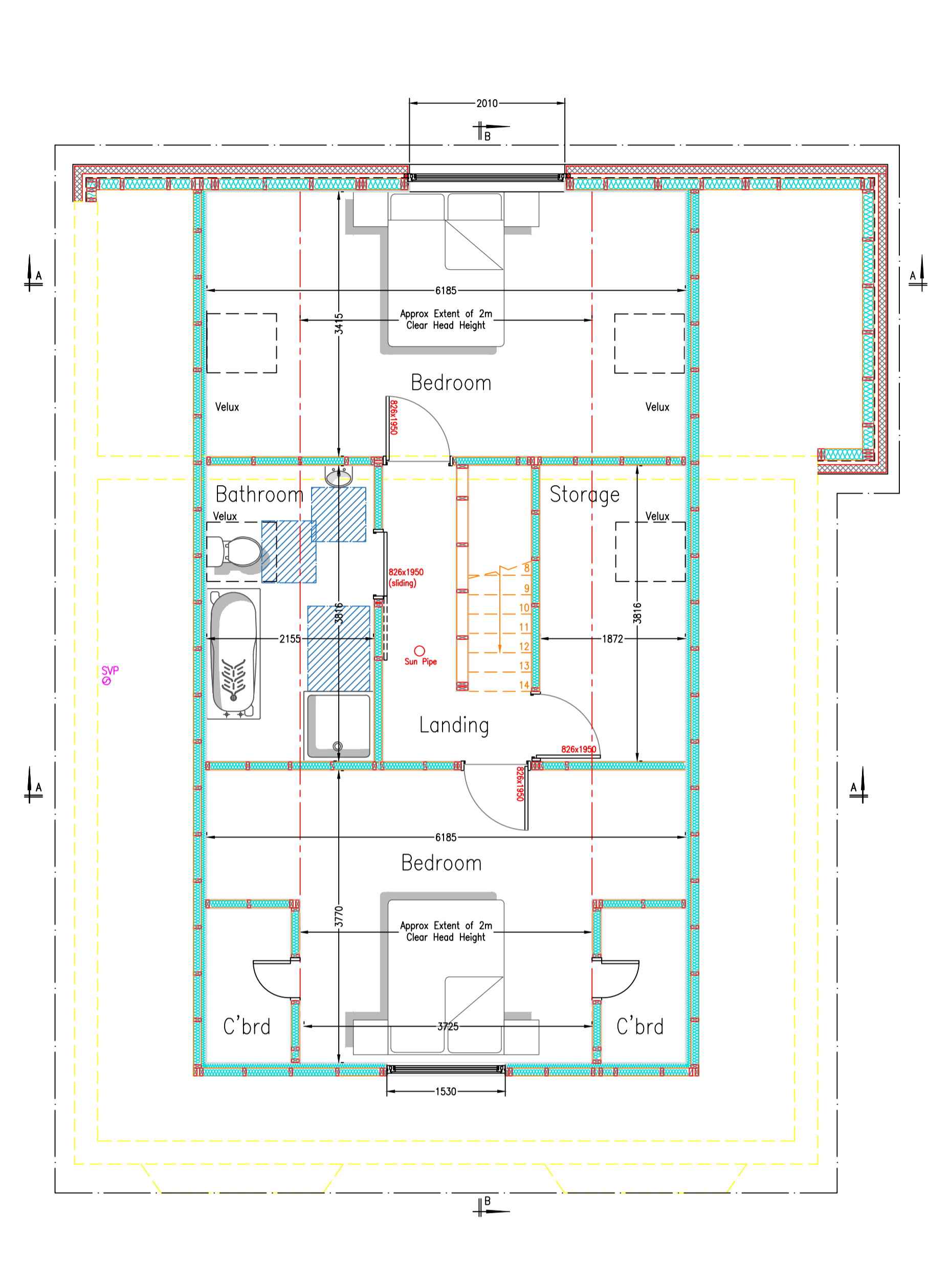
Phone: 0141 848 9708
 Fax: 0141 842 1098
 e-mail: info@abbeyarchitectural.com

PROJECT	Proposed Extension.		
CLIENT	Mr & Mrs Fettes.		
LOCATION	42 Moffat Road Ormiston		
SCALE	As shown	DATE	June 19
		JOB No.	A1054
DRAWN BY	CF	CHECKED BY	DJA
DRG. TITLE	Location Plan.	DRG. No	00
		REV.	-

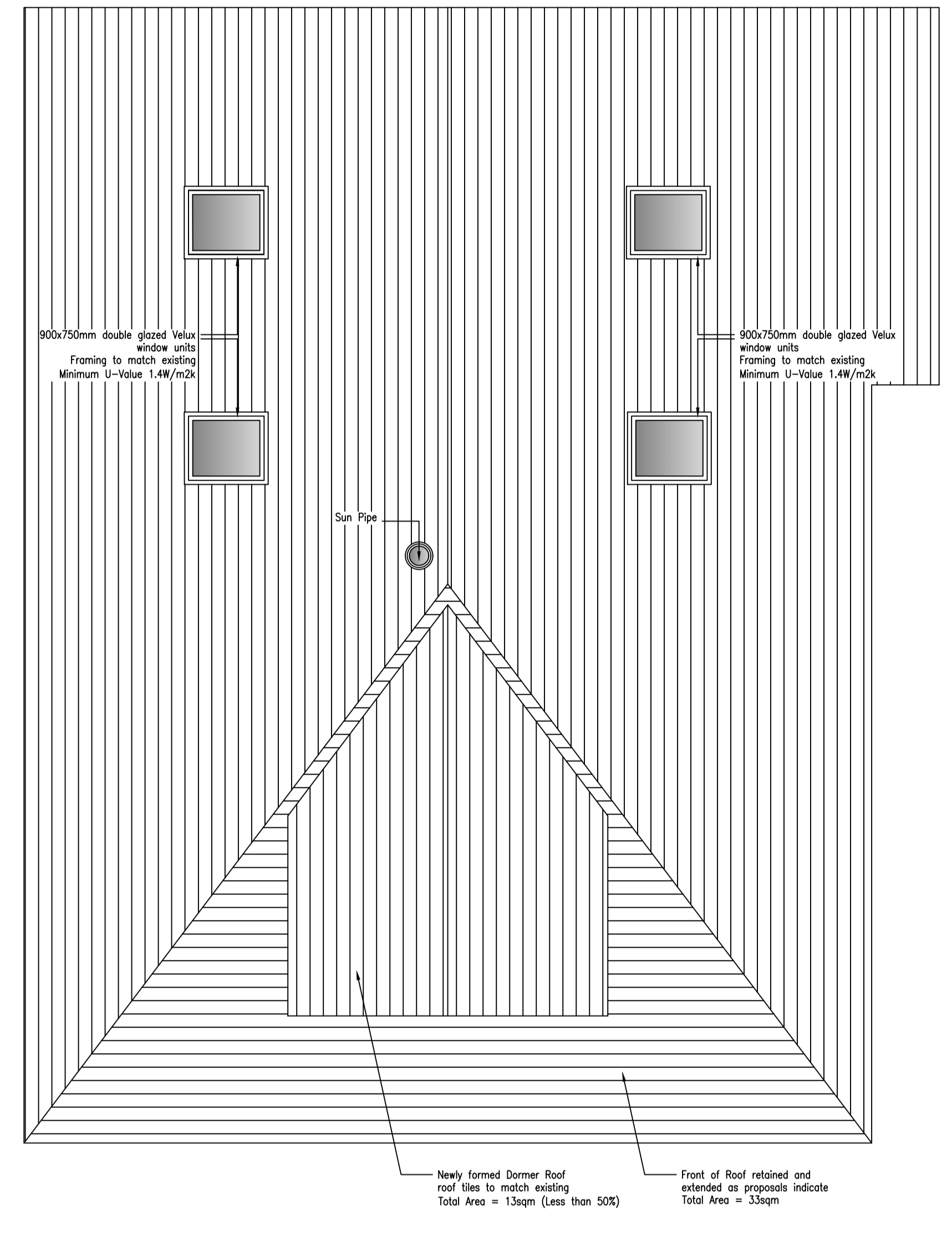
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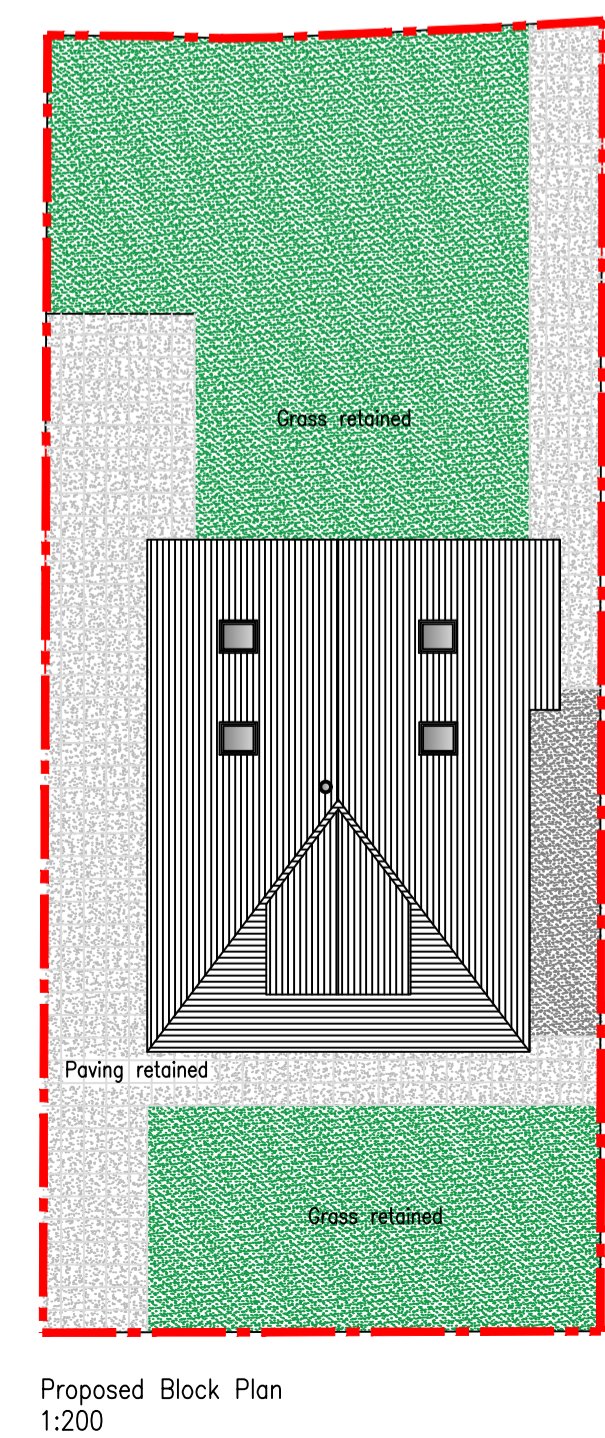
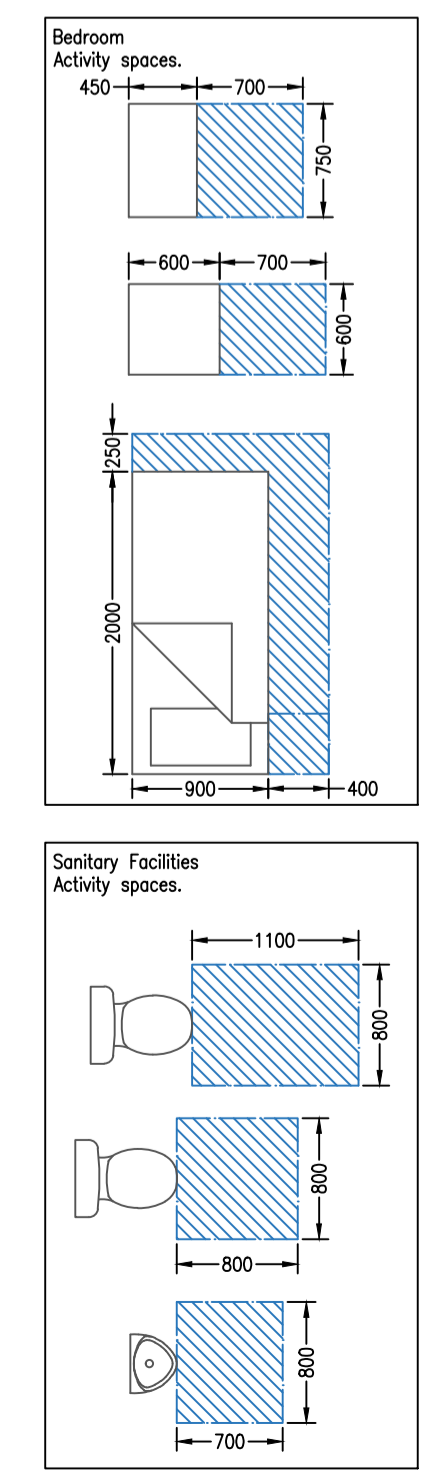
Proposed Ground Floor Plan 1:50



Proposed Attic Floor Plan 1:50



Proposed Roof Plan 1:50



Proposed Block Plan 1:200

REV.	DATE	DESCRIPTION	BY	CHECKED
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C	06.01.19	Updated to suit client comments.	CF	
B	02.12.19	Updated to suit client comments.	CF	
A	27.11.19	Updated to suit client comments.	CF	

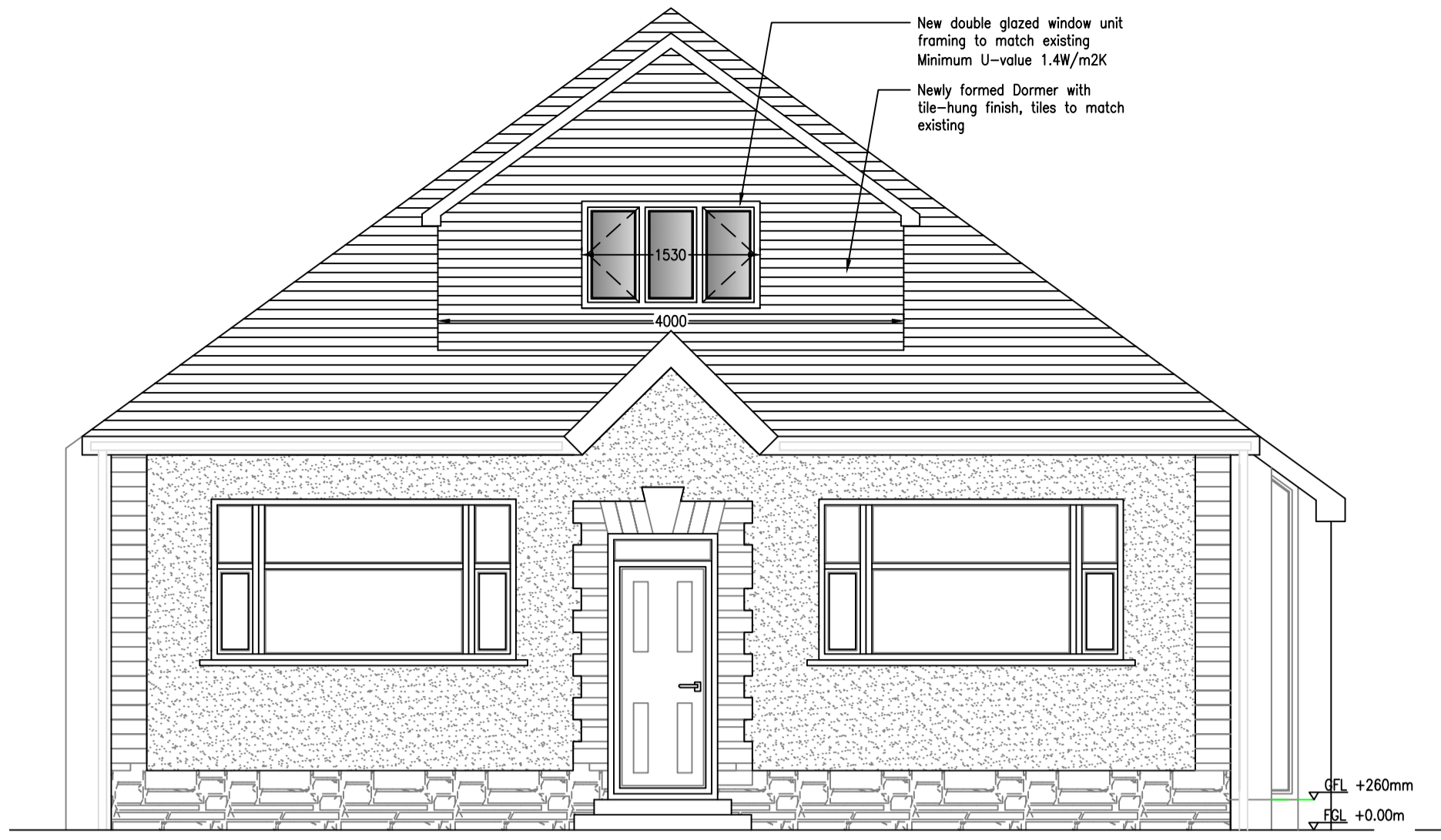
Engineer Certification
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 Ref. SER Certificate No:

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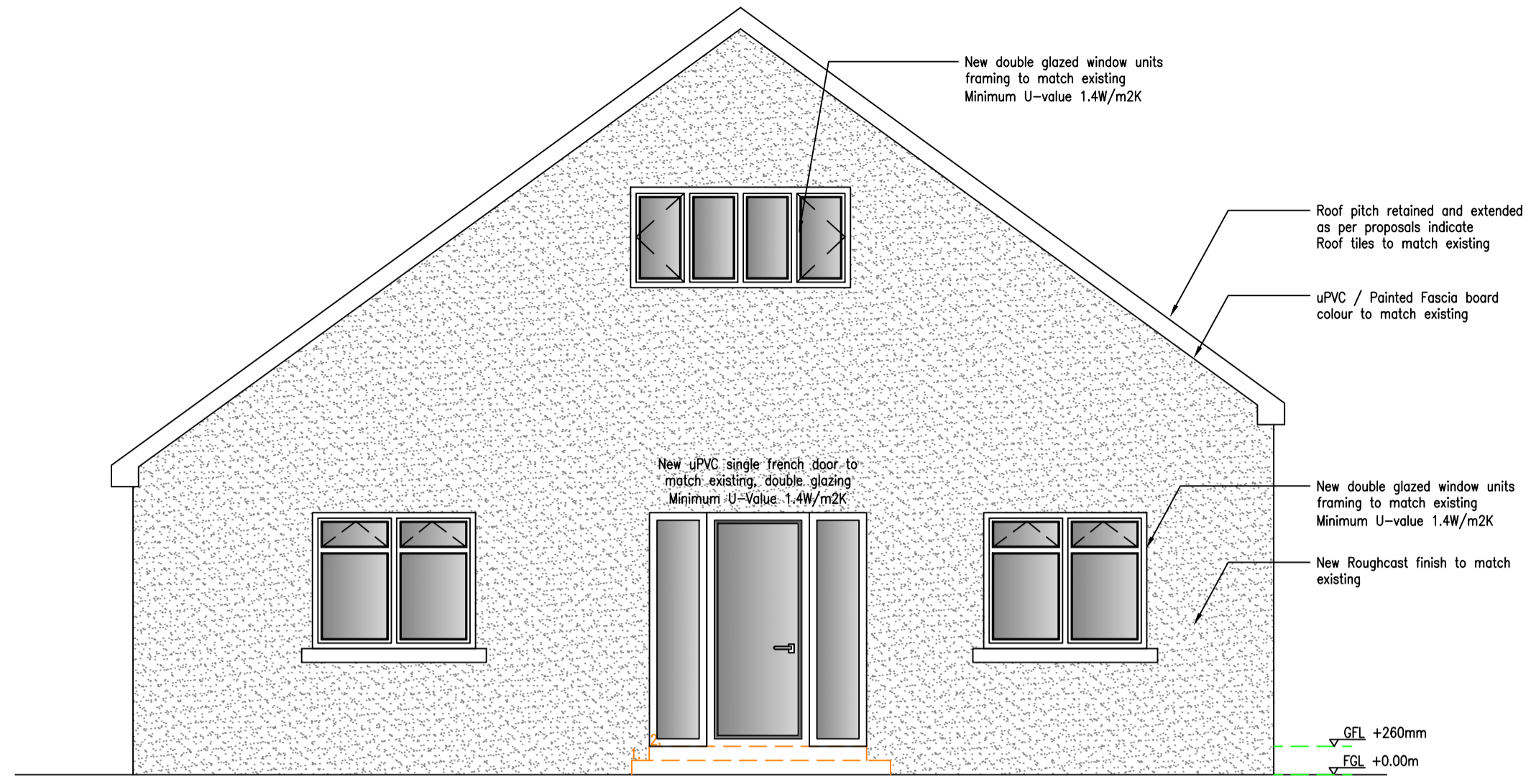
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 Abbeymill Business Centre
 12 Seward Road
 Paisley
 PA1 1JH
 Phone: 0141 848 6708
 Fax: 0141 842 1098
 e-mail: info@abbeyarchitectural.com

PROJECT: Proposed Extension.
 CLIENT: Mr & Mrs Watkins.
 LOCATION: 32 Dorion Drive, Clarkston
 SCALE: As shown DATE: Oct '19 JOB No: A1054
 DRAWN BY: CF CHECKED BY: DJA
 DRG. TITLE: Proposed Plans. DRG. No: 03 REV: D

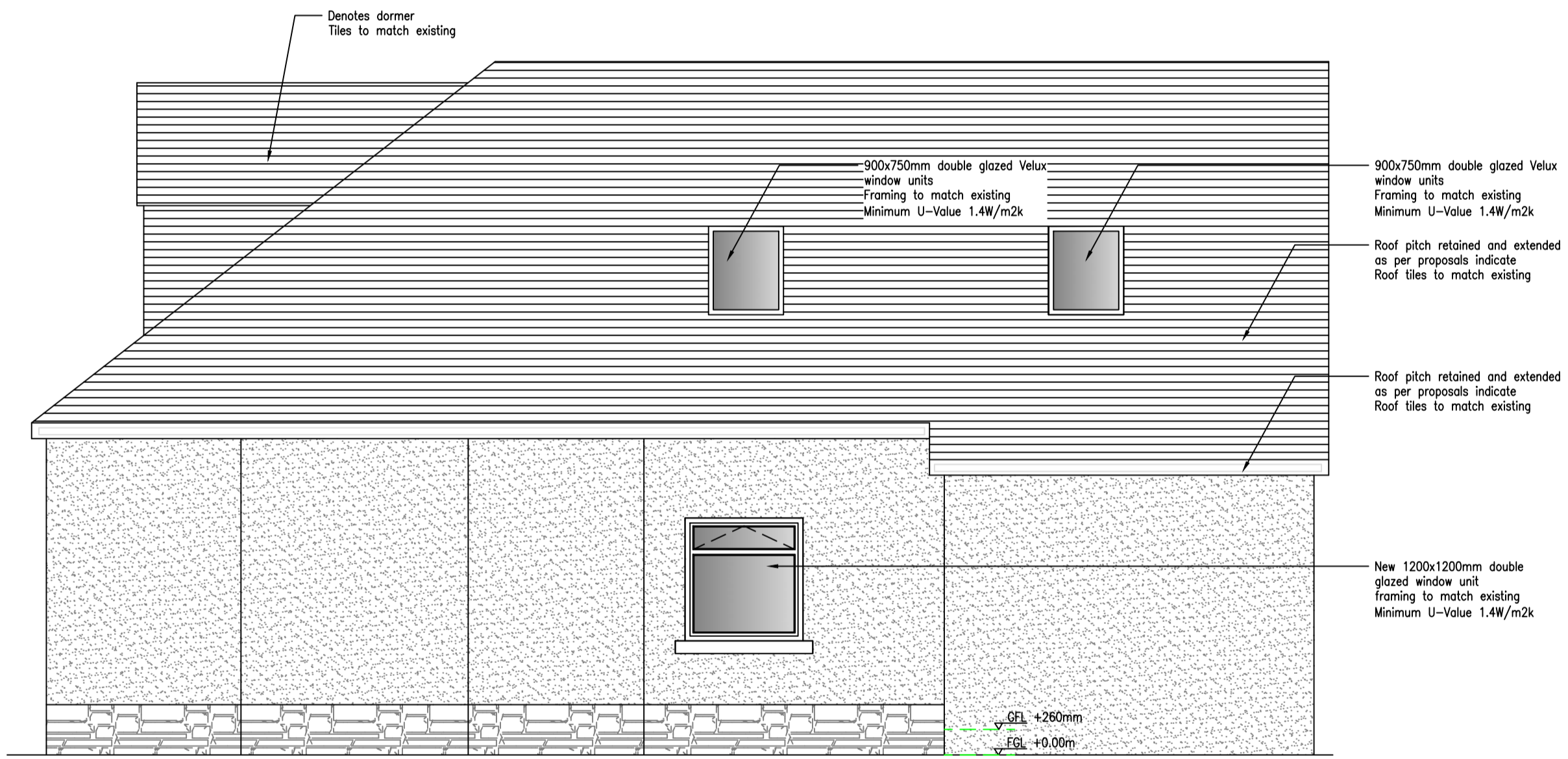
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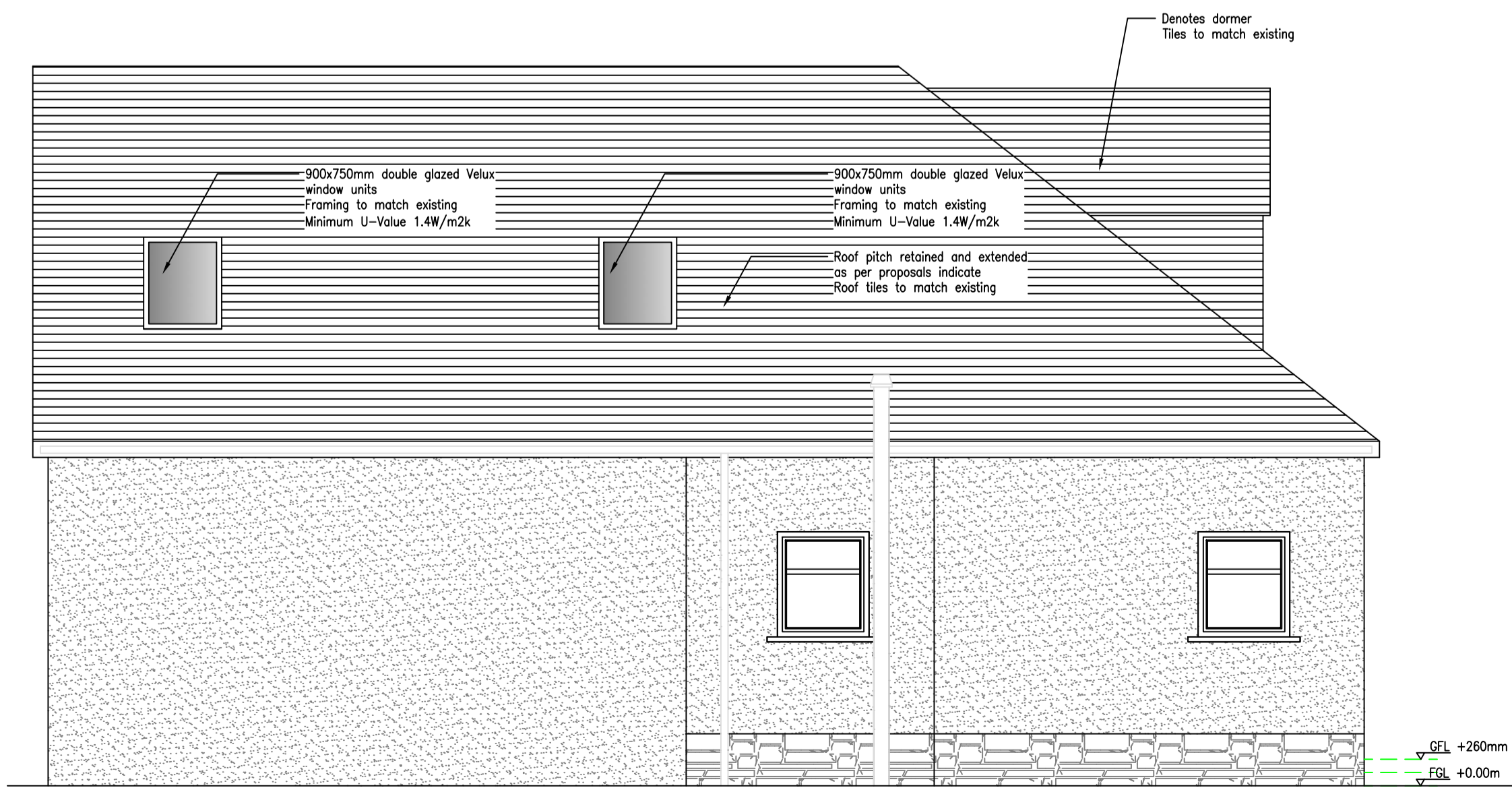
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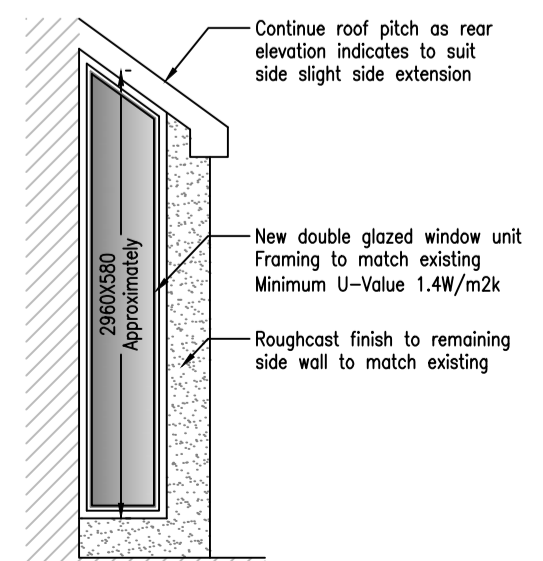
Proposed Rear Elevation
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Proposed Side Elevation
1:50



Proposed Side Elevation
1:50



Proposed Side Elevation XX
1:50

REV.	DATE	DESCRIPTION	BY	CHECKED
D	13.02.20	Updated to suit Planning comments.	CF	
C	06.01.19	Updated to suit client comments.	CF	
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A	27.11.19	Updated to suit client comments.	CF	

Engineer Certification

Issue Date:
Ref. SER Certificate No:

DRAWING STATUS: **PLANNING**



PROJECT	Proposed Extension.		
CLIENT	Mr & Mrs Watkins.		
LOCATION	32 Dorion Drive, Clarkston		
SCALE	As shown	DATE	Oct '19
JOB No.	A1054		REV.
DRAWN BY	CF	CHECKED BY	DJA
DRG. TITLE	Proposed Elevations & Sections	DRG. No	04
		REV.	D

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EAST RENFREWSHIRE COUNCILLOCAL REVIEW BODY5 August 2020Report by Deputy Chief ExecutiveREVIEW OF CASE - REVIEW/2020/08INSTALLATION OF DORMER WINDOWS AT FRONT AND SIDES; INSTALLATION
OF HIPPED ROOF OVER EXISTING REAR EXTENSION IN PLACE OF FLAT ROOFAT 23 BALMEG AVENUE, GIFFNOCK**PURPOSE OF REPORT**

1. The purpose of the report is to present the information currently available to allow a review of the decision taken by officers, in terms of the Scheme of Delegation made in terms of Section 43A of the Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 in respect of the application detailed below.

DETAILS OF APPLICATION

2. Application type: Full Planning Permission (Ref No:- 2020/0151/TP).
- Applicant: Mr and Mrs Wood.
- Proposal: Installation of dormer windows at front and sides; installation of hipped roof over existing rear extension in place of flat roof
- Location: 23 Balmeg Avenue, Giffnock G46 6QJ
- Council Area/Ward: Giffnock and Thornliebank (Ward 3).

REASON FOR REQUESTING REVIEW

3. The applicants have requested a review on the grounds that the Council's Appointed Officer refused the application.

RECOMMENDATIONS

4. The Local Review Body is asked to:-
- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
- (i) it proceeds to determine whether the decision taken in respect of the application under review should be upheld, reversed or varied; and
- (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed.

- (b) In the event that further procedure is required to allow it to determine the review, consider:-
 - (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

BACKGROUND

5. At the meeting of the Council on 29 April 2009, consideration was given to a report by the Director of Environment seeking the adoption of a new Scheme of Delegation in terms of the new Section 43A of the Town and Country Planning (Scotland) Act 1997, subject to approval of the scheme by Scottish Ministers.

6. The report provided details of the new hierarchy of developments that took effect from 6 April 2009 explaining that the Scheme of Delegation related to those applications within the “local development” category as set out in the Town and Country Planning (Hierarchy of Development) (Scotland) Regulations 2009, but would in future be determined by an “appointed officer”. In the Council’s case this would be either the Director of Environment or the Head of Roads, Planning and Transportation Service now designated the Head of Environment (Chief Planning Officer).

7. The report highlighted that historically appeals against planning decisions were dealt with by Scottish Ministers. However, following the introduction of the new planning provisions which came into effect on 3 August 2009 all appeals against decisions made in respect of local developments under delegated powers would be heard by a Local Review Body. The Local Review Body would also deal with cases where the appointed officer had failed to determine an application within two months from the date it was lodged.

NOTICE OF REVIEW – STATEMENT OF REASONS FOR REQUIRING THE REVIEW

8. The applicants in submitting the review have stated the reasons for requiring the review of the determination of the application. A copy of the applicants’ Notice of Review and Statement of Reasons is attached as Appendix 5.

9. The applicants are entitled to state a preference for the procedure (or combination of procedures) to be followed by the Local Review Body in the determination of the review and have indicated that their stated preference is the assessment of the review documents only, with no further procedure.

10. The Local Review Body is not bound to accede to the applicants’ request as to how it will determine the review and will itself decide what procedure will be used in this regard.

11. However, at the meeting of the Local Review Body on 10 August 2016, it was decided that the Local Review Body would carry out unaccompanied site inspections for every review case it received prior to the cases being given initial consideration at a meeting of the Local Review Body.

12. Given the current restrictions that are in place associated with the Covid-19 pandemic it will not be possible for members of the Local Review Body to visit the site to carry out their inspection in accordance with the aforementioned decision.

13. To overcome this issue, discussions have taken place with Councillor Ireland, Chair of the Local Review Body following which it was decided that as alternative to members of the Local Review Body visiting the site, the Planning Adviser to the Local Review Body will visit the site prior to the meeting during which he will film the application site. The recording will then be made available to the members of the Local Review Body to view in advance of the meeting which will be held on Wednesday, 5 August at 2.30pm.

INFORMATION AVAILABLE TO ALLOW REVIEW OF APPLICATION

14. Section 43B of the Planning etc (Scotland) Act 2006 restricts the ability of parties to introduce new material at the review stage. The Local Review Body is advised that the focus of the review should, therefore, be on the material which was before the officer who dealt with the application under the Scheme of Delegation.

15. The information detailed below is appended to this report to assist the Local Review Body in carrying out the review of the decision taken by the Appointed Officer:-

- (a) Application for planning permission – Appendix 1 (Pages 107 - 112);
- (b) Report of Handling by the planning officer under the Scheme of Delegation - Appendix 2 (Pages 113 - 122);
- (c) Decision notice and reasons for refusal - Appendix 3 (Pages 123 - 126); and
- (d) A copy of the applicants' Notice of Review and Statement of Reasons - Appendix 4 (Pages 127 - 134).

16. The applicants have also submitted the drawings listed below (available for inspection within the Planning Division of the Environment Department prior to the meeting and for reference at the meeting) and these are attached as Appendix 5 (Pages 135 - 138).

- (a) Refused - Existing Plans and Elevations; and
- (b) Refused – Proposed Plans and Elevations.

17. The Local Review Body is advised that initial consultation responses and representations received if any, relating to the application will be listed in the planning officer's Report of Handling.

18. All the documents referred to in this report can be viewed online on the Council's website at www.eastrenfrewshire.gov.uk.

RECOMMENDATIONS

19. The Local Review Body is asked to:-

- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
 - (i) it proceeds to determine whether the decisions taken in respect of the application under review should be upheld, reversed or varied; and
 - (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed.

- (b) In the event that further procedure is required to allow it to determine the review, consider:-
 - (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

Report Author: Paul O'Neil

Director - Caroline Innes, Deputy Chief Executive

Paul O'Neil, Committee Services Officer
e-mail: paul.o'neil@eastrenfrewshire.gov.uk
Tel: 0141 577 3011

Date:- July 2020

**APPLICATION
FOR
PLANNING PERMISSION**

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2020/01/31 TP

RECEIVED

- 9 MAR 2020

HOUSEHOLDER APPLICATION FOR PLANNING PERMISSION

Town and Country Planning (SCOTLAND) ACT 1997
The Town and Country Planning (Development Management Procedure) (SCOTLAND) REGULATIONS 2013

Please refer to the accompanying Guidance Notes when completing this application
PLEASE NOTE IT IS FASTER AND SIMPLER TO SUBMIT PLANNING APPLICATIONS ELECTRONICALLY VIA <https://www.eplanning.scot>

1. Applicant's Details		2. Agent's Details (if any)	
Title	MR AND MRS	Ref No.	
Forename		Forename	DEREK
Surname	WOOD	Surname	THOMPSON
Company Name		Company Name	LINDMARK HOME IMPROVEMENTS
Building No./Name	23	Building No./Name	C/O DEREK THOMPSON
Address Line 1	BALMEG AVENUE	Address Line 1	10 HIGH ROAD
Address Line 2		Address Line 2	
Town/City	GIFFNOCK	Town/City	FAISLEY
Postcode	G46 6QJ	Postcode	PA2 6AR
Telephone		Telephone	0141 889 4468
Mobile		Mobile	07778 466610
Fax		Fax	
Email		Email	derek@thompsonarchitectural.co.uk
3. Address or Location of Proposed Development (please include postcode)			
23 BALMEG AVENUE GIFFNOCK G46 6QJ			
NB. If you do not have a full site address please identify the location of the site(s) in your accompanying documentation.			
4. Describe the Proposed Works			
Please describe accurately the work proposed:			
ATTIC CONVERSION WITH DORMERS AND NEW PITCHED ROOF TO EXISTING EXTENSION			
Have the works already been started or completed Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
If yes, please state date of completion, or if not completed, the start date:			
Date started:	<input type="text"/>	Date completed:	<input type="text"/>

If yes, please explain why work has already taken place in advance of making this application.

5. Pre-Application Discussion

Have you received any advice from the planning authority in relation to this proposal? Yes No

If yes, please provide details about the advice below:

In what format was the advice given? Meeting Telephone call Letter Email

Have you agreed or are you discussing a Processing Agreement with the planning authority? Yes No

Please provide a description of the advice you were given and who you received the advice from:

Name: Date: Ref No.:

6. Trees

Are there any trees on or adjacent to the application site? Yes No

If yes, please show on drawings any trees (including known protected trees) and their canopy spread as they relate to the proposed site and indicate if any are to be cut back or felled.

7. Changes to Vehicle Access and Parking

Are you proposing a new altered vehicle access to or from a public road? Yes No

If yes, please show in your drawings the position of any existing, altered or new access and explain the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any changes to public paths, public rights of way or affecting any public rights of access? Yes No

If yes, please show on your drawings the position of any affected areas and explain the changes you propose to make, including arrangement for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application site?

How many vehicle parking spaces (garaging and open parking) do you propose on the site? (i.e. the total of existing and any new spaces or reduced number of spaces)

Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, etc.)

8. Planning Service Employee/Elected Member Interest

Are you / the applicant / the applicant's spouse or partner, a member of staff within the planning service or an elected member of the planning authority? Yes No

Or, are you / the applicant / the applicant's spouse or partner a close relative of a member of staff in the planning service or elected member of the planning authority? Yes No

If you have answered yes please provide details:

DECLARATION

I, the applicant / agent certify that this is an application for planning permission and that accompanying plans/drawings and additional information are provided as part of this application. I hereby confirm that the information given in this form is true and accurate to the best of my knowledge.

I, the applicant/agent hereby certify that the attached Land Ownership Certificate has been completed

I, the applicant/agent hereby certify that requisite notice has been given to other land owners and /or agricultural tenants Yes No N/A

Signature: [REDACTED] Name: DEREK THOMPSON Date: 3/3/20
LANDMARK HOME IMPROVEMENTS

Any personal data that you have been asked to provide on this form will be held and processed in accordance with Data Protection Legislation.

LAND OWNERSHIP CERTIFICATES

Town and Country Planning (Scotland) Act 1997
 Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

CERTIFICATE A, B, C, D OR CERTIFICATE E MUST BE COMPLETED BY ALL APPLICANTS

CERTIFICATE A

Certificate A is for use where the applicant is the only owner of the land to which the application relates and none of the land is agricultural land.

I hereby certify that -

- (1) No person other than myself *the applicant* was owner of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the application.
- (2) None of the land to which the application relates constitutes or forms part of agricultural land.

Signed:

On behalf of:

Date:

CERTIFICATE B

Certificate B is for use where the applicant is not the owner or sole owner of the land to which the application relates and/or where the land is agricultural land and where all owners/agricultural tenants have been identified.

I hereby certify that -

- (1) I have served notice on every person other than myself who, at the beginning of the period of 21 days ending with the date of the application was owner of any part of the land to which the application relates. These persons are:

Name	Address	Date of Service of Notice

- (2) None of the land to which the application relates constitutes or forms part of agricultural land
- or
- (3) The land or part of the land to which the application relates constitutes or forms part of agricultural land and I have served notice on every person other than myself who, at the beginning of the period of 21 days ending with the date of the application was an agricultural tenant. These persons are:

REPORT OF HANDLING

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REPORT OF HANDLING

Reference: 2020/0151/TP

Date Registered: 9th March 2020

Application Type: Full Planning Permission

This application is a Local Development

Ward: 3 -Giffnock And Thornliebank

Co-ordinates: 256157/:657923

Applicant/Agent:

Applicant:
Mr & Mrs Wood
23 Balmeg Avenue
Giffnock
East Renfrewshire
G46 6QJ

Agent:
Lindmark Home Improvements
Derek Thompson
10 High Road
Paisley
PA2 6AR

Proposal: Installation of dormer windows at front and sides; installation of hipped roof over existing rear extension in place of flat roof

Location: 23 Balmeg Avenue
Giffnock
East Renfrewshire
G46 6QJ

CONSULTATIONS/COMMENTS: None.

PUBLICITY: None.

SITE NOTICES: None.

SITE HISTORY:

1992/0174/TP	INSTALLATION OF FRONT, REAR AND SIDE DORMER WINDOWS	Granted	16.06.1992
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REPRESENTATIONS: No representations have been received.

DEVELOPMENT PLAN & GOVERNMENT GUIDANCE: See Appendix 1

SUPPORTING REPORTS: No reports have been submitted for consideration as part of this application.

ASSESSMENT:

The application site comprises a detached pyramidal roofed bungalow and its curtilage and lies within an established residential area characterised by similar house types. The dwelling is externally finished in white render with red roofing tiles. It has an existing flat-roofed single storey rear extension.

Planning permission is sought for the erection of one front and two side dormer windows (the latter: one on each side roof plane). Planning permission is also sought for the installation of a hipped roof over the existing rear extension. The proposed dormer windows comprise hipped roofs that rise to the level of the ridge of the existing house. They are designed such that their roof planes continue onto the plane of the existing roof.

The application requires to be assessed against Policies D1 and D14 of the adopted East Renfrewshire Local Development Plan. Policy D1 requires that all development should not result in a significant loss of character to the surrounding area and Policy D14 requires that dormer windows should not dominate the existing roof. The adopted Supplementary Planning Guidance: Householder Design Guide (SPG) is also relevant. The SPG states that dormer windows should be wholly contained within the roof slope, set below the ridge and off the side hips.

Given their position on each of the three roof planes and the fact that they are not set below the ridge or off the side hips, the proposed dormer windows are considered to dominate the roof and detract from the character of the dwelling. The increased massing on the roof draws the eye and detracts from the original horizontal proportions of the bungalow to the detriment of the visual amenity of the area. This is contrary to the terms of Policies D1 and D14 and to the terms of the SPG. Further the shallower pitch of the roof of the front dormer relative to the existing roof gives the impression of a change in roof pitch on the existing roof. This would be an incongruous design feature that would further detract from visual amenity and from the character of the original dwelling.

One of the side-facing dormer windows faces a side dormer on the adjacent dwelling at number 21 Balmeg Avenue. The window on the adjacent dwelling has opaque glass. The proposed dormers would not give rise to significant additional overlooking.

The hipped roof over the rear extension is acceptable in appearance and does not raise any amenity issues.

The agent has been advised of the policy position in relation to the dormers and has referred to similar proposals at 21 Balmeg Avenue, 145 Kilpatrick Gardens and 54 Melford Avenue. The development at 21 Balmeg Avenue dates from 2003 and pre-dates the current Local Development Plan. It is only one example given in the same street and this kind of development cannot be said to characterise the area. The example given at 145 Kilpatrick Gardens also dates from 2003 and does not have any bearing on the character of the area around the application site given its distance. The example at 54 Melford was granted by the Local Review Body; does not have similar dormers and was part of a larger one and a half storey extension. The examples given do not therefore outweigh the terms of the development plan. The agent has advised that the applicant wishes the application determined as it stands.

The Proposed Local Development Plan 2 is a material consideration and with regard to this planning application, the relevant policies are considered to be D1 and D1.1. The aforementioned policies largely reflect the adopted Local Development Plan policies. Consequently, for the reasons stated above, it is considered that the proposed works would be contrary to the relevant policies in the Proposed Local Development Plan.

In conclusion the proposal is contrary to the terms of Policies D1 and D14 of the adopted East Renfrewshire Local Development Plan as well as to the terms of the SPG as the proposed dormers would dominate and detract from the character of the dwelling by virtue of their position on the roof planes and would be detrimental to visual amenity. There are no material considerations that indicate the application should not be refused. It is therefore recommended that the application is refused.

RECOMMENDATION: Refuse

PLANNING OBLIGATIONS: None.

REASONS FOR REFUSAL:

1. The proposal is contrary to Policy D1 of the adopted East Renfrewshire Local Development Plan as the proposed dormers would be a prominent and incongruous feature on the roof by virtue of their size and location, to the detriment of visual amenity.
2. The proposal is contrary to Policies D14 of the adopted East Renfrewshire Local Development Plan as the proposed dormers would dominate and detract from the character of the dwelling by virtue of their size and position on the roof planes.
3. The proposal is contrary to the terms of the adopted Supplementary Planning Guidance: Householder Design Guide as the proposed dormers are not wholly contained within the roof slopes; are not set below the ridge; and are not set off the hips, to the detriment of the character and design of the dwelling and to the detriment of visual amenity.

ADDITIONAL NOTES: None.

ADDED VALUE: None

BACKGROUND PAPERS:

Further information on background papers can be obtained from Mr Derek Scott on 0141 577 3861.

Ref. No.: 2020/0151/TP
(DESC)

DATE: 7th May 2020

DIRECTOR OF ENVIRONMENT

Reference: 2020/0151/TP - Appendix 1

DEVELOPMENT PLAN:

Strategic Development Plan

This proposal raises no strategic issues in terms of the Glasgow and the Clyde Valley Strategic Development Plan and therefore the East Renfrewshire Local Plan is the relevant policy document

Adopted East Renfrewshire Local Development Plan

Policy D1- Detailed Guidance for all Development

Proposals for development should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. In

some cases, where the criteria have not been met, a written justification will be required to assist with assessment.

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. The proposal should be of a size, scale, massing and density that is in keeping with the buildings in the locality and should respect local architecture, building form, design, and materials;
3. The amenity of neighbouring properties should not be adversely affected by unreasonably restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Planning Guidance;
4. The development should not impact adversely on landscape character or the green network, involve a significant loss of trees or other important landscape, greenspace or biodiversity features;
5. Developments should incorporate green infrastructure including access, landscaping, greenspace, water management and Sustainable Urban Drainage Systems at the outset of the design process. Where appropriate, new tree or shrub planting should be incorporated using native species. The physical area of any development covered by impermeable surfaces should be kept to a minimum to assist with flood risk management. Further guidance is contained within the Green Network and Environmental Management Supplementary Planning Guidance;
6. Development should create safe and secure environments that reduce the scope for anti-social behaviour and fear of crime;
7. Developments must be designed to meet disability needs and include provision for disabled access within public areas;
8. The Council will not accept 'backland' development, that is, development without a road frontage;
9. Parking and access requirements of the Council should be met in all development and appropriate mitigation measures should be introduced to minimise the impact of new development. Development should take account of the principles set out in 'Designing Streets';
10. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the development;
11. Developments should include provision for the recycling, storage, collection and composting of waste materials;
12. Where possible, all waste material arising from construction of the development should be retained on-site for use as part of the new development;
13. Where applicable, new development should take into account the legacy of former mining activity;
14. Development should enhance the opportunity for and access to sustainable transportation, including provision for bus infrastructure, and particularly walking and cycle opportunities including cycle parking and provision of facilities such as showers/lockers, all where appropriate. The Council will not support development on railways solums or other development that would remove opportunities to enhance pedestrian and cycle access unless mitigation measures have been demonstrated;
15. The Council requires the submission of a design statement for national and major developments. Design statements must also be submitted in cases where a local development relates to a site within a conservation area or Category A listed building in

line with Planning Advice Note 68: Design Statements.

16. Where applicable, developers should explore opportunities for the provision of digital infrastructure to new homes and business premises as an integral part of development.

Policy D14 - Extensions to Existing Buildings and Erection of Outbuildings and Garages

Any extensions must complement the existing character of the property, particularly in terms of style, form and materials.

The size, scale and height of any development must be appropriate to the existing building. In most circumstances, pitched roofs utilising slates or tiles to match the existing house will be the appropriate roof type. Alternatives, such as flat roofs or green roofs, will be considered on a site specific basis.

Side extensions should not create an unbroken or terraced appearance.

The development should avoid over-development of the site by major loss of existing garden space.

Dormer windows should not in general dominate the existing roof, nor rise above or break the existing ridgeline or hip of the roof, and should be finished in materials to match existing roof finishes.

The above are broad requirements and these are further defined in the Householder Design Guide Supplementary Planning Guidance.

Proposed Local Development Plan 2

Policy D1 - Placemaking and Design

Proposals for development within the urban and rural areas should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. Proposals will be assessed against the 6 qualities of a successful place as outlined in SPP, Designing Streets and the Placemaking and Design Supplementary Guidance.

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. The proposal should be appropriate to its location, be high quality and of a size, scale, height, massing and density that is in keeping with the buildings in the locality or appropriate to the existing building and should respect local architecture, building form and design;
3. Respect existing building lines and heights of the locality;
4. Create a well-defined structure of streets, public spaces and buildings;
5. Ensure the use of high quality sustainable and durable materials, colours and finishes that complement existing development and buildings in the locality;
6. Respond to and complement site topography and not impact adversely upon the green belt and landscape character, green networks, features of historic interest, landmarks, vistas, skylines and key gateways. Existing buildings and natural features of suitable quality, should be retained and sensitively integrated into proposals including

- greenspace, trees and hedgerows;
7. Boundary treatment and landscaping should create a distinctive edge and gateway to the development and reflect local character;
 8. Promote permeable and legible places through a clear sustainable movement hierarchy favouring walking, then cycling, public transport, then the private car as forms of movement;
 9. Demonstrate connectivity through the site and to surrounding spaces via a network of safe, direct, attractive and coherent walking and cycling routes. These must be suitable for all age groups, and levels of agility and mobility to allow for ease of movement from place to place;
 10. Demonstrate that safe and functional pedestrian, cycle and vehicular access, and parking facilities and infrastructure, including for disabled and visitor parking, is provided in accordance with the Council's Roads Development Guide. Where appropriate, proposals will be required to provide secure and accessible shelters, lockers, showers and seating and be designed to meet the needs of all users. Cycle parking and facilities should be located in close proximity to the entrances of all buildings to provide convenience and choice for users;
 11. Incorporate integrated and enhance existing green infrastructure assets, such as landscaping, trees and greenspace, water management and SUDs including access and prioritise links to the wider green network as an integral part of the design process from the outset, in accordance with Policies D4 - D6. New green infrastructure must be designed to protect and enhance the habitat and biodiversity of the area and demonstrate a net gain;
 12. There will be a general presumption against all proposals that involve landraising. Where there is a justifiable reason for landraising, proposals must have regard to the scale and visual impact of the resultant changes to the local landscape and amenity. Proposals that adversely impact upon the visual and physical connections through the site and to the surrounding areas will be resisted;
 13. Backland development should be avoided;
 14. Provide safe, secure and welcoming places with buildings and spaces, including open spaces, play areas and landscaping, designed and positioned to reduce the scope for anti-social behaviour and fear of crime, improve natural surveillance, passive overlooking, security and street activity;
 15. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by unreasonably restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Guidance;
 16. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the proposal;
 17. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by noise, dust, pollution and smell or poor air quality;
 18. Ensure buildings and spaces are future proof designed to be easily adaptable and flexible to respond to changing social, environmental, technological, digital and economic conditions;
 19. Incorporate provision for the recycling, storage, collection and composting of waste materials; and
 20. Incorporate the use of sustainable design and construction methods and materials in the

layout and design to support a low carbon economy.

Proposals must meet the requirements of any development brief prepared by the Council for an allocated site.

Further detailed guidance and information will be set out in the Placemaking and Design Supplementary Guidance, Householder Design Supplementary Guidance and the Daylight and Sunlight Design Supplementary Guidance.

Policy D1.1 - Extensions and Alterations to Existing Buildings for Residential Purposes
Proposals will be assessed against the following criteria:

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. Should complement the scale and character of the existing building, neighbouring properties and their setting, particularly in terms of style, form and materials;
3. The size, scale and height of any development must be appropriate to and not adversely impact or dominate the existing building;
4. Should not create an unbroken or terraced appearance;
5. Where additional bedrooms are proposed or a garage/driveway is being converted to another use other than for the parking of a vehicle, proposals will be required to provide parking in accordance with the Council's Roads Development Guide; and
6. Should avoid over-development of the site by major loss of existing front and rear garden space. No more than 50% of the rear garden should be occupied by the development.

Further detailed information and guidance will be set out in the Householder Design Guide Supplementary Guidance.

GOVERNMENT GUIDANCE: None

Finalised 7th May 2020 – AC(1)

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**DECISION NOTICE
AND
REASONS FOR REFUSAL**

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TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
(AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(SCOTLAND) REGULATIONS 2013

REFUSAL OF PLANNING PERMISSION

Ref. No. **2020/0151/TP**

Applicant:

Mr & Mrs Wood
23 Balmeg Avenue
Giffnock
East Renfrewshire
G46 6QJ

Agent:

Lindmark Home Improvements
Derek Thompson
10 High Road
Paisley
PA2 6AR

With reference to your application which was registered on 9th March 2020 for planning permission under the abovementioned Act and Regulations for the following development, viz:-

Installation of dormer windows at front and sides; installation of hipped roof over existing rear extension in place of flat roof

at: 23 Balmeg Avenue Giffnock East Renfrewshire G46 6QJ

the Council in exercise of their powers under the abovementioned Act and Regulations hereby refuse planning permission for the said development.

The reason(s) for the Council's decision are:-

1. The proposal is contrary to Policy D1 of the adopted East Renfrewshire Local Development Plan as the proposed dormers would be a prominent and incongruous feature on the roof by virtue of their size and location, to the detriment of visual amenity.
2. The proposal is contrary to Policies D14 of the adopted East Renfrewshire Local Development Plan as the proposed dormers would dominate and detract from the character of the dwelling by virtue of their size and position on the roof planes.
3. The proposal is contrary to the terms of the adopted Supplementary Planning Guidance: Householder Design Guide as the proposed dormers are not wholly contained within the roof slopes; are not set below the ridge; and are not set off the hips, to the detriment of the character and design of the dwelling and to the detriment of visual amenity.

Dated 7th May 2020

Director of Environment
East Renfrewshire Council
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG
Tel. No. 0141 577 3001

The following drawings/plans have been refused

Plan Description	Drawing Number	Drawing Version	Date on Plan
Plans Proposed	2		
Block Plan and Location Plan Proposed	1		

GUIDANCE NOTE FOR REFUSAL OF LOCAL DEVELOPMENTS DETERMINED UNDER DELEGATED POWERS

REVIEW BY EAST RENFREWSHIRE COUNCIL'S LOCAL REVIEW BODY

1. If the applicant is aggrieved by a decision to refuse permission (or by an approval subject to conditions), the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. A Notice of Review can be submitted online at www.eplanning.scotland.gov.uk. Please note that beyond the content of the appeal or review forms, **you cannot normally raise new matters** in support of an appeal or review, unless you can demonstrate that the matter could not have been raised before, or that its not being raised before is a consequence of exceptional circumstances. Following submission of the notice, you will receive an acknowledgement letter informing you of the date of the Local Review Body meeting or whether further information is required.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

CONTACT DETAILS

**East Renfrewshire Council
Development Management Service
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG**

**General Inquiry lines 0141 577 3895 or 0141 577 3878
Email planning@eastrenfrewshire.gov.uk**

**NOTICE OF REVIEW
AND
STATEMENT OF REASONS**

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100269518-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	Derek Thompson Architectural Services		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Derek	Building Name:	Morven House
Last Name: *	Thompson	Building Number:	10
Telephone Number: *	0141 889 4468	Address 1 (Street): *	High Road
Extension Number:		Address 2:	
Mobile Number:	07778 466610	Town/City: *	Paisley
Fax Number:		Country: *	Scotland
		Postcode: *	PA2 6AR
Email Address: *	derek@thompsonarchitectural.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="S"/>	Building Number:	<input type="text" value="23"/>
Last Name: *	<input type="text" value="Wood"/>	Address 1 (Street): *	<input type="text" value="Balmeg Avenue"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text" value="Giffnock"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Glasgow"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="Scotland"/>
Mobile Number:	<input type="text" value=""/>	Postcode: *	<input type="text" value="G46 6QJ"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value=""/>		

Site Address Details

Planning Authority:	<input type="text" value="East Renfrewshire Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="23 BALMEG AVENUE"/>
Address 2:	<input type="text" value="GIFFNOCK"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="GLASGOW"/>
Post Code:	<input type="text" value="G46 6QJ"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="657923"/>	Easting	<input type="text" value="256157"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Installation of dormer windows at front and sides , installation of hipped roof over existing rear extension in place of flat roof.

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

The application was refused despite the house at number 16 Balmeg Avenue having been given approval for a very similar proposal with pitched roof dormers to front and side . There are many other front and side dormers in the area as well as on the street at 21 and 24 Balmeg Avenue. Notice of Review have approved applications exactly the same at 54 Melford Avenue and 145 Kilpatrick Gardens so we feel that an overriding precedence has already been established for approving this proposal.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Drawings CSM 2695_01 and CSM 2695_02 showing the proposal.

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

2020/0151/TP

What date was the application submitted to the planning authority? *

09/03/2020

What date was the decision issued by the planning authority? *

07/05/2020

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Derek Thompson

Declaration Date: 19/06/2020

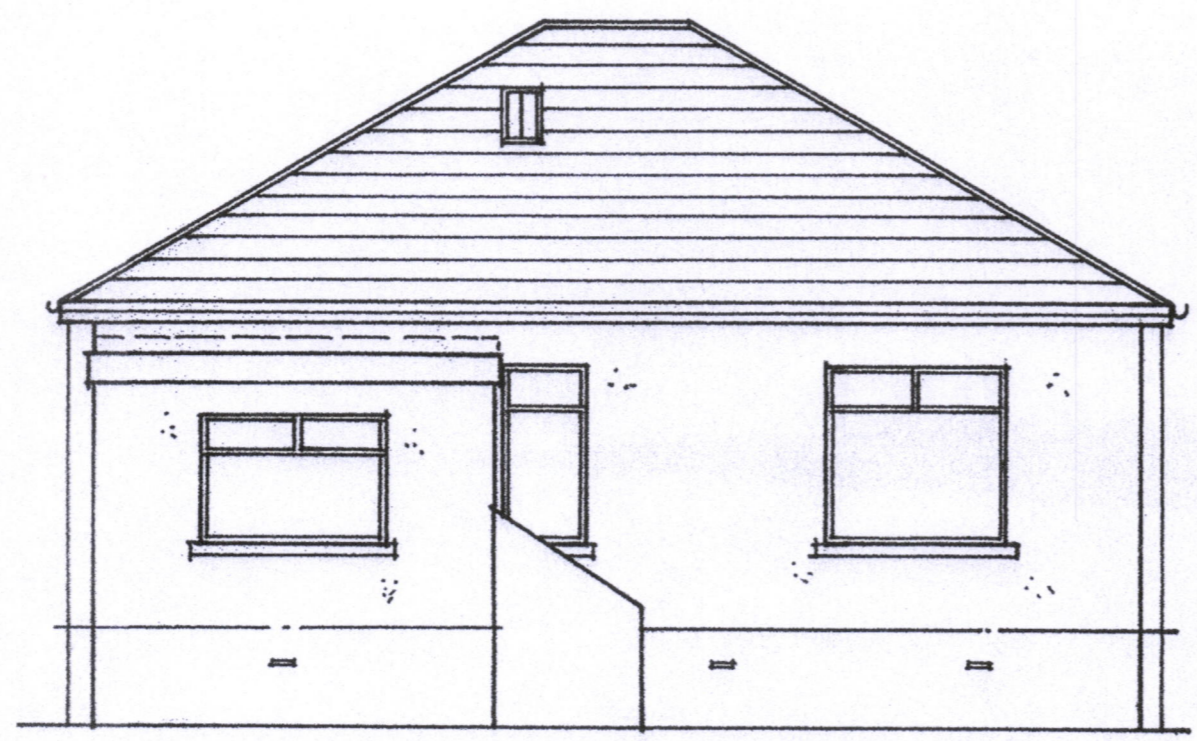
BLANK PAGE

PLANS/PHOTOGRAPHS/DRAWINGS

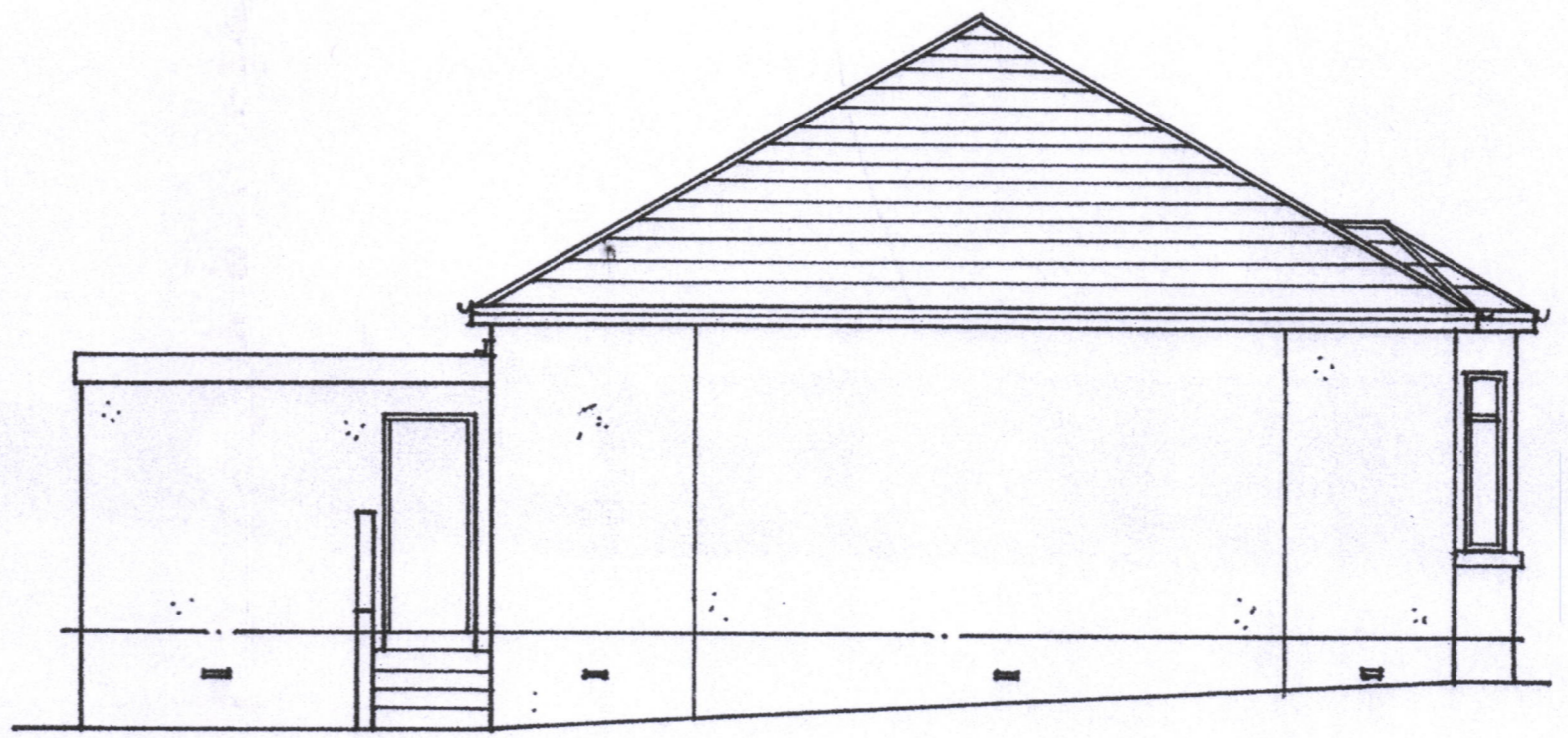
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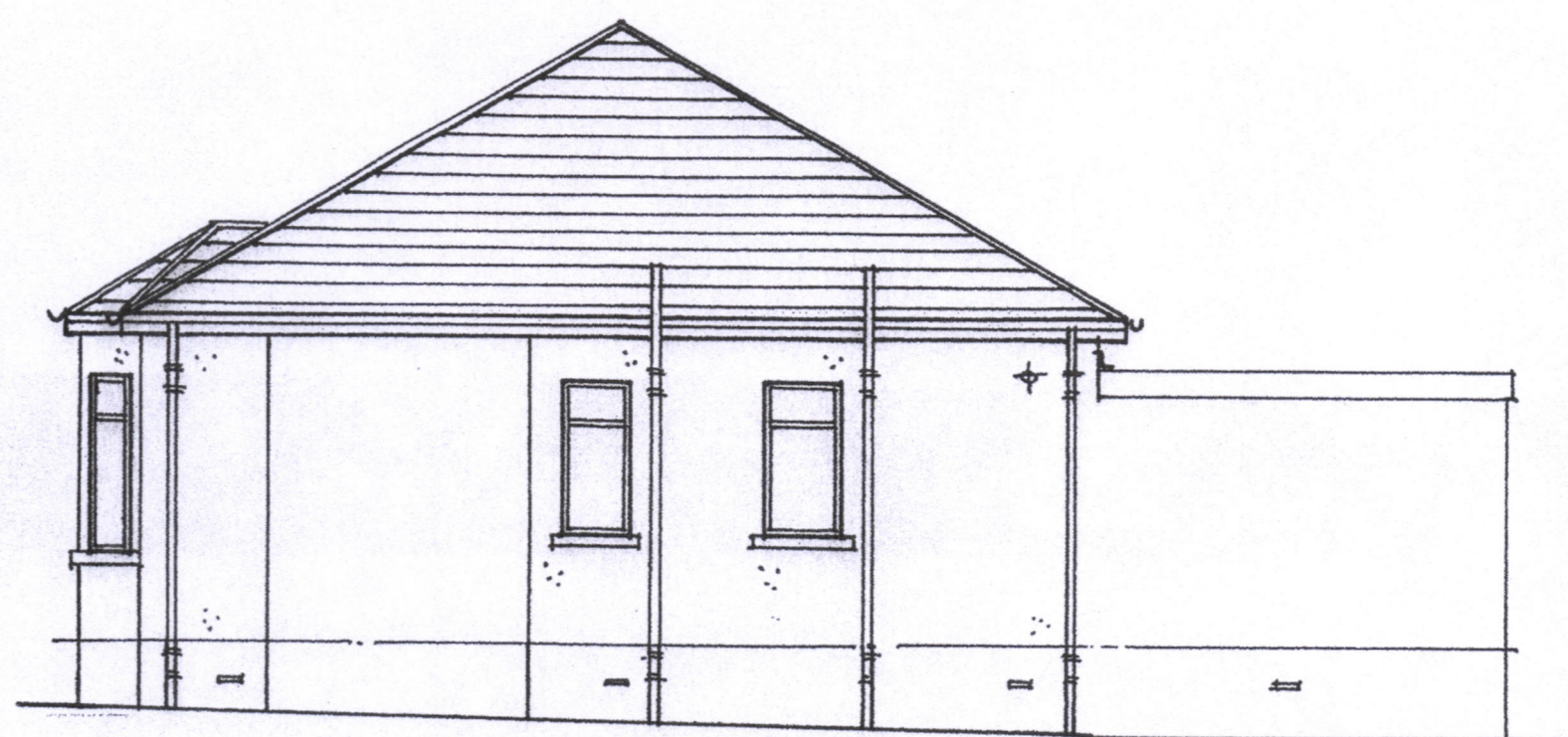
Front Elevation as Existing 1/100



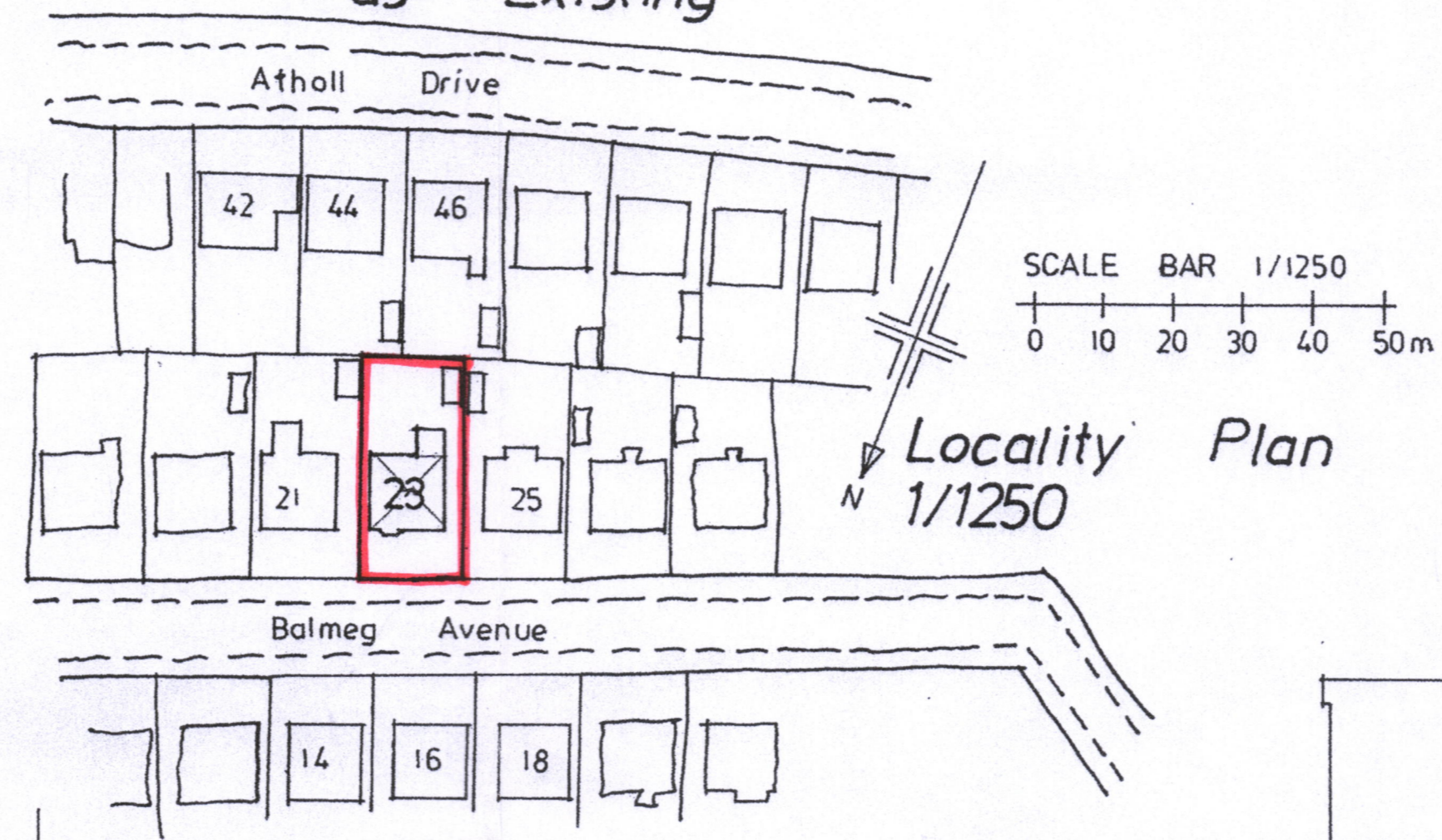
Rear Elevation as Existing



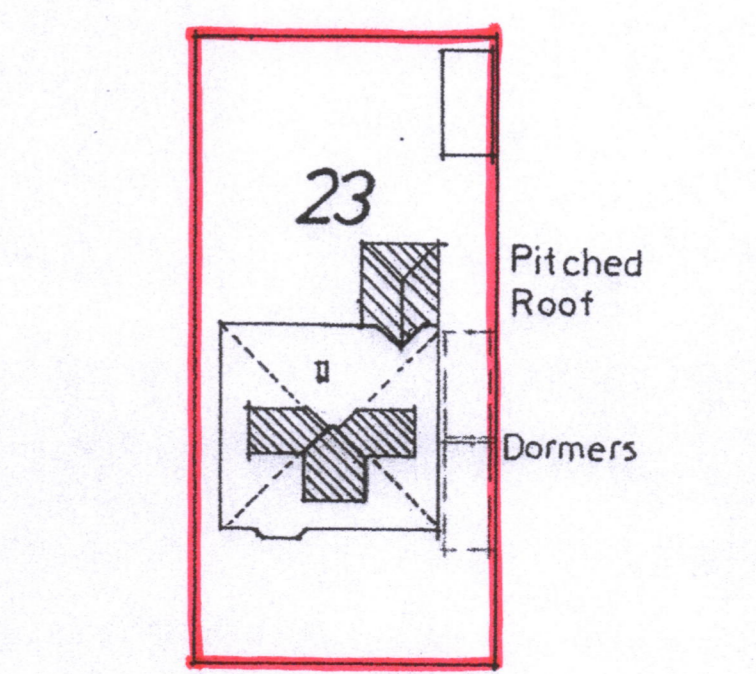
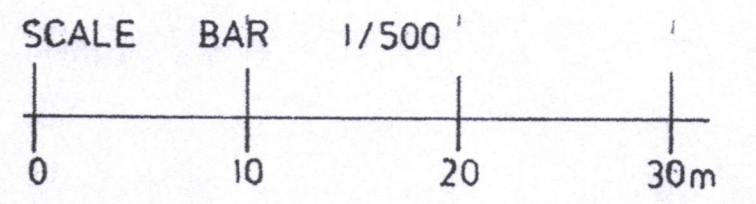
Side Elevation as Existing



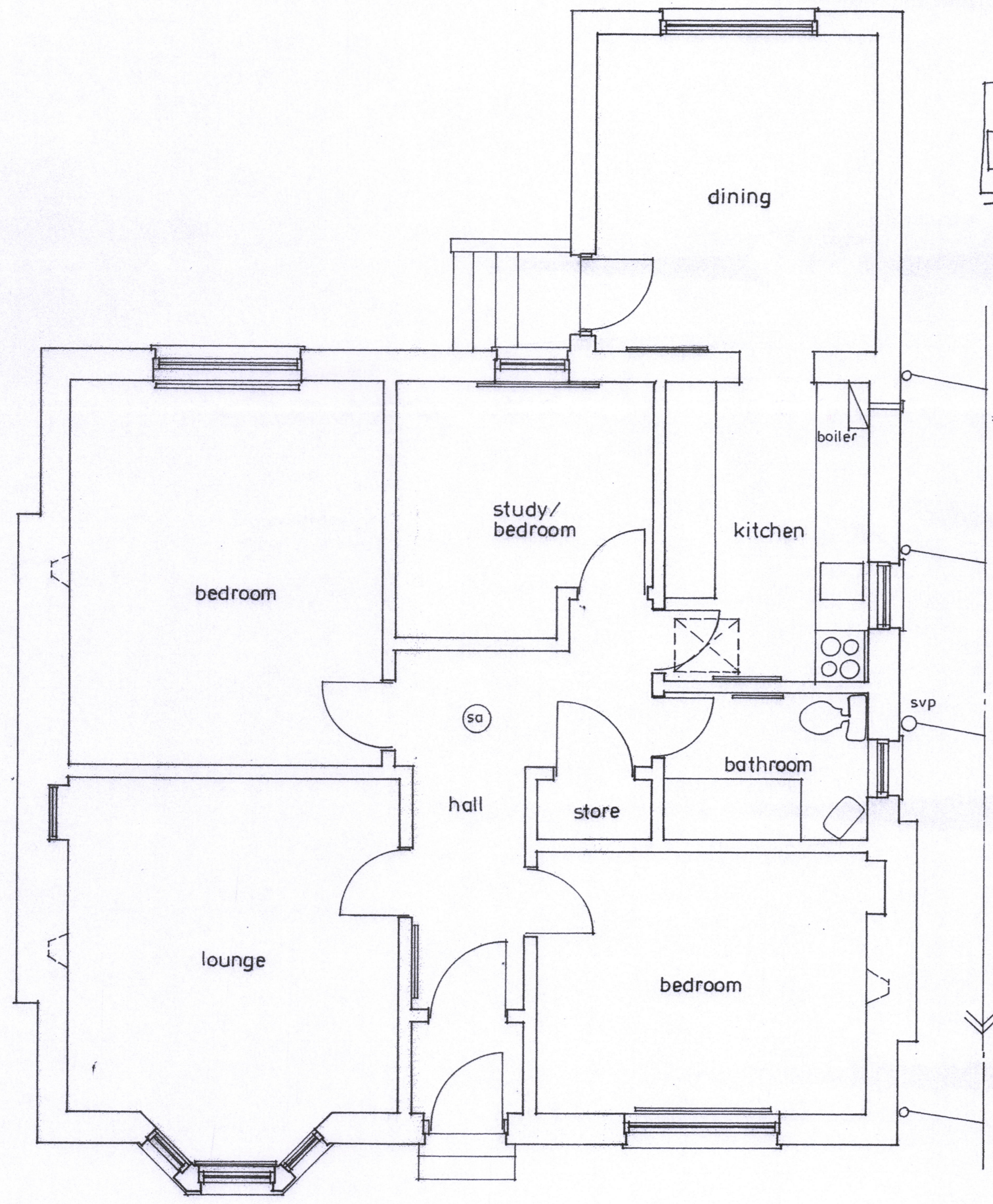
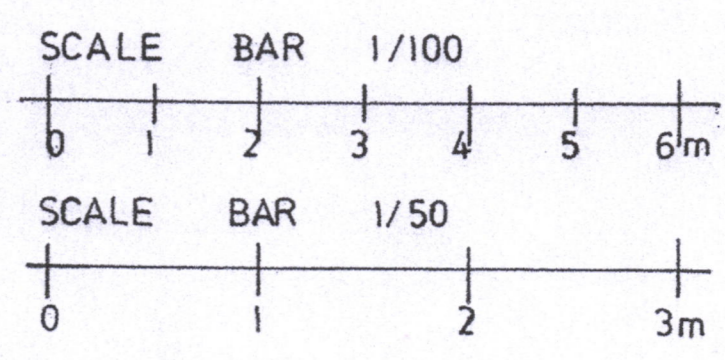
Side Elevation as Existing



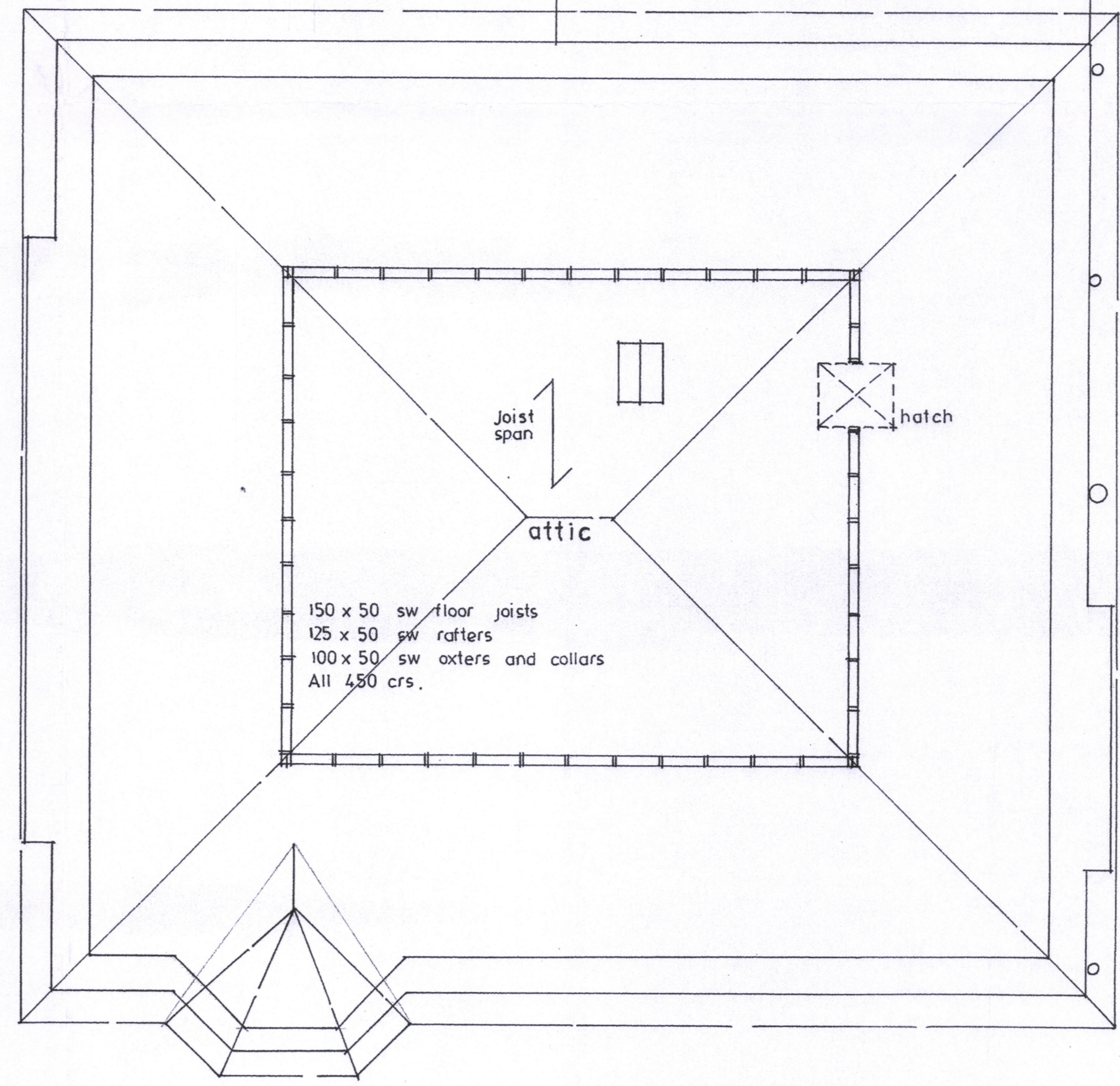
Locality Plan 1/1250



Site Plan 1/500



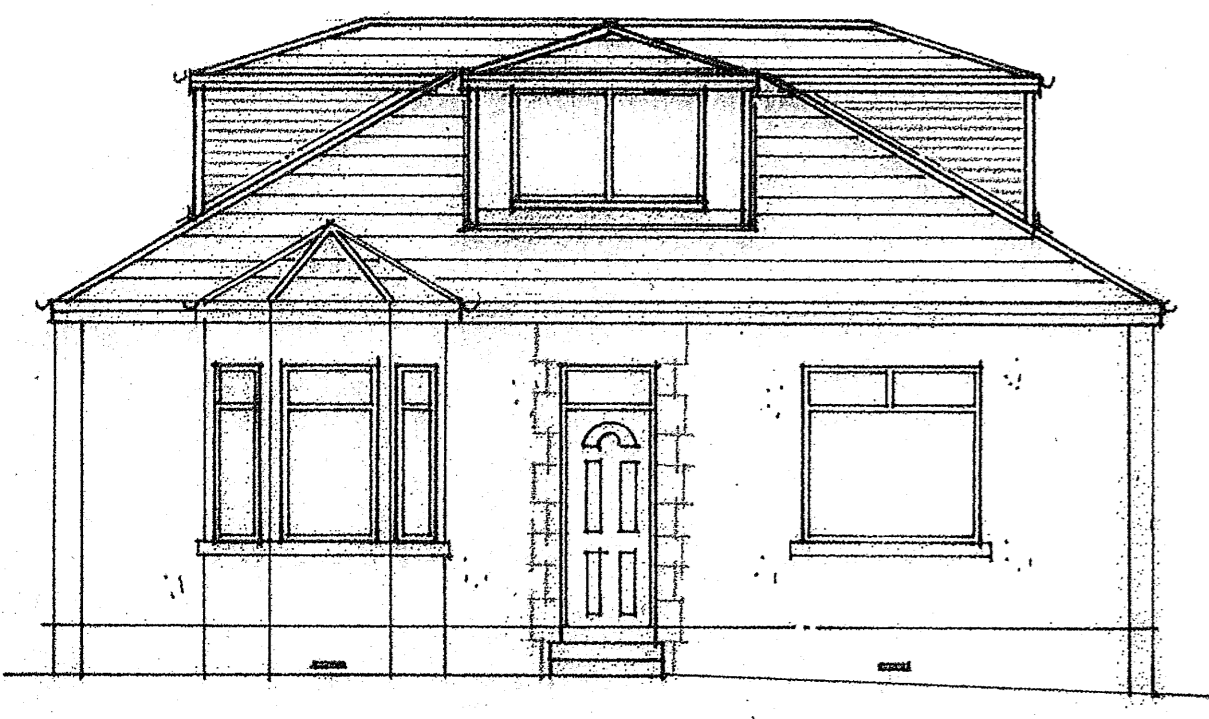
Ground Floor Plan as Existing 1/50



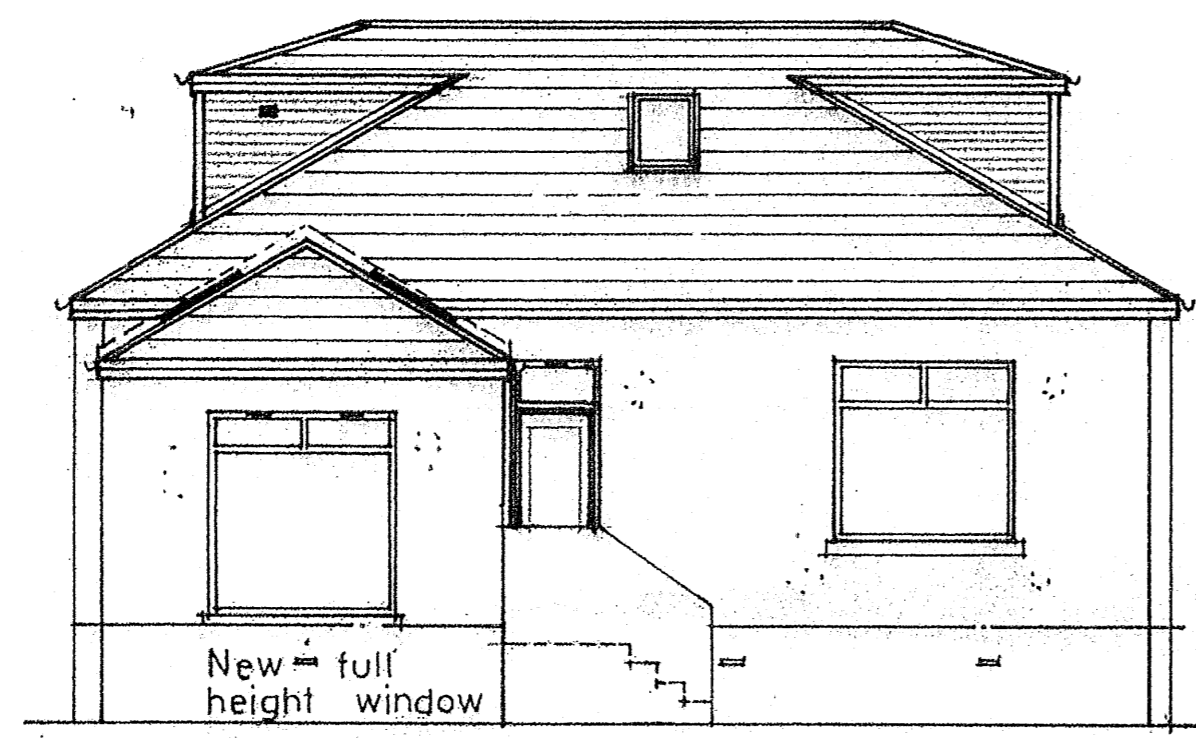
Attic Floor Plan as Existing

150 x 50 sw floor joists
125 x 50 sw rafters
100 x 50 sw oxters and collars
All 450 crs.

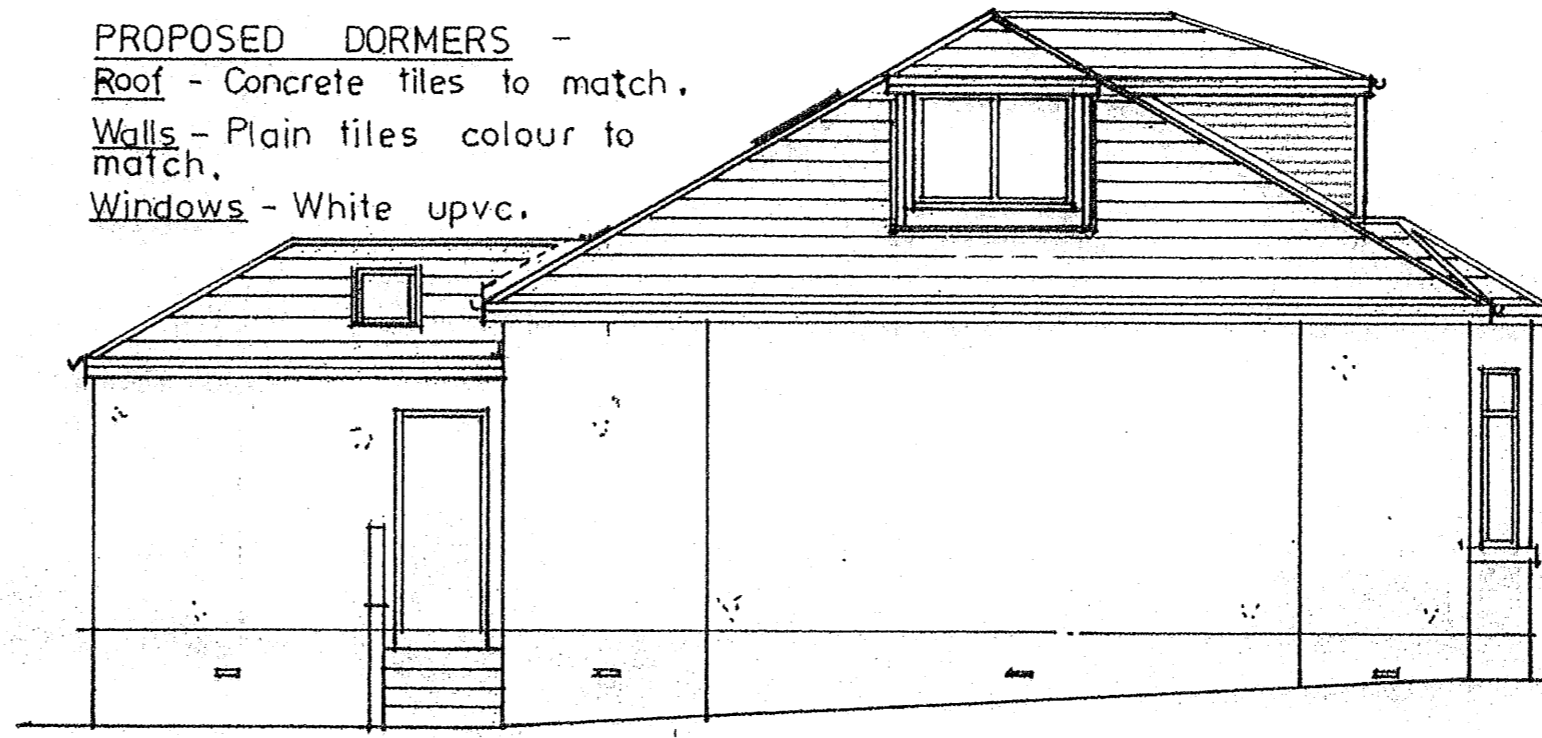
Mr and Mrs Wood
23 Balmeg Avenue
Giffnock
G46 6QJ
Attic Conversion with
Dormers, Roof to Extension
Plans and Elevations
as Existing
SCALE 1/50, 1/100 DATE FEB. 2020
PAPER SIZE A2 CSM 2695/1



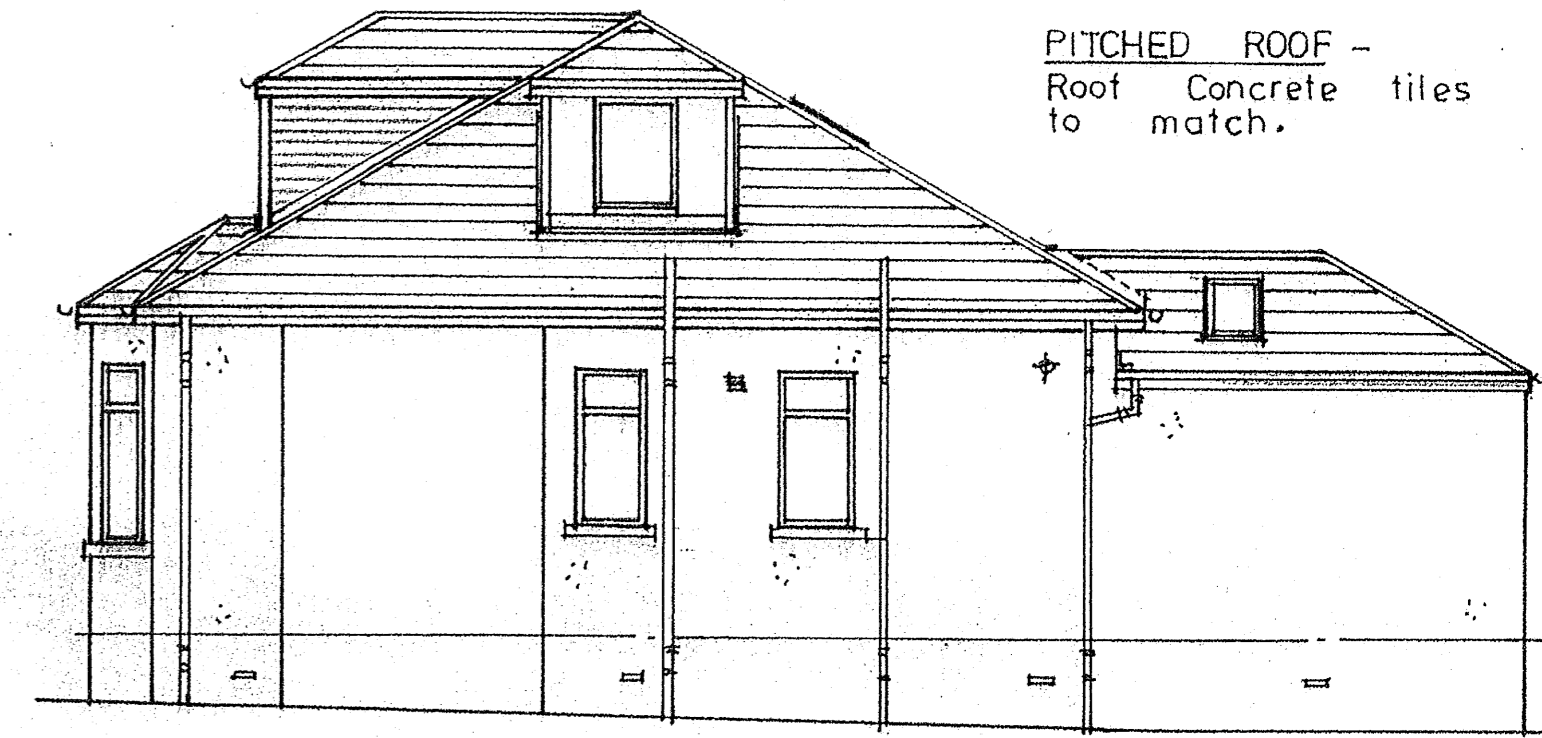
Front Elevation as Proposed 1/100



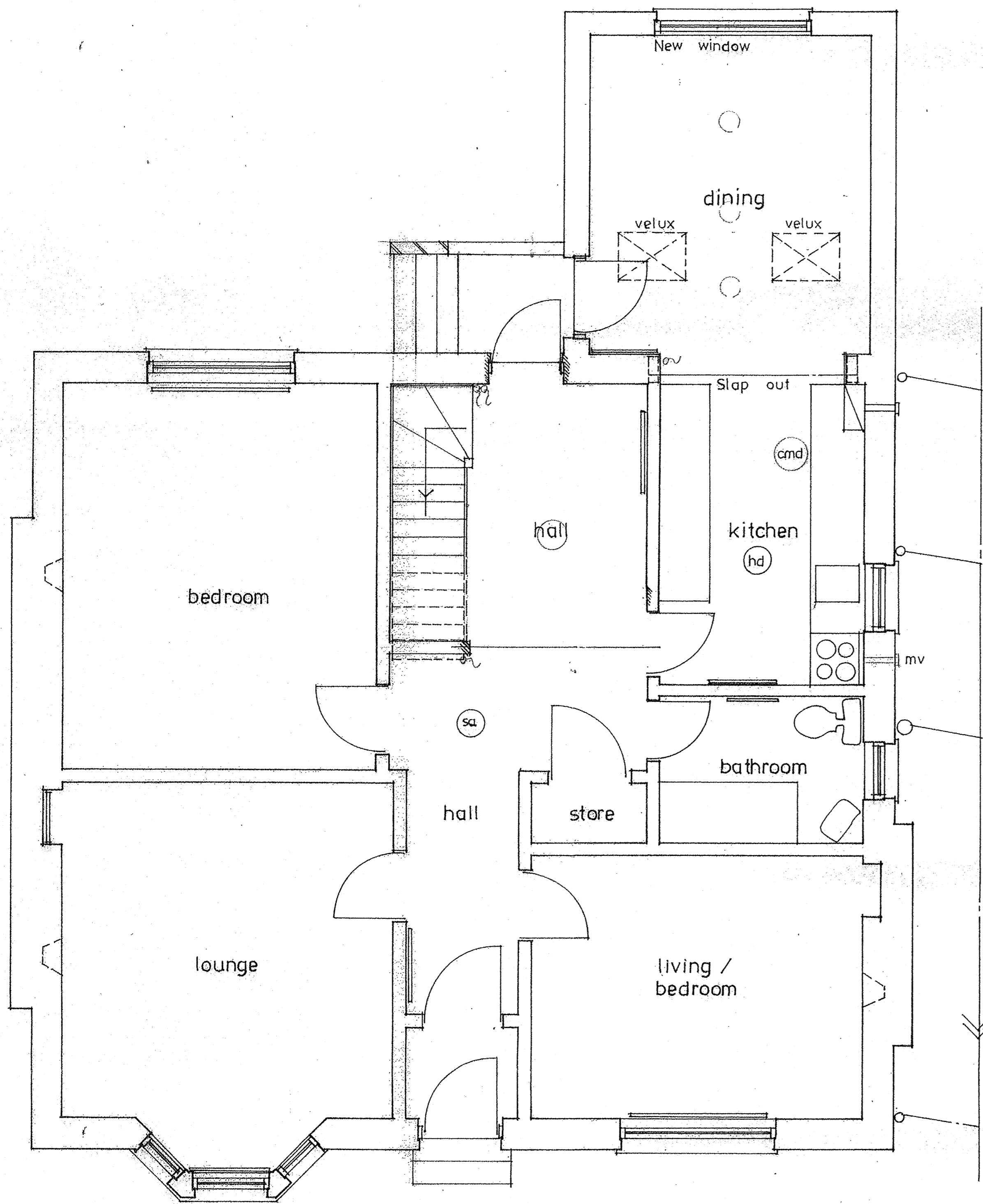
Rear Elevation as Proposed



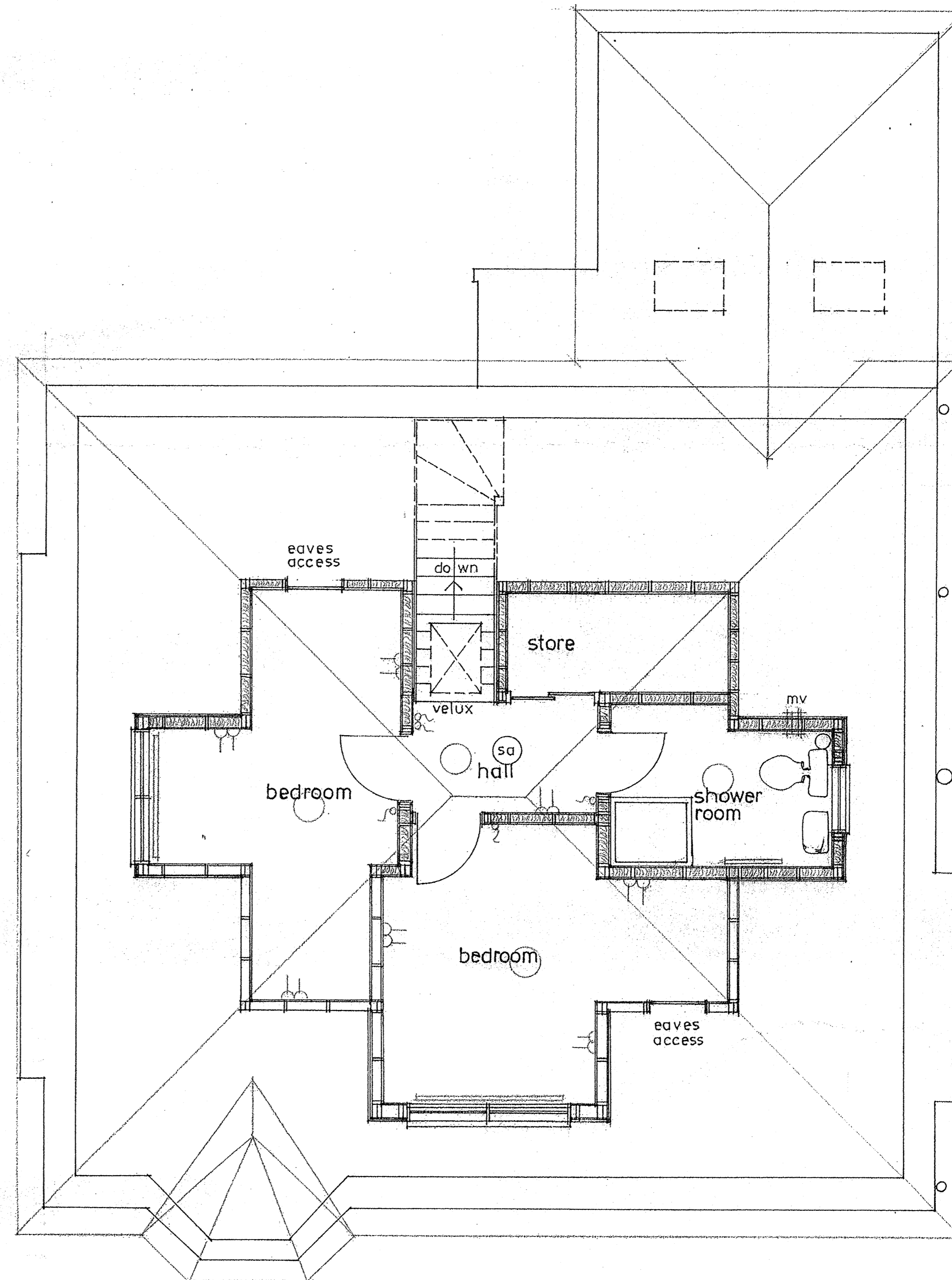
Side Elevation as Proposed



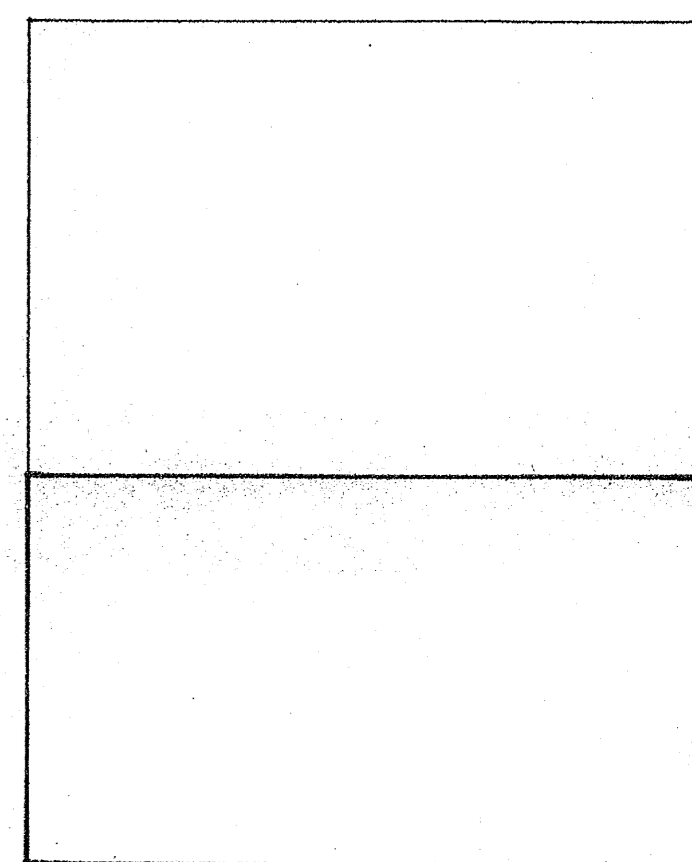
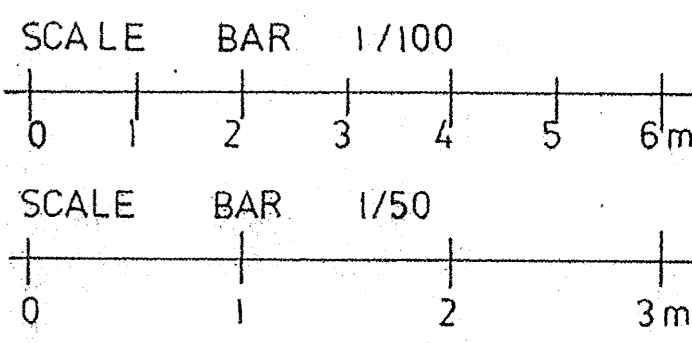
Side Elevation as Proposed



Ground Floor Plan as Proposed 1/50



Attic Floor Plan as Proposed



Mr and Mrs Wood
 23 Balmeg Avenue
 Giffnock
 G46 6QJ
 Attic Conversion with
 Dormers Roof to Extension
 Plans and Elevations
 as Proposed
 SCALE 1/50,1/100 DATE FEB 2020
 PAPER SIZE A2 CSM 2695 / 2

EAST RENFREWSHIRE COUNCILLOCAL REVIEW BODY5 August 2020Report by Deputy Chief ExecutiveREVIEW OF CASE - REVIEW/2020/09ERECTION OF ONE AND A HALF STOREY REAR EXTENSION FORMING GABLE ENDWITH ASSOCIATED RAISING OF RIDGE HEIGHTAT 52 MELFORD AVENUE GIFFONCK**PURPOSE OF REPORT**

1. The purpose of the report is to present the information currently available to allow a review of the decision taken by officers, in terms of the Scheme of Delegation made in terms of Section 43A of the Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 in respect of the application detailed below.

DETAILS OF APPLICATION

2. Application type: Full Planning Permission (Ref No:- 2020/0100/TP).
- Applicant: Mr John Dunn.
- Proposal: Erection of one and a half storey rear extension forming gable end with associated raising of ridge height
- Location: 52 Melford Avenue, Giffnock G46 6ND
- Council Area/Ward: Giffnock and Thornliebank (Ward 3).

REASON FOR REQUESTING REVIEW

3. The applicant has requested a review on the grounds that the Council's Appointed Officer refused the application.

RECOMMENDATIONS

4. The Local Review Body is asked to:-
- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
- (i) it proceeds to determine whether the decision taken in respect of the application under review should be upheld, reversed or varied; and
- (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed.

- (b) In the event that further procedure is required to allow it to determine the review, consider:-
 - (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

BACKGROUND

5. At the meeting of the Council on 29 April 2009, consideration was given to a report by the Director of Environment seeking the adoption of a new Scheme of Delegation in terms of the new Section 43A of the Town and Country Planning (Scotland) Act 1997, subject to approval of the scheme by Scottish Ministers.

6. The report provided details of the new hierarchy of developments that took effect from 6 April 2009 explaining that the Scheme of Delegation related to those applications within the “local development” category as set out in the Town and Country Planning (Hierarchy of Development) (Scotland) Regulations 2009, but would in future be determined by an “appointed officer”. In the Council’s case this would be either the Director of Environment or the Head of Roads, Planning and Transportation Service now designated the Head of Environment (Chief Planning Officer).

7. The report highlighted that historically appeals against planning decisions were dealt with by Scottish Ministers. However, following the introduction of the new planning provisions which came into effect on 3 August 2009 all appeals against decisions made in respect of local developments under delegated powers would be heard by a Local Review Body. The Local Review Body would also deal with cases where the appointed officer had failed to determine an application within two months from the date it was lodged.

NOTICE OF REVIEW – STATEMENT OF REASONS FOR REQUIRING THE REVIEW

8. The applicant in submitting the review has stated the reasons for requiring the review of the determination of the application. A copy of the applicant’s Notice of Review and Statement of Reasons is attached as Appendix 5.

9. The applicant is entitled to state a preference for the procedure (or combination of procedures) to be followed by the Local Review Body in the determination of the review and has indicated that his stated preference is a site inspection.

10. The Local Review Body is not bound to accede to the applicant’s request as to how it will determine the review and will itself decide what procedure will be used in this regard.

11. However, at the meeting of the Local Review Body on 10 August 2016, it was decided that the Local Review Body would carry out unaccompanied site inspections for every review case it received prior to the cases being given initial consideration at a meeting of the Local Review Body.

12. Given the current restrictions that are in place associated with the Covid-19 pandemic it will not be possible for members of the Local Review Body to visit the site to carry out their inspection in accordance with the aforementioned decision.

13. To overcome this issue, discussions have taken place with Councillor Ireland, Chair of the Local Review Body following which it was decided that as alternative to members of the Local Review Body visiting the site, the Planning Adviser to the Local Review Body will visit the site prior to the meeting during which he will film the application site. The recording will then be made available to the members of the Local Review Body to view in advance of the meeting which will be held on Wednesday, 5 August at 2.30pm.

INFORMATION AVAILABLE TO ALLOW REVIEW OF APPLICATION

14. Section 43B of the Planning etc (Scotland) Act 2006 restricts the ability of parties to introduce new material at the review stage. The Local Review Body is advised that the focus of the review should, therefore, be on the material which was before the officer who dealt with the application under the Scheme of Delegation.

15. The information detailed below is appended to this report to assist the Local Review Body in carrying out the review of the decision taken by the Appointed Officer:-

- (a) Application for planning permission – Appendix 1 (Pages 143 - 150);
- (b) Report of Handling by the planning officer under the Scheme of Delegation - Appendix 2 (Pages 151 - 160);
- (c) Decision notice and reasons for refusal - Appendix 3 (Pages 161 - 166); and
- (d) A copy of the applicant's Notice of Review and Statement of Reasons - Appendix 4 (Pages 167 - 184).

16. The applicant has also submitted the drawings listed below (available for inspection within the Planning Division of the Environment Department prior to the meeting and for reference at the meeting) and these are attached as Appendix 5 (Pages 185 - 190).

- (a) Refused – Location Plan;
- (b) Refused – Existing and Proposed Plans, Elevations and Location Plans;
- (c) Refused – Existing and Proposed Roof Plan, Details and Notes; and
- (d) Refused – Proposed Attic Plan, Elevations and Sections.

17. The Local Review Body is advised that initial consultation responses and representations received if any, relating to the application will be listed in the planning officer's Report of Handling.

18. All the documents referred to in this report can be viewed online on the Council's website at www.eastrenfrewshire.gov.uk.

RECOMMENDATIONS

19. The Local Review Body is asked to:-

- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
 - (i) it proceeds to determine whether the decisions taken in respect of the application under review should be upheld, reversed or varied; and

- (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed.

- (b) In the event that further procedure is required to allow it to determine the review, consider:-
 - (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

Report Author: Paul O'Neil

Director - Caroline Innes, Deputy Chief Executive

Paul O'Neil, Committee Services Officer
e-mail: paul.o'neil@eastrenfrewshire.gov.uk
Tel: 0141 577 3011

Date:- July 2020

**APPLICATION
FOR
PLANNING PERMISSION**

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100235684-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Description of Proposal

Please describe accurately the work proposed: * (Max 500 characters)

Proposed rear 1.5 storey extension c/w ridge increase to exiting dwelling

Has the work already been started and/ or completed? *

No Yes - Started Yes – Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	CAF Designs LTD		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	Craig	Building Name:	<input type="text"/>
Last Name: *	Fullerton	Building Number:	53
Telephone Number: *	+441698825660	Address 1 (Street): *	Calderglen Avenue
Extension Number:	<input type="text"/>	Address 2:	Blantyre
Mobile Number:	<input type="text"/>	Town/City: *	Glasgow
Fax Number:	<input type="text"/>	Country: *	United Kingdom
		Postcode: *	G72 9UP
Email Address: *	craig@cafdesigns.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Mr	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	John	Building Number:	52
Last Name: *	Dunn	Address 1 (Street): *	Melford Avenue
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	Giffnock
Extension Number:	<input type="text"/>	Country: *	UK
Mobile Number:	<input type="text"/>	Postcode: *	G46 6ND
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text"/>		

Site Address Details

Planning Authority:

East Renfrewshire Council

Full postal address of the site (including postcode where available):

Address 1:

52 MELFORD AVENUE

Address 2:

GIFFNOCK

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

GLASGOW

Post Code:

G46 6ND

Please identify/describe the location of the site or sites

Northing

658410

Easting

256735

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

Yes No

Trees

Are there any trees on or adjacent to the application site? *

Yes No

If yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Access and Parking

Are you proposing a new or altered vehicle access to or from a public road? *

Yes No

If yes, please describe and show on your drawings the position of any existing, altered or new access points, highlighting the changes you proposed to make. You should also show existing footpaths and note if there will be any impact on these.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

Yes No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

Yes No

Is any of the land part of an agricultural holding? *

Yes No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: Craig Fullerton

On behalf of: Mr John Dunn

Date: 19/02/2020

Please tick here to certify this Certificate. *

Checklist – Application for Householder Application

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

- a) Have you provided a written description of the development to which it relates? * Yes No
- b) Have you provided the postal address of the land to which the development relates, or if the land in question has no postal address, a description of the location of the land? * Yes No
- c) Have you provided the name and address of the applicant and, where an agent is acting on behalf of the applicant, the name and address of that agent? * Yes No
- d) Have you provided a location plan sufficient to identify the land to which it relates showing the situation of the land in relation to the locality and in particular in relation to neighbouring land? *. This should have a north point and be drawn to an identified scale. Yes No
- e) Have you provided a certificate of ownership? * Yes No
- f) Have you provided the fee payable under the Fees Regulations? * Yes No
- g) Have you provided any other plans as necessary? * Yes No

Continued on the next page

A copy of the other plans and drawings or information necessary to describe the proposals (two must be selected). *

You can attach these electronic documents later in the process.

- Existing and Proposed elevations.
- Existing and proposed floor plans.
- Cross sections.
- Site layout plan/Block plans (including access).
- Roof plan.
- Photographs and/or photomontages.

Additional Surveys – for example a tree survey or habitat survey may be needed. In some instances you may need to submit a survey about the structural condition of the existing house or outbuilding. Yes No

A Supporting Statement – you may wish to provide additional background information or justification for your Proposal. This can be helpful and you should provide this in a single statement. This can be combined with a Design Statement if required. * Yes No

You must submit a fee with your application. Your application will not be able to be validated until the appropriate fee has been Received by the planning authority.

Declare – For Householder Application

I, the applicant/agent certify that this is an application for planning permission as described in this form and the accompanying Plans/drawings and additional information.

Declaration Name: Mr Craig Fullerton

Declaration Date: 19/02/2020

Payment Details

Pay Direct

Created: 19/02/2020 13:37

REPORT OF HANDLING

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REPORT OF HANDLING

Reference: 2020/0100/TP

Date Registered: 19th February 2020

Application Type: Full Planning Permission

This application is a Local Development

Ward: 3 -Giffnock And Thornliebank

Co-ordinates: 256735/:658410

Applicant/Agent:

Applicant:

Mr John Dunn

52 Melford Avenue

Giffnock

East Renfrewshire

G46 6ND

Agent:

Craig Fullerton

53 Calderglen Avenue

Blantyre

Glasgow

G72 9UP

Proposal: Erection of one and a half storey rear extension forming gable end with associated raising of ridge height

Location: 52 Melford Avenue
Giffnock
East Renfrewshire
G46 6ND

CONSULTATIONS/COMMENTS: None.**PUBLICITY:** None.**SITE NOTICES:** None.**SITE HISTORY:**

2003/0128/TP	Installation of rear dormer window	Granted	17.03.2003
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REPRESENTATIONS: No representations have been received.**DEVELOPMENT PLAN & GOVERNMENT GUIDANCE:** See Appendix 1**SUPPORTING REPORTS:** No reports have been submitted for consideration as part of this application.**ASSESSMENT:**

The application site comprises a detached bungalow which has a hipped roof and front and rear dormer windows. The dwelling is externally finished in dry dash render, stone, upvc window/door frames and concrete roof tiles. A garage exists within the rear garden along the south side boundary. The site includes an area of hardstanding along the front as well as a rear garden. The rear garden is enclosed by approx. 2m high hedging along the rear and side (north) while the existing garage and a 2m high (approximately) close boarded timber fence encloses the side (north) boundary.

The surrounding area is residential in nature and characterised by similar style bungalows. It is noted that a number of gable ended extensions have been constructed onto neighbouring properties.

Planning permission is sought for the erection of a rear extension which is also to involve raising the existing ridge height by approx. 900mm to form the ridge line at right angles to the street. The roof is to finish on a gable end. In terms of scale, the roof of the extension is to project 7.5m (approximately) out from the central ridge point, the extension is to extend the width of the existing property and it is to be 4m (approximately) in depth. The roof tiles and render are to match the existing. Decking is proposed along part of the rear elevation and a new window is to be installed along the existing north side elevation.

The application requires to be assessed against Policies D1 and D14 of the adopted East Renfrewshire Local Development Plan. Policy D1 requires that all development should not result in a significant loss of character to the surrounding area and Policy D14 requires that extensions should complement the character of the existing building in terms of its style, form and materials. The adopted Supplementary Planning Guidance: Householder Design Guide (SPG) is also of relevance. The SPG states that extensions to the rear of bungalows should have the same roof design as the existing and should not form a gable end.

The proposed extension forms a gable end to the rear, which significantly changes the profile of the house, and as such makes no reference to the existing design and would appear incongruous with the character and appearance of the property. The incongruous roof style is exacerbated by the extent in which it would project out from the existing and also its increase in height above the existing short ridge line. The proposal would also be visible from the street and therefore introduce a negative feature along it to the detriment of the character and visual amenity of the area. While a few gable end extensions exist in neighbouring streets they are not of such a number to characterise the area. They also pre-date current local development plan policy. As such, the extension is considered contrary to Policies D1 and D14 of the adopted East Renfrewshire Local Development Plan and to the specific terms of the SPG.

The extension itself would create no significant additional overlooking into neighbouring sites than that which already exists. Any overlooking from the proposed decking would be sufficiently screened by the existing boundary treatment around the site. The extension would also not give rise to significant additional overshadowing or loss of light on the neighbouring site at No. 54 given its orientation and distance off the boundary. A small degree of overshadowing would be experienced at No.50 however this would be limited to the late morning and as such would not be excessive. Notwithstanding, the overall design of the extension is unacceptable and the comments relating to residential amenity do not in their own justify approval of the application.

The proposed north side window would overlook the side windows within No.50 and therefore raises concerns regarding loss of privacy. Notwithstanding, should the proposed works be otherwise acceptable this could be removed from the proposal or substituted for a high level window.

The Proposed Local Development Plan 2 is a material consideration and with regard to this planning application, the relevant policies are considered to be D1 and D1.1. The aforementioned policies largely reflect the adopted Local Development Plan policies. Consequently, for reasons stated above, it is considered that the proposed works do not accord with the relevant policies in the Proposed Local Development Plan.

In conclusion, the proposed extension is considered to dominate and detract from the property and character of the area. It is therefore contrary to Policies D1 and D14 of the adopted East Renfrewshire Local Development Plan, the proposed East Renfrewshire Local Plan and to the terms of the SPG. There are no material considerations that outweigh the terms of the policies.

RECOMMENDATION: Refuse

PLANNING OBLIGATIONS: None

REASONS FOR REFUSAL:

1: The proposal is contrary to Policy D1 of the adopted East Renfrewshire Local Development Plan as the proposed extension with its gable style roof fails to respect the architectural style and form of the property and character of the surrounding built environment.

2: The proposal is contrary to Policy D14 of the adopted East Renfrewshire Local Development Plan as the rear extension with its gable wall, elongated ridge and raised ridge height would detract from and dominate the character and appearance of the hip roofed bungalow.

3: The proposal is contrary to the terms of the adopted Supplementary Planning Guidance: Householder Design Guide as it would introduce a roof form that is incongruous to the existing, dominate the appearance of the property and create a negative feature that would diminish the character and appearance of the area.

ADDITIONAL NOTES: None

ADDED VALUE: None

BACKGROUND PAPERS:

Further information on background papers can be obtained from Mrs Zara Foster on 0141 577 3714.

Ref. No.: 2020/0100/TP
(ZAFO)

DATE: 16th April 2020

DIRECTOR OF ENVIRONMENT

Reference: 2020/0100/TP - Appendix 1

DEVELOPMENT PLAN:

Strategic Development Plan

This proposal raises no strategic issues in terms of the Glasgow and the Clyde Valley Strategic Development Plan and therefore the East Renfrewshire Local Plan is the relevant policy document

Adopted East Renfrewshire Local Development Plan

Policy D1

Detailed Guidance for all Development

Proposals for development should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. In some cases, where the criteria have not been met, a written justification will be required to assist with assessment.

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. The proposal should be of a size, scale, massing and density that is in keeping with the buildings in the locality and should respect local architecture, building form, design, and materials;
3. The amenity of neighbouring properties should not be adversely affected by unreasonably restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Planning Guidance;
4. The development should not impact adversely on landscape character or the green network, involve a significant loss of trees or other important landscape, greenspace or biodiversity features;
5. Developments should incorporate green infrastructure including access, landscaping, greenspace, water management and Sustainable Urban Drainage Systems at the outset of the design process. Where appropriate, new tree or shrub planting should be incorporated using native species. The physical area of any development covered by impermeable surfaces should be kept to a minimum to assist with flood risk management. Further guidance is contained within the Green Network and Environmental Management Supplementary Planning Guidance;
6. Development should create safe and secure environments that reduce the scope for anti-social behaviour and fear of crime;
7. Developments must be designed to meet disability needs and include provision for disabled access within public areas;
8. The Council will not accept 'backland' development, that is, development without a road frontage;
9. Parking and access requirements of the Council should be met in all development and appropriate mitigation measures should be introduced to minimise the impact of new development. Development should take account of the principles set out in 'Designing Streets';
10. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the development;
11. Developments should include provision for the recycling, storage, collection and composting of waste materials;
12. Where possible, all waste material arising from construction of the development should be retained on-site for use as part of the new development;
13. Where applicable, new development should take into account the legacy of former mining activity;
14. Development should enhance the opportunity for and access to sustainable transportation, including provision for bus infrastructure, and particularly walking and cycle opportunities including cycle parking and provision of facilities such as showers/lockers, all where appropriate. The Council will not support development on railways solums or other development that would remove opportunities to enhance pedestrian and cycle access unless mitigation measures have been demonstrated;
15. The Council requires the submission of a design statement for national and major developments. Design statements must also be submitted in cases where a local development relates to a site within a conservation area or Category A listed building in line with Planning Advice Note 68: Design Statements.
16. Where applicable, developers should explore opportunities for the provision of digital

infrastructure to new homes and business premises as an integral part of development.

Policy D14

Extensions to Existing Buildings and Erection of Outbuildings and Garages

Any extensions must complement the existing character of the property, particularly in terms of style, form and materials.

The size, scale and height of any development must be appropriate to the existing building. In most circumstances, pitched roofs utilising slates or tiles to match the existing house will be the appropriate roof type. Alternatives, such as flat roofs or green roofs, will be considered on a site specific basis.

Side extensions should not create an unbroken or terraced appearance.

The development should avoid over-development of the site by major loss of existing garden space.

Dormer windows should not in general dominate the existing roof, nor rise above or break the existing ridgeline or hip of the roof, and should be finished in materials to match existing roof finishes.

The above are broad requirements and these are further defined in the Householder Design Guide Supplementary Planning Guidance.

Proposed Local Development Plan 2

Policy D1

Placemaking and Design

Proposals for development within the urban and rural areas should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. Proposals will be assessed against the 6 qualities of a successful place as outlined in SPP, Designing Streets and the Placemaking and Design Supplementary Guidance.

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. The proposal should be appropriate to its location, be high quality and of a size, scale, height, massing and density that is in keeping with the buildings in the locality or appropriate to the existing building and should respect local architecture, building form and design;
3. Respect existing building lines and heights of the locality;
4. Create a well-defined structure of streets, public spaces and buildings;
5. Ensure the use of high quality sustainable and durable materials, colours and finishes that complement existing development and buildings in the locality;
6. Respond to and complement site topography and not impact adversely upon the green belt and landscape character, green networks, features of historic interest, landmarks, vistas, skylines and key gateways. Existing buildings and natural features of suitable quality, should be retained and sensitively integrated into proposals including greenspace, trees and hedgerows;

7. Boundary treatment and landscaping should create a distinctive edge and gateway to the development and reflect local character;
8. Promote permeable and legible places through a clear sustainable movement hierarchy favouring walking, then cycling, public transport, then the private car as forms of movement;
9. Demonstrate connectivity through the site and to surrounding spaces via a network of safe, direct, attractive and coherent walking and cycling routes. These must be suitable for all age groups, and levels of agility and mobility to allow for ease of movement from place to place;
10. Demonstrate that safe and functional pedestrian, cycle and vehicular access, and parking facilities and infrastructure, including for disabled and visitor parking, is provided in accordance with the Council's Roads Development Guide. Where appropriate, proposals will be required to provide secure and accessible shelters, lockers, showers and seating and be designed to meet the needs of all users. Cycle parking and facilities should be located in close proximity to the entrances of all buildings to provide convenience and choice for users;
11. Incorporate integrated and enhance existing green infrastructure assets, such as landscaping, trees and greenspace, water management and SUDs including access and prioritise links to the wider green network as an integral part of the design process from the outset, in accordance with Policies D4 - D6. New green infrastructure must be designed to protect and enhance the habitat and biodiversity of the area and demonstrate a net gain;
12. There will be a general presumption against all proposals that involve landraising. Where there is a justifiable reason for landraising, proposals must have regard to the scale and visual impact of the resultant changes to the local landscape and amenity. Proposals that adversely impact upon the visual and physical connections through the site and to the surrounding areas will be resisted;
13. Backland development should be avoided;
14. Provide safe, secure and welcoming places with buildings and spaces, including open spaces, play areas and landscaping, designed and positioned to reduce the scope for anti-social behaviour and fear of crime, improve natural surveillance, passive overlooking, security and street activity;
15. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by unreasonably restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Guidance;
16. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the proposal;
17. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by noise, dust, pollution and smell or poor air quality;
18. Ensure buildings and spaces are future proof designed to be easily adaptable and flexible to respond to changing social, environmental, technological, digital and economic conditions;
19. Incorporate provision for the recycling, storage, collection and composting of waste materials; and
20. Incorporate the use of sustainable design and construction methods and materials in the layout and design to support a low carbon economy.

Proposals must meet the requirements of any development brief prepared by the Council for an allocated site.

Further detailed guidance and information will be set out in the Placemaking and Design Supplementary Guidance, Householder Design Supplementary Guidance and the Daylight and Sunlight Design Supplementary Guidance.

Policy D1.1

Extensions and Alterations to Existing Buildings for Residential Purposes

Proposals will be assessed against the following criteria:

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. Should complement the scale and character of the existing building, neighbouring properties and their setting, particularly in terms of style, form and materials;
3. The size, scale and height of any development must be appropriate to and not adversely impact or dominate the existing building;
4. Should not create an unbroken or terraced appearance;
5. Where additional bedrooms are proposed or a garage/driveway is being converted to another use other than for the parking of a vehicle, proposals will be required to provide parking in accordance with the Council's Roads Development Guide; and
6. Should avoid over-development of the site by major loss of existing front and rear garden space. No more than 50% of the rear garden should be occupied by the development.

Further detailed information and guidance will be set out in the Householder Design Guide Supplementary Guidance.

GOVERNMENT GUIDANCE: None

Finalised 16/04/20 AC(3)

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**DECISION NOTICE
AND
REASONS FOR REFUSAL**

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TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
(AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(SCOTLAND) REGULATIONS 2013

REFUSAL OF PLANNING PERMISSION

Ref. No. **2020/0100/TP**

Applicant:

Mr John Dunn
52 Melford Avenue
Giffnock
East Renfrewshire
G46 6ND

Agent:

Craig Fullerton
53 Calderglen Avenue
Blantyre
Glasgow
G72 9UP

With reference to your application which was registered on 19th February 2020 for planning permission under the abovementioned Act and Regulations for the following development, viz:-

Erection of one and a half storey rear extension forming gable end with associated raising of ridge height.

at: 52 Melford Avenue Giffnock East Renfrewshire G46 6ND

the Council in exercise of their powers under the abovementioned Act and Regulations hereby refuse planning permission for the said development.

The reason(s) for the Council's decision are:-

1. The proposal is contrary to Policy D1 of the adopted East Renfrewshire Local Development Plan as the proposed extension with its gable style roof fails to respect the architectural style and form of the property and character of the surrounding built environment.
2. The proposal is contrary to Policy D14 of the adopted East Renfrewshire Local Development Plan as the rear extension with its gable wall, elongated ridge and raised ridge height would detract from and dominate the character and appearance of the hip roofed bungalow.
3. The proposal is contrary to the terms of the adopted Supplementary Planning Guidance: Householder Design Guide as it would introduce a roof form that is incongruous to the existing, dominate the appearance of the property and create a negative feature that would diminish the character and appearance of the area.

Dated 16th April 2020

Director of Environment
East Renfrewshire Council
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG
Tel. No. 0141 577 3001

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The following drawings/plans have been refused

Plan Description	Drawing Number	Drawing Version	Date on Plan
Location Plan	100-19.004		
Elevations	100-19.001E		
Elevations	100-19.002		
Roof Plan	100-19.003		

GUIDANCE NOTE FOR REFUSAL OF LOCAL DEVELOPMENTS DETERMINED UNDER DELEGATED POWERS

REVIEW BY EAST RENFREWSHIRE COUNCIL'S LOCAL REVIEW BODY

1. If the applicant is aggrieved by a decision to refuse permission (or by an approval subject to conditions), the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. A Notice of Review can be submitted online at www.eplanning.scotland.gov.uk. Please note that beyond the content of the appeal or review forms, **you cannot normally raise new matters** in support of an appeal or review, unless you can demonstrate that the matter could not have been raised before, or that its not being raised before is a consequence of exceptional circumstances. Following submission of the notice, you will receive an acknowledgement letter informing you of the date of the Local Review Body meeting or whether further information is required.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

CONTACT DETAILS

**East Renfrewshire Council
Development Management Service
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG**

**General Inquiry lines 0141 577 3895 or 0141 577 3878
Email planning@eastrenfrewshire.gov.uk**

**NOTICE OF REVIEW
AND
STATEMENT OF REASONS**

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100235684-004

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	CAF Designs LTD		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	Craig	Building Name:	<input type="text"/>
Last Name: *	Fullerton	Building Number:	53
Telephone Number: *	+441698825660	Address 1 (Street): *	Calderglen Avenue
Extension Number:	<input type="text"/>	Address 2:	Blantyre
Mobile Number:	<input type="text"/>	Town/City: *	Glasgow
Fax Number:	<input type="text"/>	Country: *	United Kingdom
		Postcode: *	G72 9UP
Email Address: *	craig@cafdesigns.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="John"/>	Building Number:	<input type="text" value="52"/>
Last Name: *	<input type="text" value="Dunn"/>	Address 1 (Street): *	<input type="text" value="Melford Avenue"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Giffnock"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="United Kingdom"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="G46 6ND"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="REDACTED"/>		

Site Address Details

Planning Authority:	<input type="text" value="East Renfrewshire Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="52 MELFORD AVENUE"/>
Address 2:	<input type="text" value="GIFFNOCK"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="GLASGOW"/>
Post Code:	<input type="text" value="G46 6ND"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="658410"/>	Easting	<input type="text" value="256735"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Proposed rear 1.5 storey extension c/w ridge increase to exiting dwelling

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

See attached supporting Documents

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Drawings :- 100.19/001 Rev E, 100.19/002 Rev B, 100.19/003 Rev A and Supporting Document

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

2020/0100/TP

What date was the application submitted to the planning authority? *

19/02/2020

What date was the decision issued by the planning authority? *

22/04/2020

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may select more than one option if you wish the review to be a combination of procedures.

Please select a further procedure *

By means of inspection of the land to which the review relates

Please explain in detail in your own words why this further procedure is required and the matters set out in your statement of appeal it will deal with? (Max 500 characters)

If you had to visit the site it would be advantageous to see that the rear extension backs onto a railway and would not be visible from the street whereas houses directly in front of my clients dwelling, which sits on an exposed hill, is clearly visible of the gable end rear extension.

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Craig Fullerton

Declaration Date: 01/07/2020

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Supporting Statement
for
52 Melford Avenue
Giffnock

53 Calderglen Avenue, The Elms,
Blantyre, South Lanarkshire, G72 9UP
Mob: 0774 780 3435
Tel: 01698 825660

Email – craig@cafdesigns.co.uk

www.cafdesigns.co.uk

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CONTENTS

1.0 Introduction

2.0 The application Site

3.0 The Planning Refusal

4.0 The Proposals

5.0 Conclusion

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52 Melford Avenue Giffnock

1.0 Introduction

- 1.1. Planning permission was refused at 52 Melford Avenue Giffnock for the ***“Erection of one and a half storey rear extension forming gable end with associated raising of ridge height.”***
- 1.2. My client is wishing to appeal this decision based on the surrounding estate with similar projects.

2.0 The application Site

- 2.1 The applicant Mr & Mrs John Dunn currently reside at 52 Melford Avenue Giffnock.
- 2.2 The existing bungalow style house complete with dormers is synonymous with this area
- 2.3 To the rear of the property is a high embankment, with a canopy of trees which hides the adjacent railway line
- 2.4 The site sits at the bottom the hill off Sutherland drive on Melford Avenue



52 Melford Avenue Giffnock



Aerial View





52 Melford Avenue Giffnock

3.0 The Planning Refusal

3.1 The reason(s) for the Council's decision are:-

1. The proposal is contrary to Policy D1 of the adopted East Renfrewshire Local Development Plan as the proposed extension with its gable style roof fails to respect the architectural style and form of the property and character of the surrounding built environment.
2. The proposal is contrary to Policy D14 of the adopted East Renfrewshire Local Development Plan as the rear extension with its gable wall, elongated ridge and raised ridge height would detract from and dominate the character and appearance of the hip roofed bungalow.
3. The proposal is contrary to the terms of the adopted Supplementary Planning Guidance: Householder Design Guide as it would introduce a roof form that is incongruous to the existing, dominate the appearance of the property and create a negative feature that would diminish the character and appearance of the area.

3.4 To access the site we will combine the initial driveway at claddengreen farm and then tail off it its own driveway, negating the need to have another access road of Broomhouse road.

4.0 The Proposals

4.1 The raising of the ridge height is by 0.5m which is in keeping with the surrounding proposals is to accommodate the required head height internally for building control on the first floor. By increasing the height of the roof the shallow pitched dormer becomes less intrusive from the street scene as it is surrounded more with the proposed roof. This in turn makes the roof less heavy in appearance.



4.2 The gable end rear extension is hidden from the street scene and as the rear of the property has a large embankment, tree canopy and railway behind it is not visible from the rear thus limiting any impact. See Photograph of rear of property below.



4.3 While the planning policies have altered the client feels that the decision is disappointing when there are so many other properties in the surrounding neighbourhood that have had similar extensions.

4.4 From where my client resides you can quite easily see a clear example of a gable end extension at the top off the hill on Sutherland Drive, whereas my clients gable end extension cannot be seen due to the railway, trees and embankment



4.4 The adjacent neighbour at No. 54 Melford Avenue has had an application to have a gable end rear extension approved.

4.5 My client has prepared a list of 40 properties below with similar projects within a 250m radius which have been approved by planning which underlines the fact that the proposal would in no way be distasteful to the neighbourhood nor look out of place or imposing.

Evan Drive:

- 14 raised ridge height
- 28, 56, 58, 60, 66, 68, 76, 78 and 80 all have raised ridge heights of the roof and gable end extension.

Brora Drive:

- 5, 20, 21 and 31 all have raised ridge heights and gable end extensions.

Clyth Drive:

- 7 and 19 both have gable end extensions.

Melford Avenue:

- Raised ridge heights at 12, 14, 30 and 34, 54, whilst 22 which is identical property has raised ridge height and a gable end extension.

Sutherland Drive:

- 10 raised ridge height
- 15 has raised ridge height and gable end extension.

Etive Drive:

- 21 has raised ridge height.
- 2, 10, 16 and 38 have both a raised ridge height and gable end extension.

Balvie Avenue:

- 1, 2, 5 and 9 all have raised ridge heights.
- 2 and 3 have raised ridge heights and gable end extensions.

Lawrence Avenue:

- 20 has a raised ridge height.
- 22, 23, 25 and 27 have both raised ridge heights and gable end extensions with number 25 having been granted this permission on 29/8/2018 at the original planning application without an appeals process.

Further to this, a simple search online shows that numerous other properties in the area some of which are listed above have also had applications of similar extensions which have been granted on appeal by the review board.

5.0 Conclusion

With the large number of dwellings in the near vicinity which have had similar extensions it would by no means be detrimental to the area. The proposal of the gable end extension is not visible from the street scene or to the rear due to the embankment / tree canopy and railway. In conclusion the

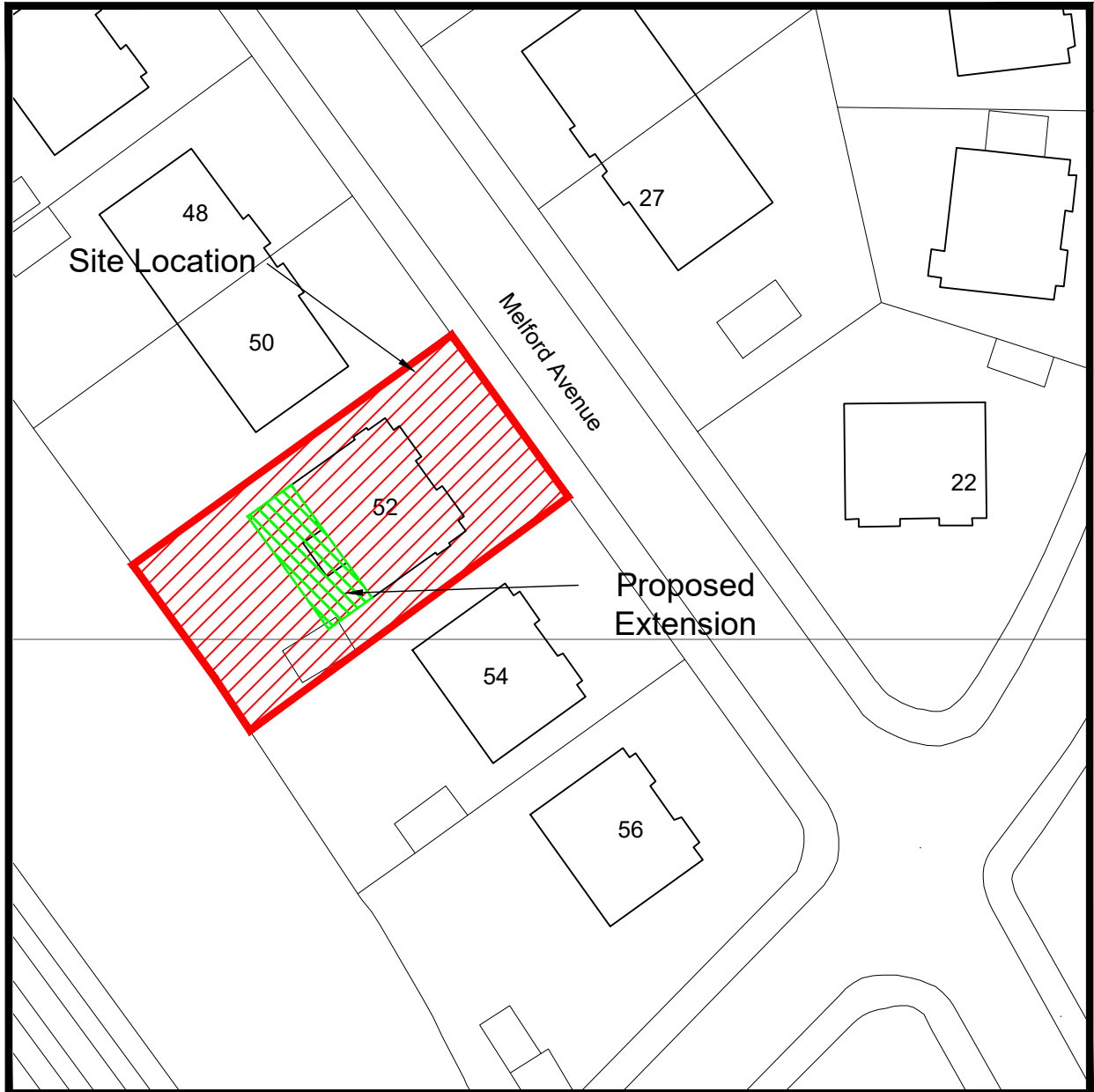
184

rear gable end extension which was refused is disappointing when so many others including their adjacent neighbour at No. 54 has had theirs approved.

PLANS/PHOTOGRAPHS/DRAWINGS

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Neighbourhood Notification



SITE PLAN
SCALE 1:500

Client and Project Address

Mr & Mrs John Dunn
52 Melford Avenue
Giffnock G46 6ND

Drawing Title

Proposed Rear Extension
Site Location

CAF

CAF DESIGNS LTD

53 CALDERGLEN AVENUE
THE ELMS BLANTYRE
SOUTH LANARKSHIRE G72 9UP

TEL. +44(0)1698 825660

Mob. +44(0)774 780 3435

E-MAIL craig@cafdesigns.co.uk www.cafdesigns.co.uk

Drawn by

CAF

CAD Location

C:\Drawings\100-19

Scale
1:500

Date
Feb 20

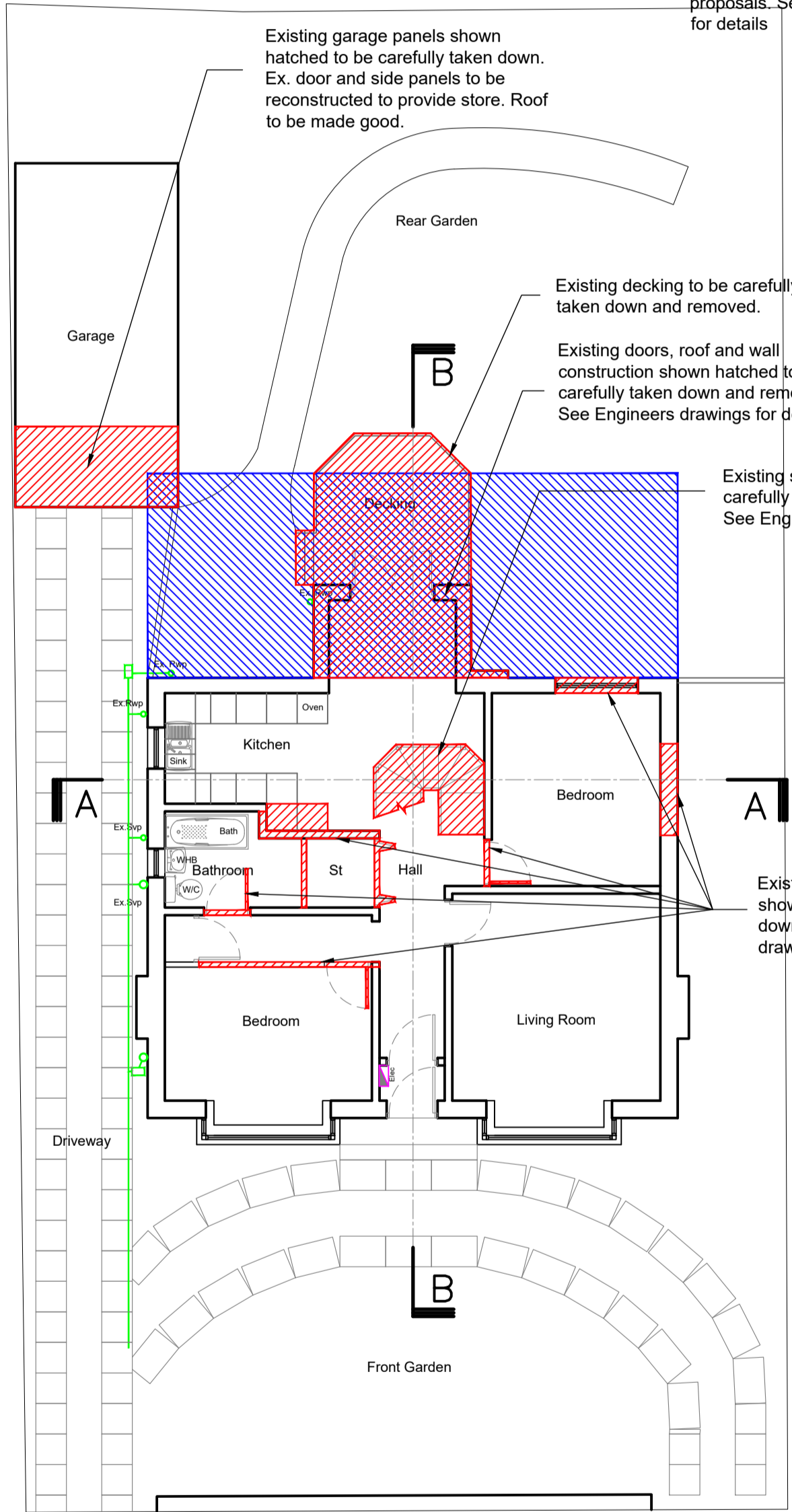
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A4

Drawing no.

100-19.004

Drawing to be read in conjunction with Drawings 100-19.002 & 003, Drawing for Planning & Building Warrant purposes.

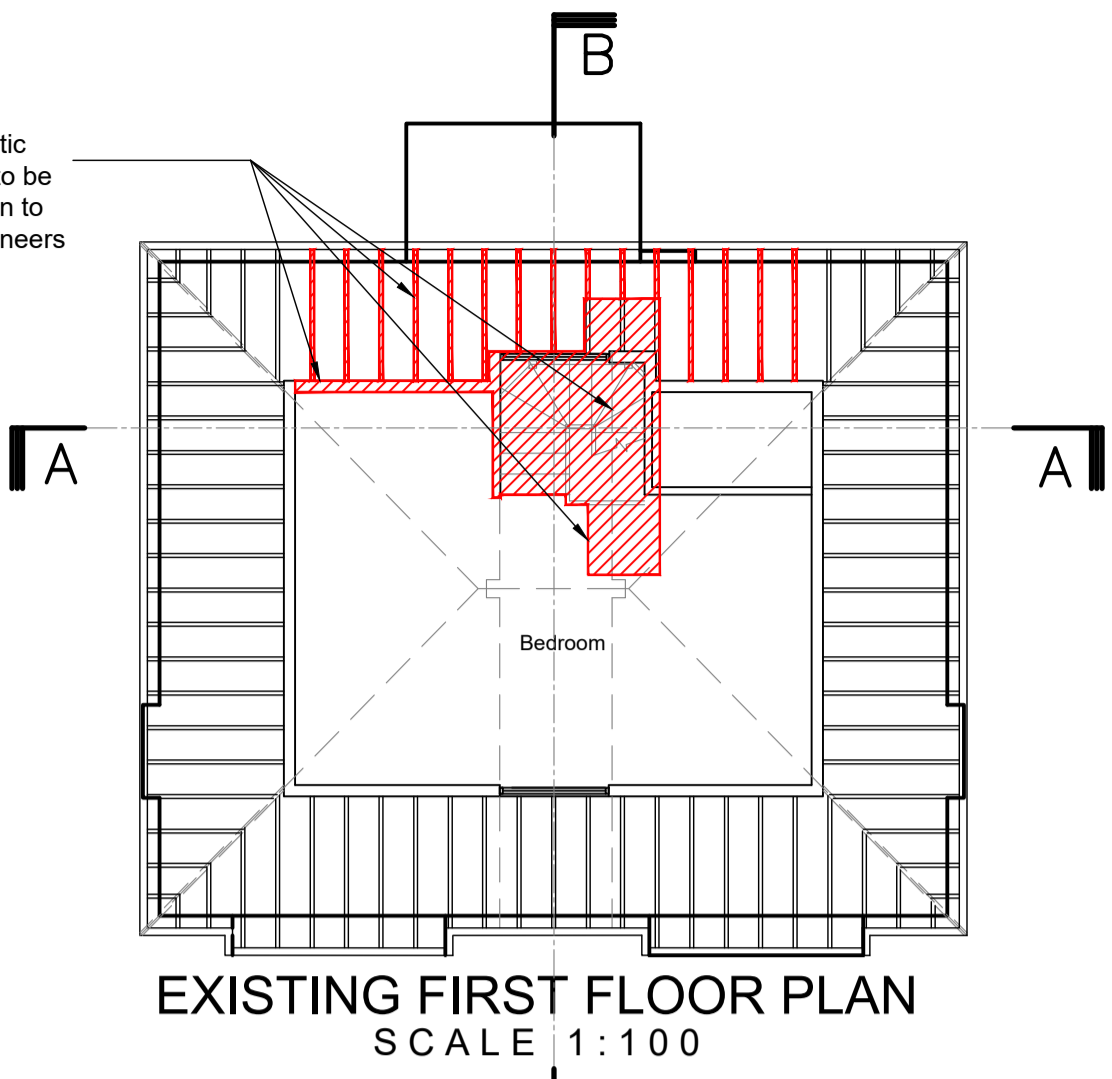
- General Notes
1. Do Not scale from this drawing
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 8. Client / Contractor responsibility to investigate existing ground prior to construction with regards to existing underground services. i.e. gas, water etc.
 9. Scottish Water - It is the Owners responsibility to obtain the appropriate consents from Scottish Water regarding building over Water mains
 10. Clients responsibility to confirm if in a listed building or conservation area prior to submitting for approvals.
 11. For Additional information see www.cafdesigns.co.uk
 12. All dismantlings and demolition works to be carried out in accordance with BS 6187:2011 and the Health and Safety at Work Act 1974.
 13. All works to Building (Scotland) Act 2003 and Building (Scotland) Regulations 2018
 14. Where the land is sloping at the proposed works or surrounding area, then it is the clients responsibility to provide a survey i.e. topographical survey to provide accurate gradients.
 14. If in Doubt Ask



EXISTING GROUND FLOOR PLAN SCALE 1:100

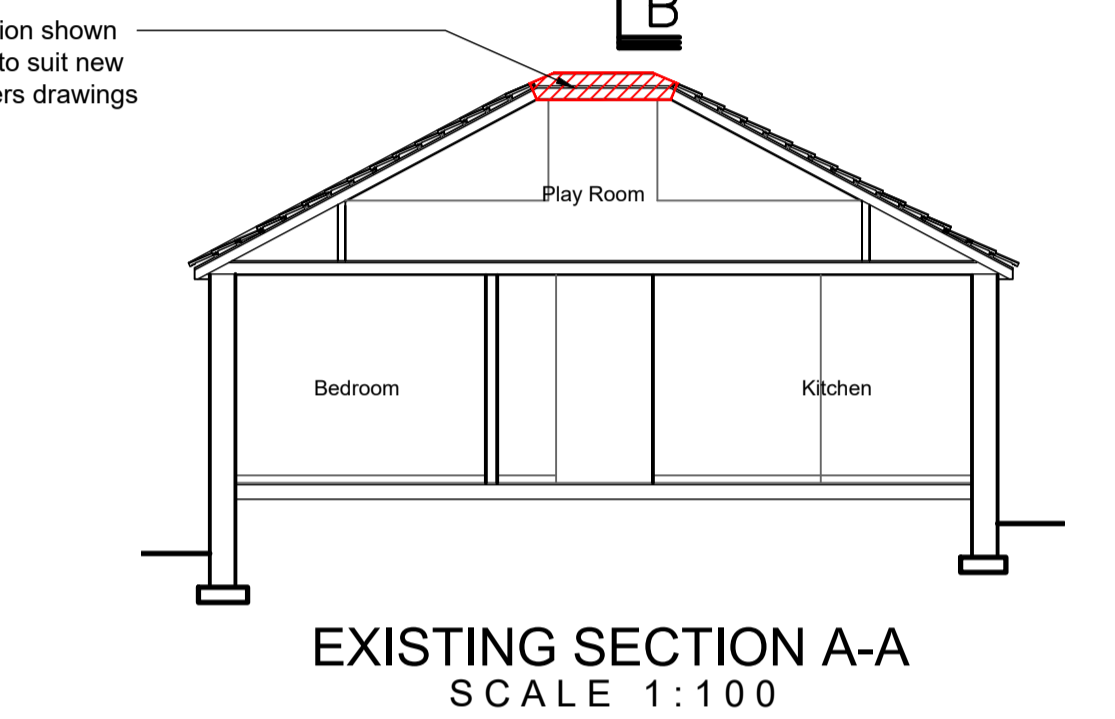
1. Total Approx. area of existing dwelling and gardens = 445sqm
 2. Approx. ground floor area of Dwelling = 100sqm
 3. Proposed Extension Area = 41.9sqm
- Proposed Downtakings
 - Proposed Extension

Existing stairs, dormer and attic construction shown hatched to be carefully adjusted / taken down to suit new proposals. See Engineers drawings for details



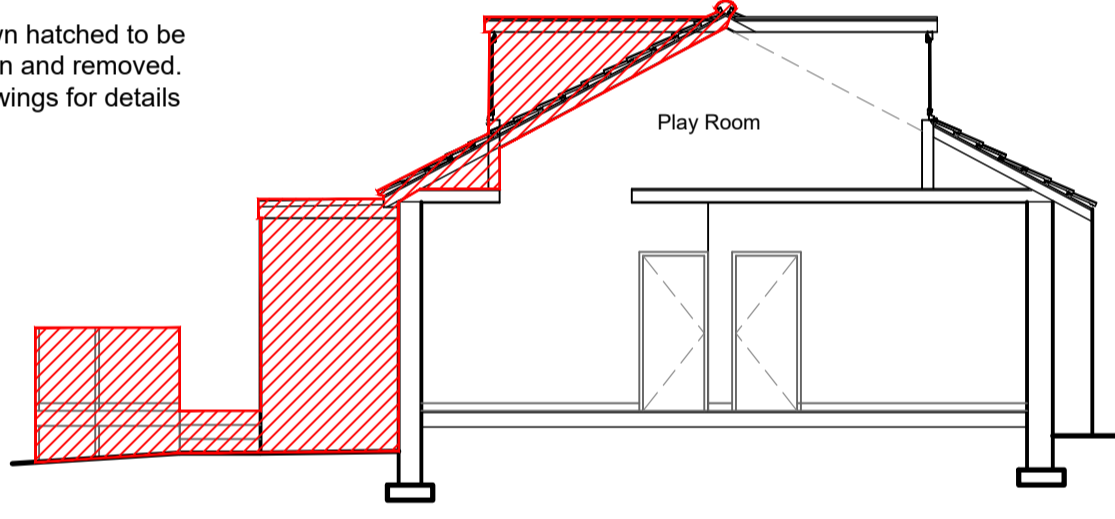
EXISTING FIRST FLOOR PLAN SCALE 1:100

Existing rafter construction shown hatched to be adjusted to suit new proposals. See Engineers drawings for details



EXISTING SECTION A-A SCALE 1:100

Existing stairs shown hatched to be carefully taken down and removed. See Engineers drawings for details



EXISTING SECTION B-B SCALE 1:100

Existing door and wall construction shown hatched to be carefully taken down and removed. See Engineers drawings for details

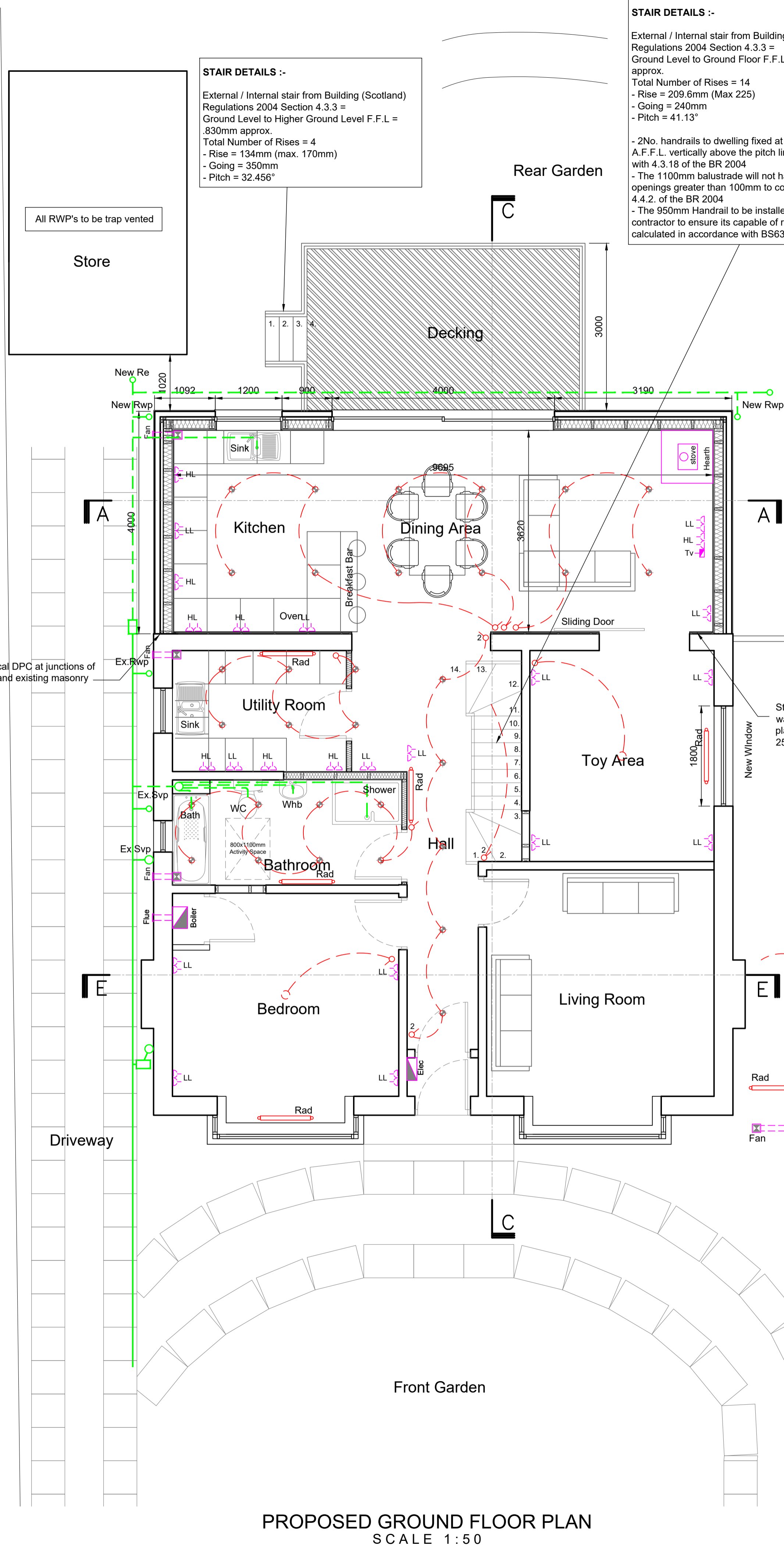


EXISTING NE ELEVATION SCALE 1:100

Ridge of roof extended to provide adequate head height in first floor



PROPOSED NE ELEVATION SCALE 1:100



PROPOSED GROUND FLOOR PLAN SCALE 1:50

STAIR DETAILS :-

External / Internal stair from Building (Scotland) Regulations 2004 Section 4.3.3 = Ground Level to Higher Ground Level F.F.L = 830mm approx.

- Total Number of Rises = 4
- Rise = 134mm (max. 170mm)
- Going = 350mm
- Pitch = 32.456°

STAIR DETAILS :-

External / Internal stair from Building (Scotland) Regulations 2004 Section 4.3.3 = Ground Level to Higher Ground Level F.F.L = 830mm approx.

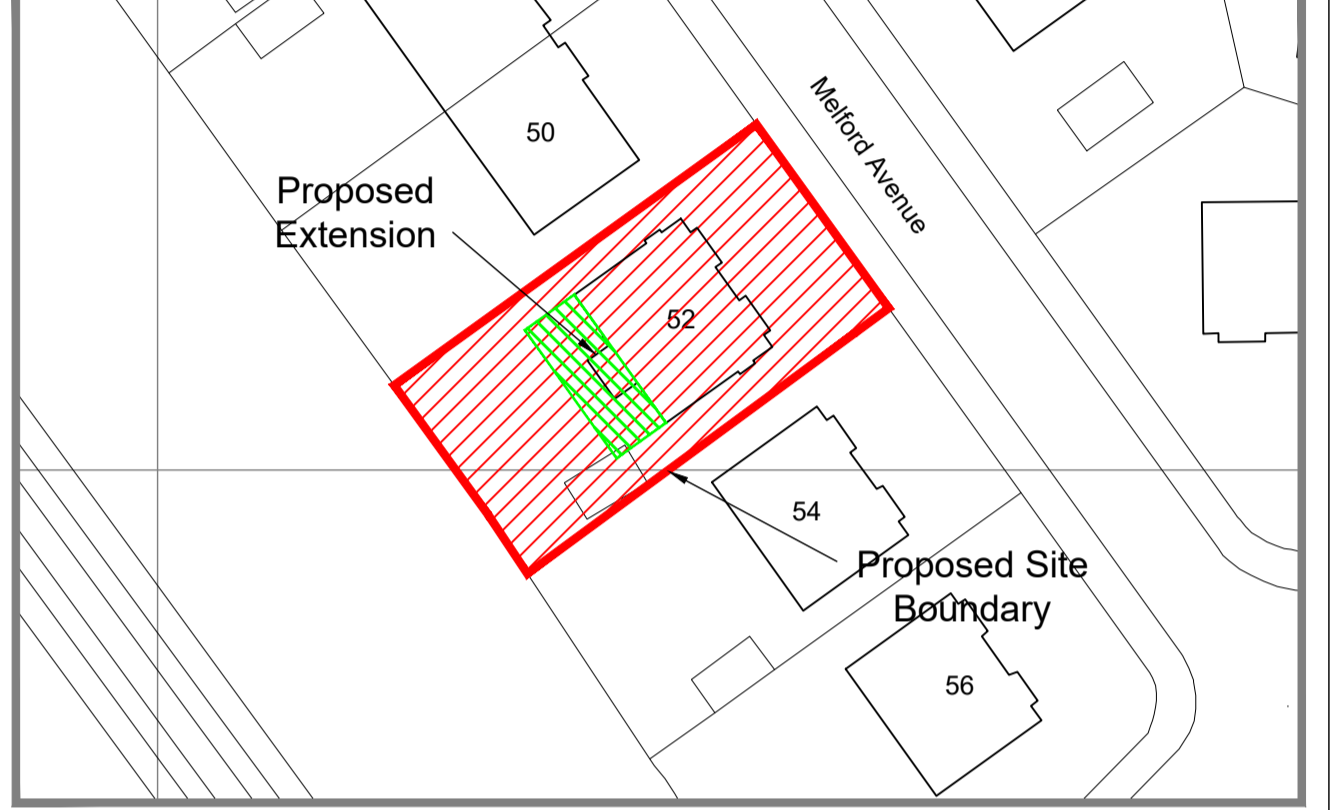
- Total Number of Rises = 4
- Rise = 134mm (max. 170mm)
- Going = 350mm
- Pitch = 32.456°

STAIR DETAILS :-

External / Internal stair from Building (Scotland) Regulations 2004 Section 4.3.3 = Ground Level to Ground Floor F.F.L = 12935mm approx.

- Total Number of Rises = 14
- Rise = 209.6mm (Max 225)
- Going = 240mm
- Pitch = 41.13°
- 2No. handrails to dwelling fixed at 900mm A.F.F.L. vertically above the pitch line to comply with 4.3.18 of the BR 2004
- The 1100mm balustrade will not have any openings greater than 100mm to comply with 4.4.2. of the BR 2004
- The 950mm Handrail to be installed by contractor to ensure its capable of resisting loads calculated in accordance with BS6399:Part 1:1996

- LEGEND**
- Proposed Electrical lighting circuit
 - 2-Way Light Switch
 - Light Switch
 - Pendant Light Fitting with Ceiling Rose
 - Smoke detectors - wired to mains electrical supply, positioned min 300mm from light fittings and adjacent walls provided with battery backup
 - Hot water radiator connected to existing hot water system c/w TRV's
 - Proposed ceiling/ wall mounted mechanical ventilation by a Fan c/w ducting to external wall and vermin cover
 - Double 13A Socket
 - Single 13A Socket
 - Existing Drainage
 - Proposed Drainage Run
 - RWP Rain Water Pipe
 - SVP Soil Vent Pipe
 - RE Rodding Eye
 - Tv Aerial Socket
 - Heat Detector
 - Gas Meter
 - Electric Meter and Distribution Board
 - Carbon Monoxide Detector
 - LL Low Level
 - HL High Level



SITE PLAN 1:500

For all structural implications, detailing and specification see Structural Engineers designs and specifications

Prior to the removal of any loadbearing or supporting walls the existing structure must be adequately propped and remain so until the alteration work is complete and cured

Rev	Description	Date
E	Planning	17/02/2020

Client and Project Address
Mr & Mrs John Dunn
 52 Melford Avenue
 Giffnock G46 6ND

Drawing Title
Proposed Rear Extension
 Existing & Proposed Plans,
 Elevations and location plans

CAF
 CAF DESIGNS
 53 CALDERGLEN AVENUE
 THE ELMS BLANTYRE
 SOUTH LANARKSHIRE G72 9UP
 TEL: +44(0)1698 825660 Mob: +44(0)774 780 3435
 E-MAIL: craig@cafdesigns.co.uk www.cafdesigns.co.uk

PLANNING

Drawn by CAF	CAD Location C:\Drawings\100-19
Scale 1:50	Date Dec 19
Paper Size A1	

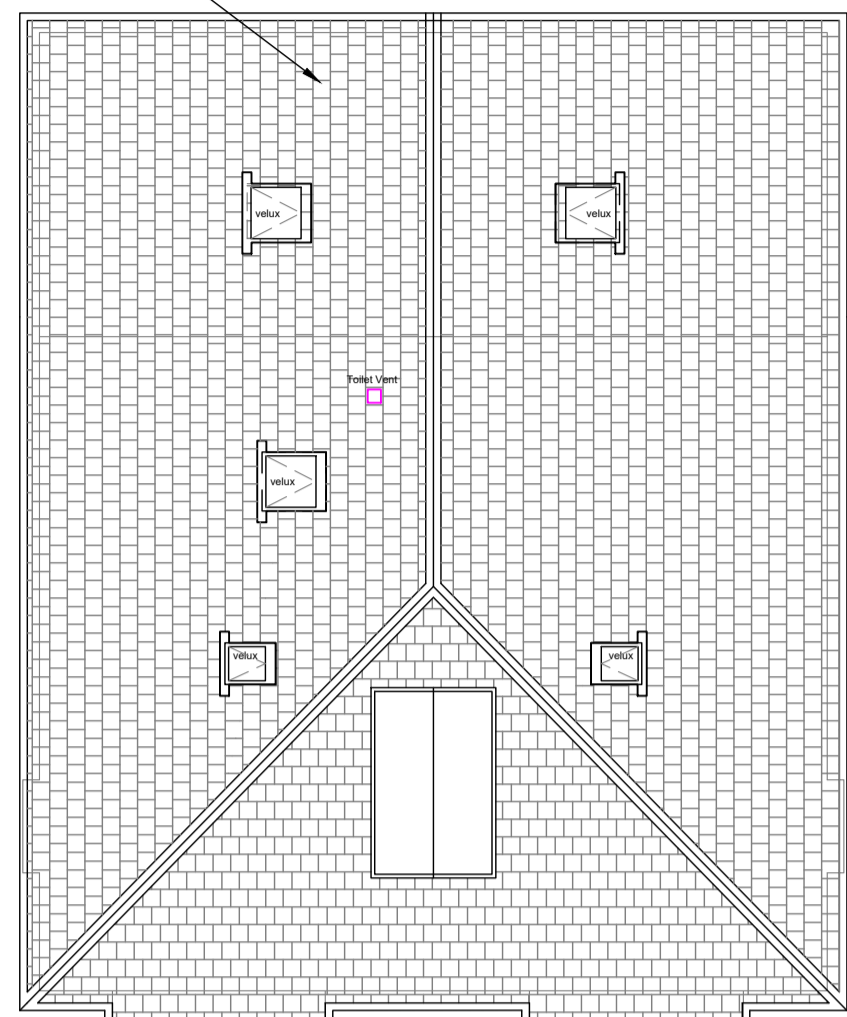
Drawing no. **100-19.001** **E**

Drawing to be read in conjunction with Drawing 026-19.001 Drawing for Planning & Building warrant purposes.

General Notes

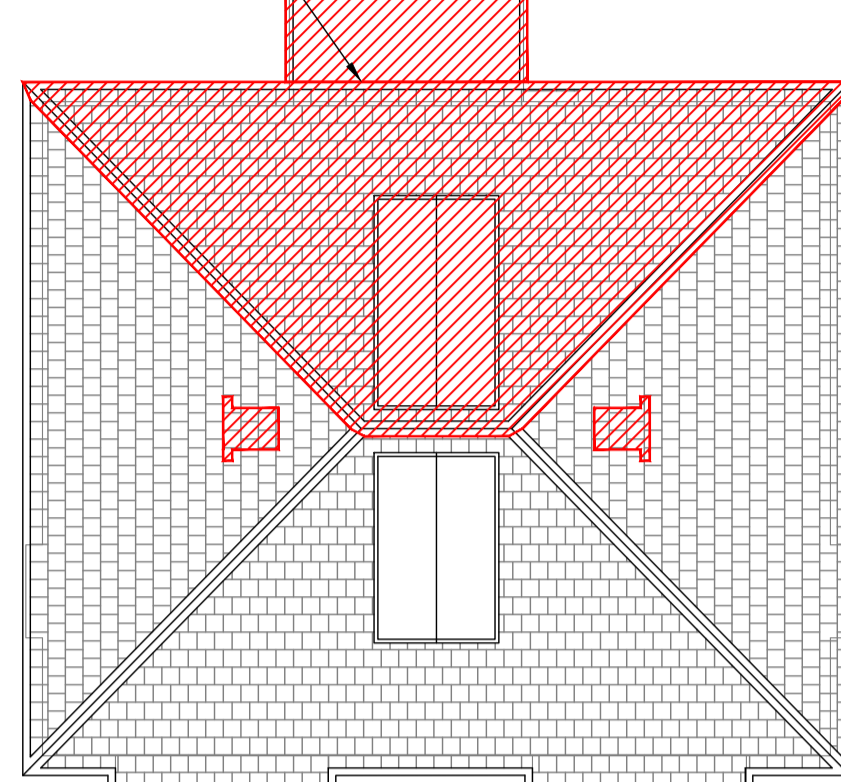
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14. If in Doubt Ask

Proposed roof tiles to match existing

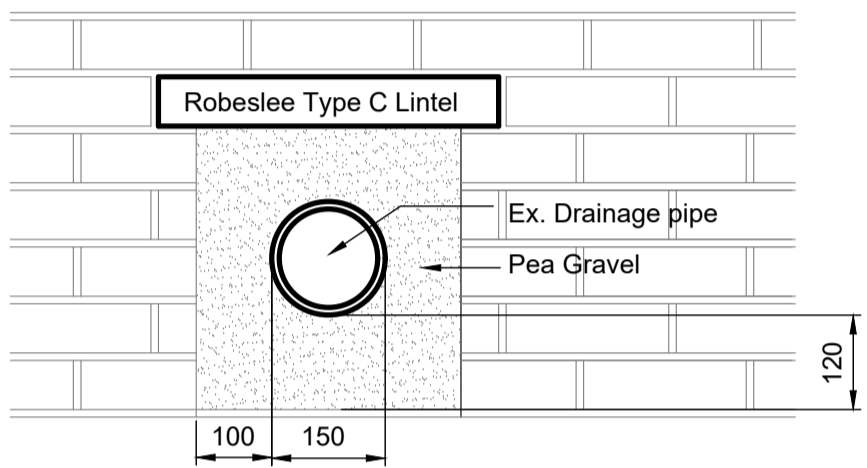


PROPOSED ROOF PLAN SCALE 1:100

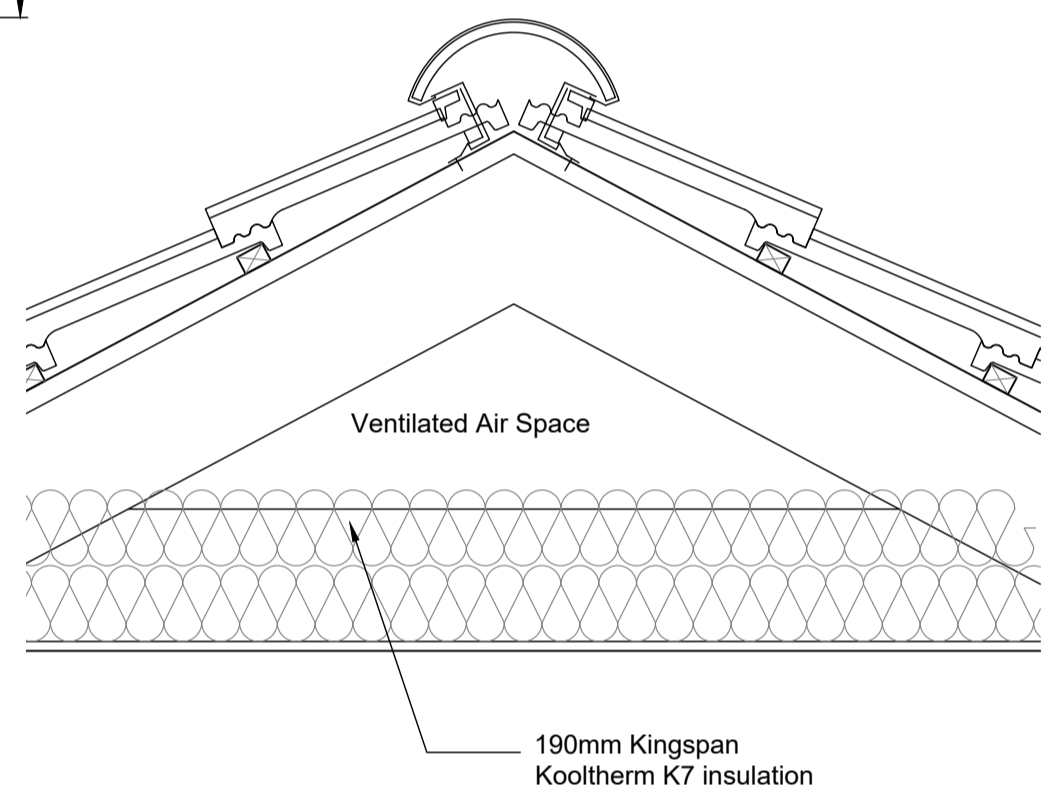
Existing roof construction shown hatched to be carefully stripped back to accommodate new extension roof



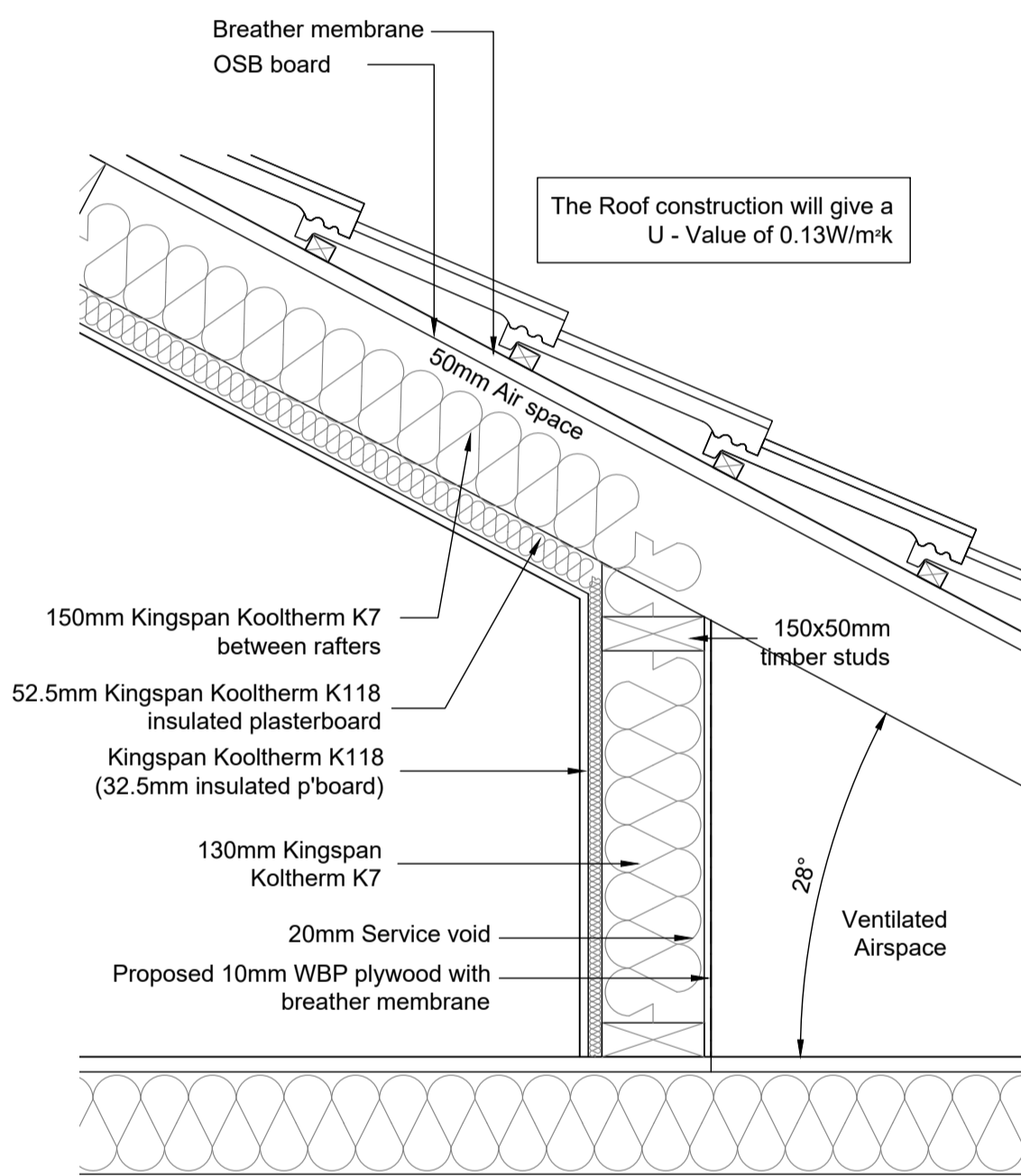
EXISTING ROOF PLAN SCALE 1:100



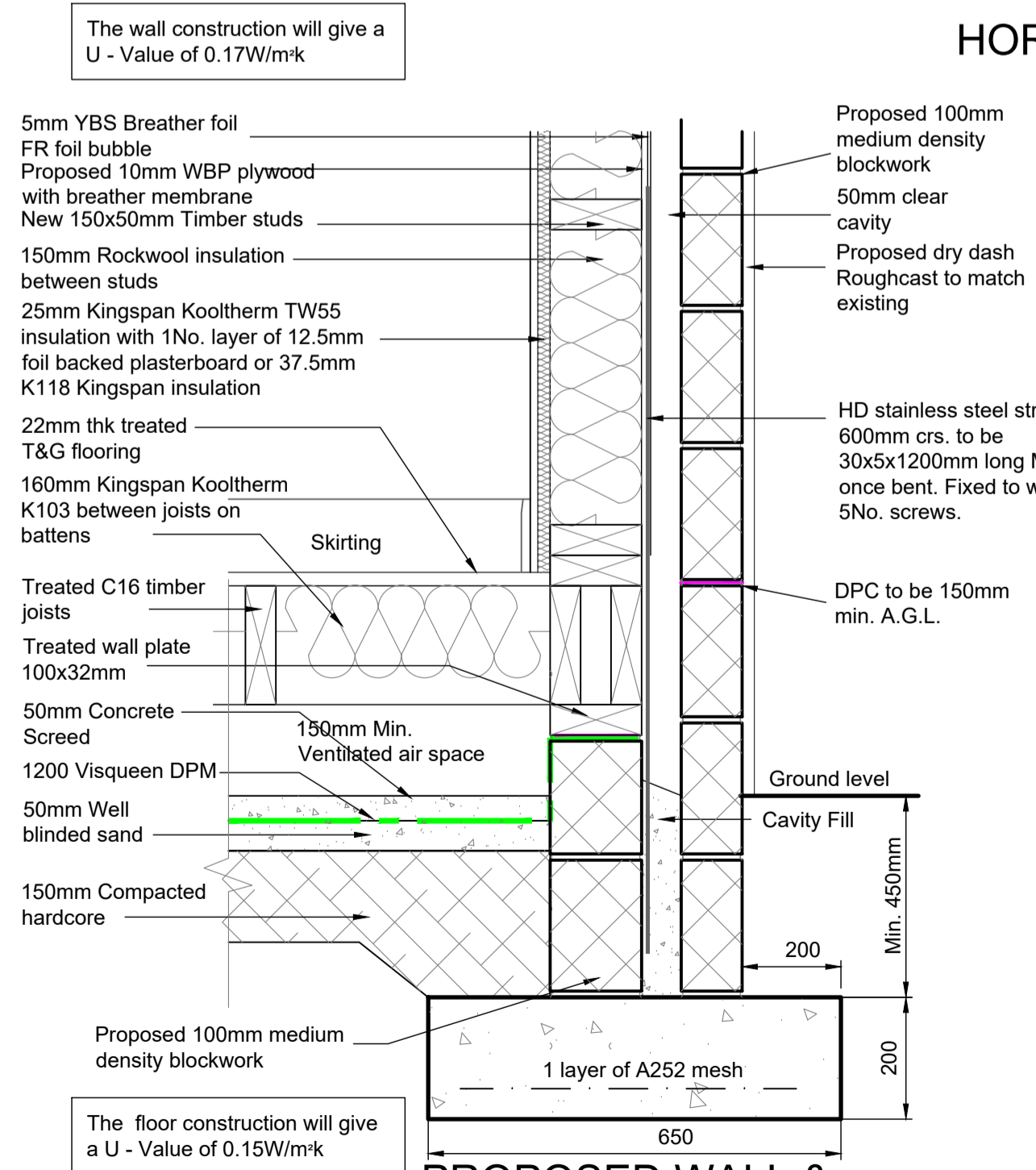
PROPOSED DRAIN DETAIL J-J SCALE 1:10



PROPOSED LOFT HORIZONTAL ROOF DETAIL G-G SCALE 1:10



PROPOSED LOFT INSULATION / VENTILATION DETAIL H-H SCALE 1:10



PROPOSED WALL & FOUNDATION DETAIL F-F SCALE 1:10

General Roof Construction

- General Roof construction
- Extension Roof Tiles to match existing colour with 100mm headlap and be through-coloured no granular
- Fixed on treated timber battens with
- 50x38mm treated timber counter battens fixed through insulation to rafters with helifix screws.
- OSB to be 18mm exterior grade plywood, nailed to every truss at no less than 200mm centres using 3mmx50mm galvanised round nails, joints to be staggered.
- Covered with Tyvek supra membrane
- Form junction to existing wall with 150mm upstand code 5 lead flashing
- Roof Pitch approx. 28°
- 200mm timber soffit match existing
- Proprietary fixing straps / roof anchors to manufacturer's written recommendations.
- Roof to be ventilated at soffit using continuous 25x47mm Eaves soffit ventilator system capable of 25000mm² air space per metre & at ridge level using Redland proprietary ventilation systems.

Proposed Loft Sloping roof insulation

- Sloping roof - U-value of 0.13W/mK
- Proposed roof tiles to match existing, battens, counter battens and OSB Board c/w nilver breather membrane
- 175x50mm timber rafters
- 50mm Airspace
- 150mm Kingspan Kooltherm K7 between rafters
- 52.5mm Kingspan Kooltherm K118 insulated plasterboard

Loft Dwarf Wall Construction

- Walls:- U-value of 0.17W/mK
- Ex. concrete roof construction
- 0.5mm breather membrane
- 9mm plywood sheathing
- 150x50mm timber studs
- 130mm Kingspan Kooltherm K7
- 32.5mm Kingspan Kooltherm K118 insulated plasterboard

Horizontal Roof

- Horizontal Roof Construction :- U-value of 0.11W/mK
- 120mm Kingspan Kooltherm K7 insulation between rafters
- 70mm Kingspan Kooltherm K7 insulation between rafters
- Total Thickness of insulation 190mm of K7 insulation

Suspended Timber Floor Notes

- Floor Construction :- U-value of 0.15W/mK
- Constructed from 22mm treated T&G moisture resistant chipboard flooring
- 150x50mm treated timber joists at 600mm centres on
- 150x50mm timber bearer fixed to existing wall using M12 Hilli bolts at 400c/s
- Treated timber 100x32mm wall plate with
- P/A = 0.48
- 160mm Kingspan Kooltherm K103 insulation between joists on battens
- 150mm min. Ventilated air space between base of joists and solem

New Window:- U-value of 1.4W/mK

- New windows to be UPVC to match existing with white gloss finish and mastic pointing around all edges, fixed into rebated openings with wall and with DPC and insulated cavity closers all round. Window to have cill to match existing, laid on DPC. Window to be double glazed, hermetically sealed units, tilt n turn. Window to be supplied treated and primed for final decoration on site, complete with locking handle. Strap & line ingos with Gyproc insulated plasterboard. Glazing to be 24mm Double glazed Units. All windows to be lockable All windows to be 60mm Tilt /Turn c/w stay hinges, shoot bolt locking mechanisms and standard cockspar fittings.
- Windows & Doors to be fitted 'secured by design locks' as per standard 4.13
- Windows & Doors to be installed to BS8213-4:2007 - Standard D4, 13.5 (2013) and product standard and component performance to BS7412:2007 for PVCu Units
- New window to be confirmed by client

Exterior Door:- U-value of 1.4W/mK

- New rear sliding door to be UPVC colour white to match existing. Door to be fitted with weather bar to base, draught excluders / weather beaters to top and sides. Include for all escutcheons and associated accessories. Doors to have shoot bolt locking mechanisms and standard cockspar fittings. Strap & line ingos with Gyproc insulated plasterboard.
- Supply and install threshold units at external door opening, complete with DPC's.
- New door to be confirmed by client
- Doors to be fitted secure by design locks - Windows to BS:7950, Door locks to BS:3621 and doors of enhanced security to BS PAS 24-1

Doors & Windows :-

- to be designed and constructed in accordance with the material used
BS 7412: 2007, for PVCu units;
BS 644: 2009, for timber window units;
BS 4873: 2009, for aluminium alloy units;
BS 6510: 2005, for steel framed units.
- Fixing of a doorset should be in accordance with recommendations given in section 8 of BS8213-4: 2007

Velux Window:- U-value of 1.4W/mK

- 3No. Velux windows - 780x980mm. Client to confirm if to be used manually or electrically operated
03No. Velux windows - 550x780mm. Client to confirm if to be used manually or electrically operated

Draught sealing / stripping

- Windows, Doors, Ceiling Hatches and Access Panels to be draught stripped. Window Seals to conform to BS 6375 relating to performance of windows and air infiltration. House entrance doors, windows and ceiling hatches to be fitted with external quality weather seals and draught stripping.

Kitchen :-

- Oven / hob will comply with Building (Scotland) Regulations 2013 Part 3.11.2 whereby there will be provisions for an oven with the appropriate surrounding 1000x600mm activity space. The Oven will have incoming services to be gas or electric supply.
- Within the kitchen there will be a minimum storage space of 1m³ to comply with Building (Scotland) Regulations 2013 Part 3.1.2

Smoke Detector :-

- To be interconnected in accordance with BS 5839:Part 6 : 2019
- To be installed to comply with the recommendations of BS5839:Part 1:2013 for a Grade D type LD3 system and Building (Scotland) Regulations 2013 Section 2.11.2. The system to be permanently wired to an independent circuit at the mains distribution board. Where two or more alarms installed in a dwelling they shall be interconnected.
- To be located 3m from any sleeping accommodation
- Located a min. 300mm away from any lighting
- Smoke alarm to be an Optical smoke Alarm suitable for kitchen open plans areas
- Heat Alarm to conform to BS 5446:Part 2:2003

Carbon Monoxide Detector :-

- To be installed in any room where a new combustible appliance is fitted to comply with Building (Scotland) Regulations 2013 3.20.20 excluding an appliance solely for cooking. Carbon monoxide detectors to comply with BS EN 50291-1:2010 and be powered by a battery designed to operate for the working life of the detector. Detector to be within 1-3m away from the appliance

Central Heating System :-

- New Radiators within proposed Extension to connect to existing heating system and have thermostatic valves (TRVs'). (Contractor to inspect existing boiler to make sure it can supply new radiators)
- Client to confirm radiator positions to contractor.

External Works:-

- Make good all external areas following completion of the works and re-grade ground as necessary to suit DPC levels.

Internal Doors:-

- New timber doors to give a clear opening of 800mm to comply with Building (Scotland) Regulations 2013 Part 4.2.4

Internal Door Ironmongery

- Ironmongery to be confirmed by client

Ceilings:-

- New ceilings to match existing ceiling height to be formed with 12.5mm foil backed plasterboard, taped, filled and decorated.

General

- All walls and plasterboard ceiling to be painted 1No. coat Primer and 2No. coats Vinyl emulsion all to be finished in colour specified by client
- All work to be carried out as per manufacturers written specifications.
- All sizes to be checked and anomalies to be flagged before commencement of work or purchasing materials

Air Infiltration :-

- Air infiltration limitation to comply with BRE Report 262

Services :-

- All services (i.e. pipework, ductwork etc.) to have appropriate fire dampers at points of openings through separating walls & floors to comply with Building (Scotland) Regulations 2013 Parts 2.2.4 & 2.2.5
-All services passing through foundations to comply with Building (Scotland) Regulations 2013 Part 1.1.1 and meet the BS9004:1986 Foundation regulation. Any service penetrations through a separating wall or floor must be sealed with intumescent mastic.
-insulation to heating pipes to BS 5422:2009

Insulation of hot water pipes :-

- 19mm wall for 22mm pipes, 25mm wall for 15mm pipes and 9mm wall for radiator supply pipes.

Hot water :-

- To prevent scalding the temperature of hot water at point of delivery to a bath or bidet should not exceed 48°C

Timber frame with 50mm cavity YBS bubble insulation

Proposed Wall Construction :- U-value of 0.17W/mK

- Outer Leaf
- 20mm Roughcast
- 100mm medium density blockwork
- 50mm clear cavity
Inner Leaf - Timber frame construction
- 5mm YBS Breather Foil FR Foil Bubble
- 10mm WBP plywood
- 140mm medium density blockwork wall below
- 150x50mm C16 treated timber studs at 600mm centres with double head binders and sole plate.

- 150mm Rockwool insulation between studs
-25mm Kingspan Kooltherm TWS5 insulation with 1No. layer of 12.5mm foil backed plasterboard or 37.5mm Kingspan insulation
- Timber frame construction to be tied to existing wall construction by Hilli HB Bolts @ 400cs
- DPC to all walls 150mm above ground level and lapped with 1200 Visqueen DPM within floor construction.

Wet Areas:-

- All wet areas - Shower, Whb's, Sink etc. to be tiled to prevent water infiltration to plasterboard. Tiles to be confirmed by client.

General Notes

- Drainage
Any New Drainage will be installed as per BS EN 12056-2: 2000 (Sanitary Pipework), BS EN 752-3: 1997 (amendment 2), BS EN 752-4: 1998 and BS EN 1610:1998 (For Drainage System outside a building), and BS EN 12056-3:2 2000 (For Rainwater Pipes and Gutters). Drainage & Plumbing work to comply with Sections 3.5, 3.6 & 3.7 of the Building (Scotland) Regulations 2013

Electrical

- Electrical work will be carried out in accordance with the 17th edition of the I.E.E. including current amendments, together with the current BRITISH STANDARDS & CODES OF PRACTICE. The building will be provided with electrical power in accordance with BS 7671: 2018 Lighting and socket outlets are to be provided to comply with Building (Scotland) Regulations 2013 Parts 4.6.1, 4.6.2 & 4.6.4.

Contractor - Electrician Client

- All electrical work to be carried out by a SELECT or NICEIC registered contractor and supply electrical certificate upon completion of works to building control
Min socket requirements to be :- In the Kitchen - 6 sockets, in each apartment - 4 sockets and anywhere in the dwelling an additional 4 sockets
- Sockets to comply with 4.8.5 - whereby sockets must be a min. of 350mm from an internal corner and not more than 1.2m A.F.F.L. Also light switches should be positioned between 900 & 1100mm A.F.F.L.
- TV , BT & socket points to be positioned Min. 400mm A.F.F.L and 150mm above any worktop
- Client to confirm socket and lighting positions before commencement of works
- All light fittings within extension to be low energy type including lamps to comply with Building (Scotland) Regulations 2013 D6.5.1

Timber

- All timber used to be installed to BS5268.

Roof Trusses

- Trussed rafters to be designed and manufactured to BS5268 Part 2:2002, Part 3 1998, BS6399 Part 1, Part 2 1997, Part 3 1998
- Contractor to supply truss design certificate upon completion of works

Leadwork

- All Leadwork to be in accordance with 'Leadsheet Association Recommendations' and to BS6915:2001

Windows - Safety Glazing -

- All glazing to conform to BS6262:Part 4 2005 and BS 6206 and the Building (Scotland) Regulations 2013 Parts 4.8.2, 4.8.3 & 4.8.4. All glazed openings to be safely clearable from inside in accordance with BS8213 Part 1.
- All glazing as appropriate to be installed in accordance with BS6262: Part 4:2005
- All apartments to have a min. glazed area of 1/15th of the floor area to comply with Building (Scotland) Regulations 2013 Part 3.16.1
- Window controls must be positioned not more than 1.5m above F.F.L.
- New windows to conform to BS6399 Part1 1996 for pedestrian barrier protection to comply with Building (Scotland) Regulations 2013 D4.4.3
- New toilet / bathroom windows to have frosted / obscure glazing
- Window will provide an unobstructed openable area for emergency escape requirements of 0.33m² and be min. 450mm wide & 735mm tall.
- Fire Escape windows to have opening part of window max. 1100 A.F.F.L.
- Guarding of windows should be designed and comply with Building (Scotland) Regulations 2013 4.8.4. so that it is not easily climbable by young children

Natural Ventilation

- Ventilation will comply with Building (Scotland) Regulations 2013 Parts 3.14 & conform to the BRE Digest or the table to this specification.
- The rooms will be ventilated to min. 1/30th of the floor area it serves by trickle ventilators above all windows & patio doors.
- Natural Ventilation to comply with CIBSE Guide A:1986, Design Data, Section A4, Air Infiltration and natural ventilation.
- Windows & doors to have permanent ventilators built into head of frames to comply with 3.14.2
- Apartments to have ventilators capable of 12000mm³
- All other rooms to have ventilators capable of 10000mm³

Mechanical Ventilation:-

- Mechanical Ventilation to be carried out in accordance with the BS5720: 1979 or CIBSE Guide B: 1996, Section B2 and Natural Ventilation to be comply with CIBSE Guide A:1986, Design Data, Section A4, Air Infiltration and natural ventilation.
- Provide the mechanical / natural ventilation to the following rooms from Ventaxia or similar approved :-
- Utility Room - Mechanical extraction capable of 60litres/sec - min. 4000mm³
- Toilets - Mechanical extraction capable of 15litres/sec min.4000mm³
- Kitchen - Mechanical extraction capable of 60litres/sec - min. 4000mm³

Fans

- The fan outlets are to be ducted through the outside wall as indicated on the proposed floor plans. All external fans to be provided with vermin control covers.

Drainage:-

- New drainage required to :-
Toilet & En-Suite Toilets.
1) WC - 100mmØ PVC Waste pipe
2) WHB - 40mmØ PVC Waste pipe
3) Shower - 50mmØ PVC Waste pipe
4) Bath - 50mmØ PVC Waste pipe
Utility Room :-
1) Waste connection & connection taps for washing machine, dishwasher
2) Sink - 40mm Ø PVC Waste pipe connected to new soil pipe
Kitchen :-
1) Sink - 40mm Ø PVC Waste pipe connected to existing sink waste pipe

Wash-Hand Basins -

- 32mm dia UPVC un-vented branch pipe (with anti-siphonic waste traps) at a gradient to suit length of waste pipe, up to maximum length of 1.7 metres.
(0.50 metres = 1:11 gradient);(0.75 metres = 1:12 gradient);
(1.00 metres = 1:20 gradient);(1.25 metres = 1:30 gradient);
(1.50 metres = 1:40 gradient);(1.75 metres = 1:50 gradient).
- 40mm dia UPVC un-vented branch pipe (with anti-siphonic waste traps) @ gradient of 1:20 (1:20min - 1:11max), up to maximum length of 3.0 metres.]

Kitchen Sinks / Showers -

- 50mm dia UPVC un-vented branch pipe (with anti-siphonic waste traps) @ gradient of 1:40 (1:40min - 1:11max), up to maximum length of 4.0 metres.

W.C.

- 100mm dia UPVC un-vented branch pipe (with anti-siphonic waste traps) @ gradient of 1:40 (1:60min - 1:11max), up to maximum length of 6.0 metres or 12.0 metres if more than one W.C. is connected.

- Water efficiency fittings should be provided to all WC's and WHB's within a dwelling to comply with standard 3.27.1 & 3.27.2

- Dual flush WC cisterns should have an average flush volume of not more than 4.5 litres. Single flush WC cisterns should have a flush volume of not more than 4.5 litres. Taps serving wash or hand rinse basins should have a flow rate of not more than 6 litres per minute.

- New foundations to be stepped below existing drainage
- Where underground drains pass through under-building / solem walls, an opening should be formed to allow at least 100mm thick pea-gravel around the drain, including a new 65mm thick pre-stressed lintel cover.

- All new drainages as indicated internally is to be installed in heat resistant UPVC by Marley or equally approved.
- All internal wastes to be installed to manufacturers instructions and recommendations trapped and connected separately to S.V.P.

- All new underground drains to be 110mmØ Uppvc pipes
- Proposed 100mm UPVC RWP's to be trapped and connect to existing RWP.
- All pipes laid on 150mm well compacted granular material, side fill to be granular material well compacted to half the pipe depth, and top fill in granular material well compacted in 100mm layers, to 400mm above the pipe crown.

- All pipework above ground will be UPVC. The connection between fireclay and UPVC pipework to be by a suitable proprietary connector.

- All stacks and stub stacks (below ground) will be 100mmØ Uppvc, and include a min. 200mm radius bend at the foot, and have a distance from lowest branch to invert of drain not less than 450mm (in the case of a stub stack, the distance from the lowest branch of any other appliance to invert of drain will not exceed 2500mm)

- Where any pipe passes through the polythene DPM, the DPM to be fitted with a sealed collar, lapped up and sealed to the pipe at the top of the ground floor slab and to the DPM.

Notes:-

- All wet areas - Shower, Whb's, Sink etc. to be tiled to prevent water infiltration to plasterboard. Tiles to be confirmed by client.

Construction Notes:-

- Existing Walls:- Alterations.
- Any alteration works to be carefully carried out to match / complement existing walls.

Solum Construction

- Base to be 150mm thick hardcore,
- 50mm well blinded sand
- 1200 Visqueen DPM on top lapped up into DPC
- 50mm concrete screed on top.

Foundation Construction

- Concrete foundation to be 600x200mm foundation pad c/w 1 layer of A252 mesh
- The proposed foundations will be the same type as the existing and taken to the same depth of a minimum of 450mm below ground level. Whichever is greater. Foundations to be stepped to reach different ground levels
- Movement joint to be installed between existing and new foundations and walls in accordance with regulation Structure 1.C.5.
- Proposed foundations to lap over existing foundations by a distance of 300mm plus existing screement with an overall thickness of 200mm plus the foundation thickness of 200mm. Alternatively 4No. 20mm diameter dowel bars 400mm long to be resin grouted 200mm into existing foundations
- If when the existing foundations are exposed they comprise of a non standard design, works must cease and building standards must be contacted
- Building standards to be contacted and given the opportunity to inspect foundation trenches prior to pouring concrete

DPC's

- DPC's also to be provided at all construction joints, under all wall plates, at stepped cavity tray, all cavity barriers and behind all pre-cast concrete cills and lintels and thresholds to comply with Section 3.10.0 Precipitation of the Building (Scotland) Regulations 2013. DPC to be stepped where required to maintain a min. 150mm A.G.L.

Vapour Control Membranes

- Vapour membranes to be overlapped at junctions by 150mm mm and bonded with mastic strip and sealed with jointing tape in accordance with manufacturers written instructions. Dry lining junctions between walls, ceilings, floors, around window/door openings to be sealed.

General Construction Information :-

- All wall construction to dwelling to comply Section 6.0.3/6.0.4 Thermal Conductivity of the Building (Scotland) Regulations 2013
- All concrete to be class C35min.
- No high alumina cement to be used.
- All brickwork to be a minimum course strength of 21N/m in class (iii) mortar brickwork to be 'Frost free'.
- Wall ties to be min. class (ii) at max 600mm c/c horizontally and 450mm vertically. Ties to be stainless steel. Ties every 3rd course. Wall ties to be BT-2 stainless Steel ties by Catnic or equal and approved & 600mm crs.
- Wall ties to be max 300mm apart vertically and within a distance of 225mm from the vertical edges where the aperture has been formed
- New brickwork to be fixed to existing structure using galvanised steel connector Wall Starter by Catnic or similar approved Ref:VWC
- Anchors to be Vertical V-Type galvanised mild steel 30x2.5x1200mm restraint straps by Catnic or equal and approved @ 600mm crs fixed to timber framing, lower brickwork course and roof. The holding down straps 30x2.5mm to be attached to the stud by 6No. 3.36x55mm ring shank nails at 2.4m centres, at every opening and at the end studs of a wall attaching the strap to the stud and placing the L-shaped end of the strap at least three courses under the masonry cladding

Internal Walls :-

- Internal partitions to be 75x50mm treated timber studs at 600mm centres complete with top, bottom and mid runners / dwangs with 80mm Rockwool RWA45 insulation between studs for acoustic purposes. 1No. layer 12.5mm moisture resistant plasterboard to each side of partition, taped filled and decorated in base coat and 2 top coats emulsion in colour selected by client.
Additional dwangs as required to suit radiators / kitchen units and additional fixings as required by the end user

Sealing Junctions between Elements

- Infiltration to be limited by sealing dry lining junctions between walls, ceilings and floors and at window, door and roof space openings

Lintels:

- Refer to Engineers Details & Specifications

Cavity Barriers :-

- Cavity barriers to be 50x50mm wrapped in DPC and provided around all openings of the cavity, at corners/ junction of 2No. walls, ceiling level and between roof space to comply with Section 2.4.1/2.4.2 Cavity barriers of the Building (Scotland) Regulations 2013 Part, whereby the maximum distance between barriers is 10m.

Cavity wall ventilation :-

- Catnic 'weep vents' to be used on brickwork, and to be spaced to max. 500mm per metre length of wall. Vents to be staggered so they are not aligned vertically. Cavity to be ventilated below DPC level and at eaves and verge level with the equivalent of an open brick perpend every 1.2m.
- Front intake of air to be every horizontal 2m min. Proposed front intake air brick vents c/w proprietary clay cavity liner (225x75mm) , DPC and cavity tray

Fire Protection :-

- All steelwork to have 2no. layers 12.5mm plasterboard with staggered joints

Table with 3 columns: Rev, Description, Date

Client and Project Address
Mr & Mrs John Dunn
52 Melford Avenue
Giffnock G46 6ND

Proposed Rear Extension Existing & Proposed Roof Plan Details & Notes

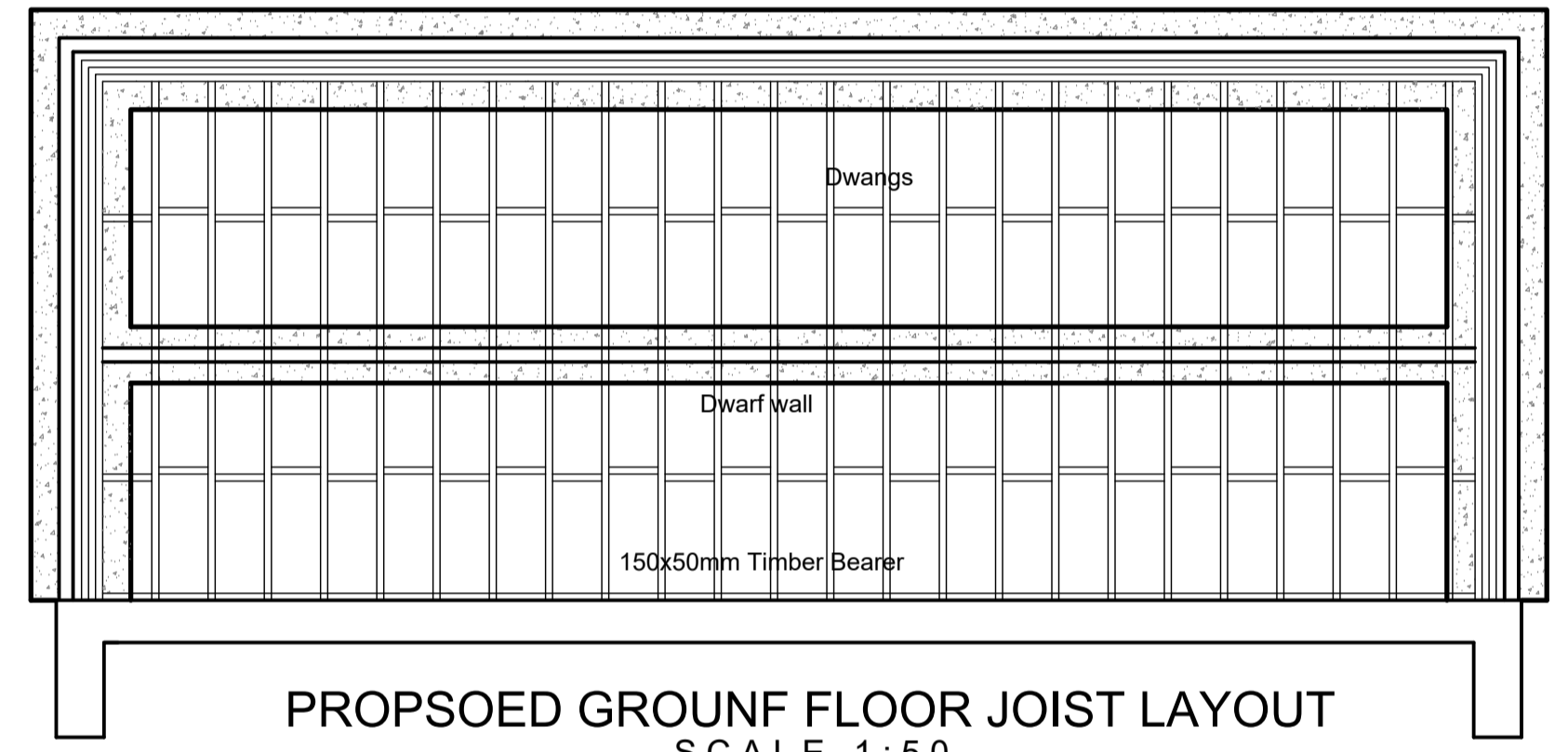
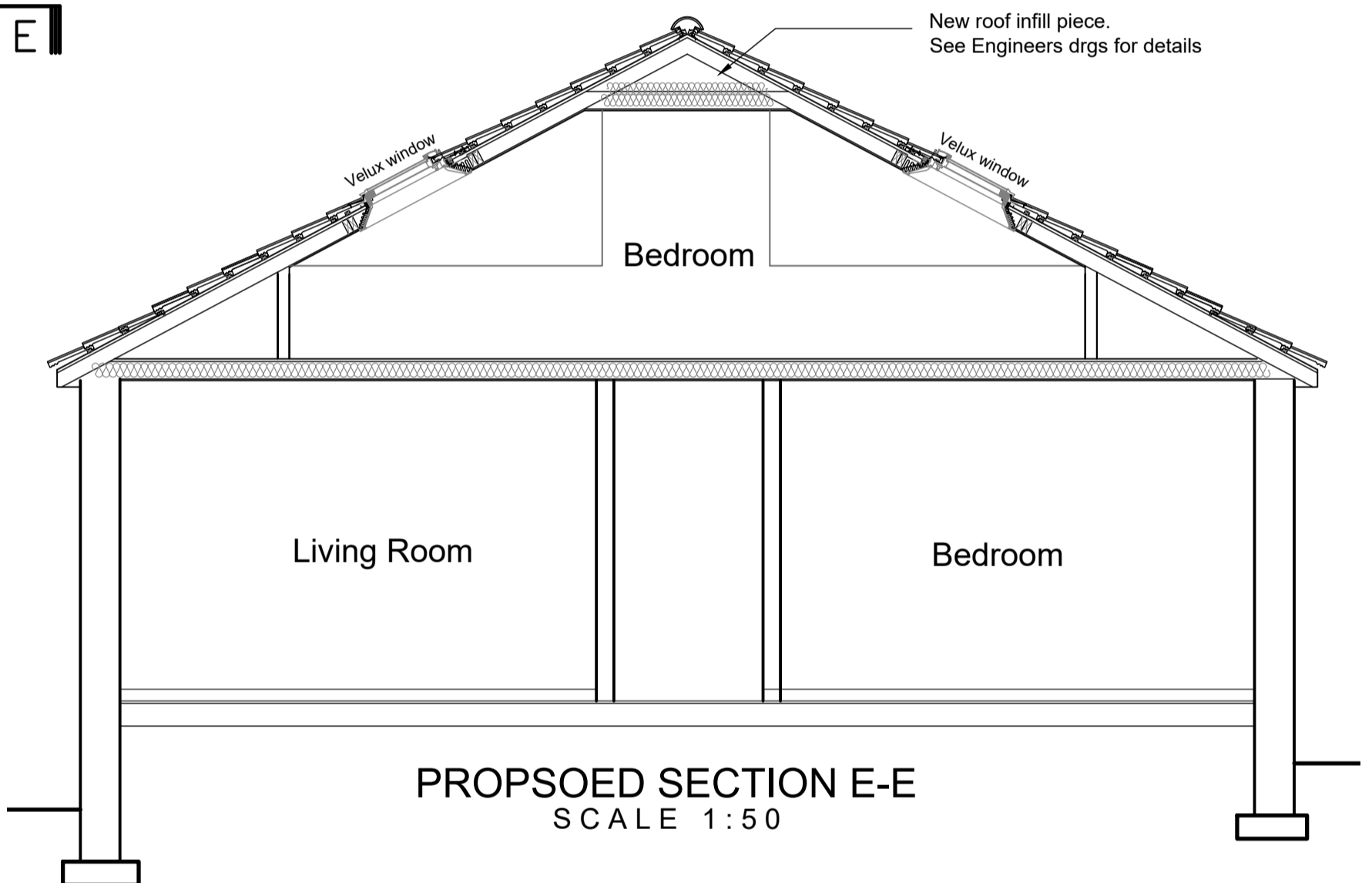
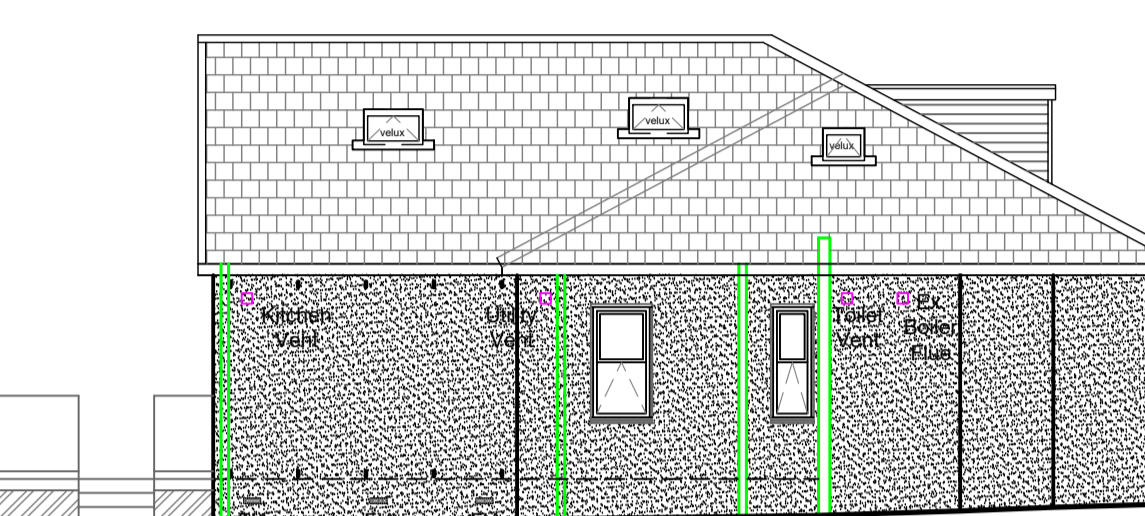
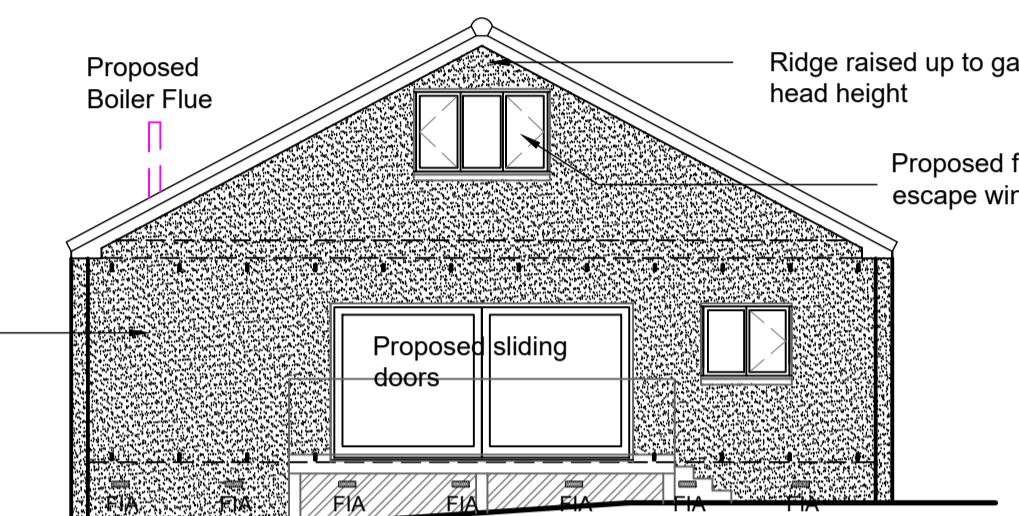
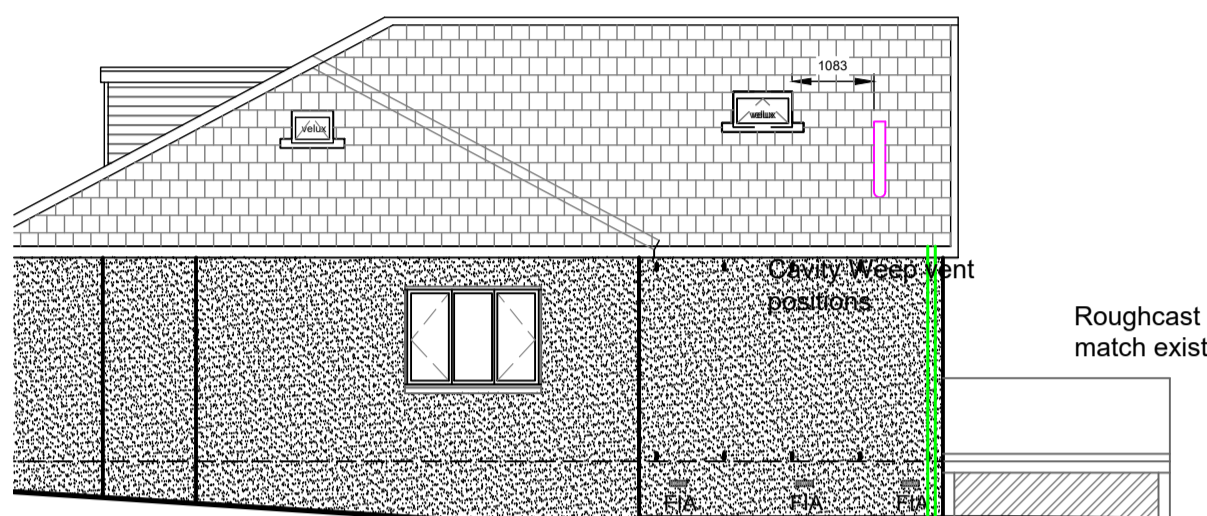
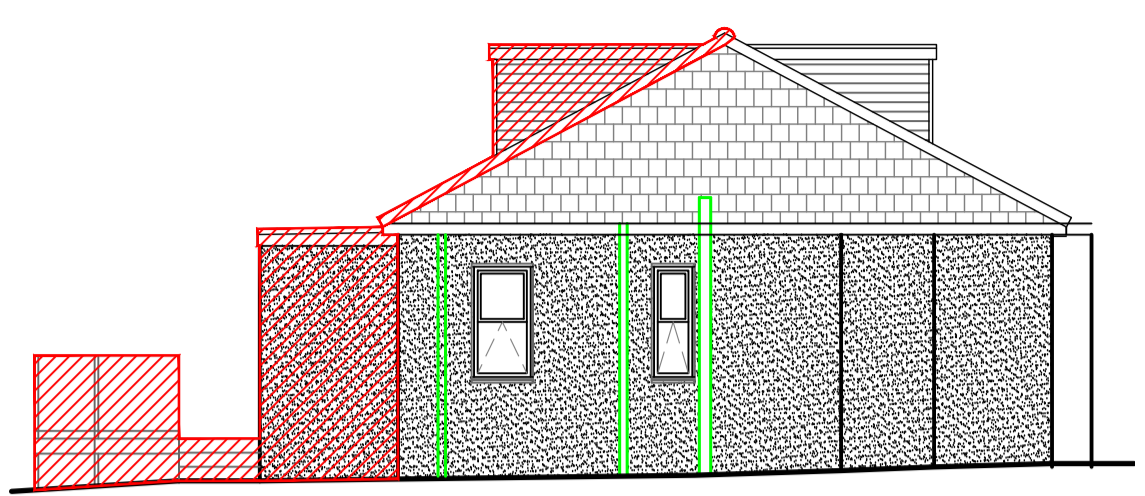
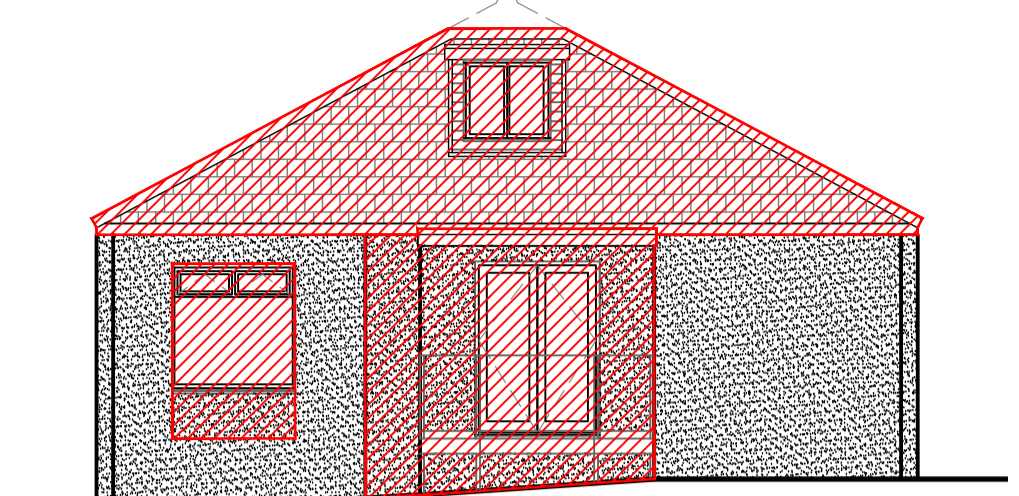
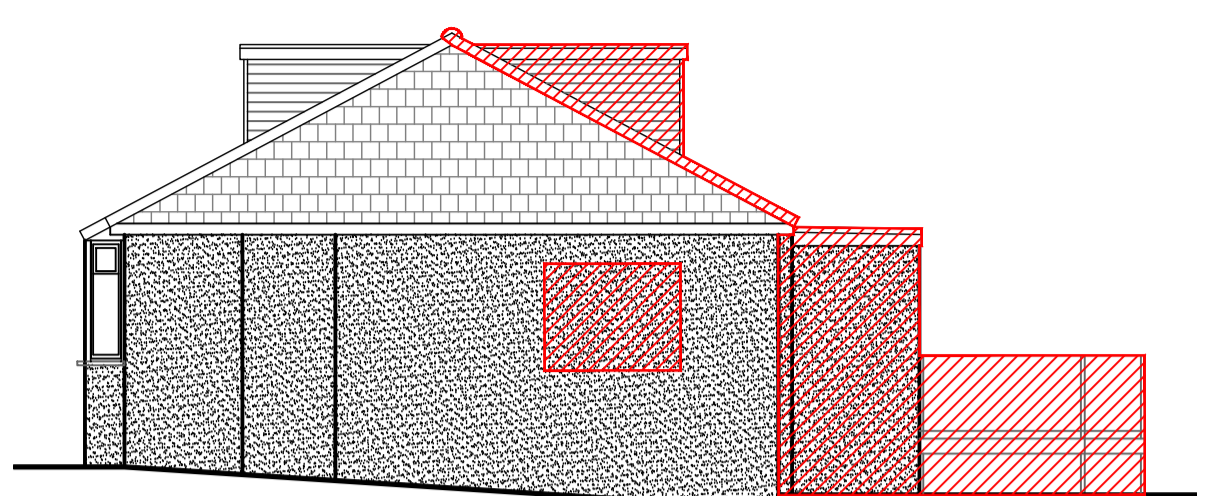
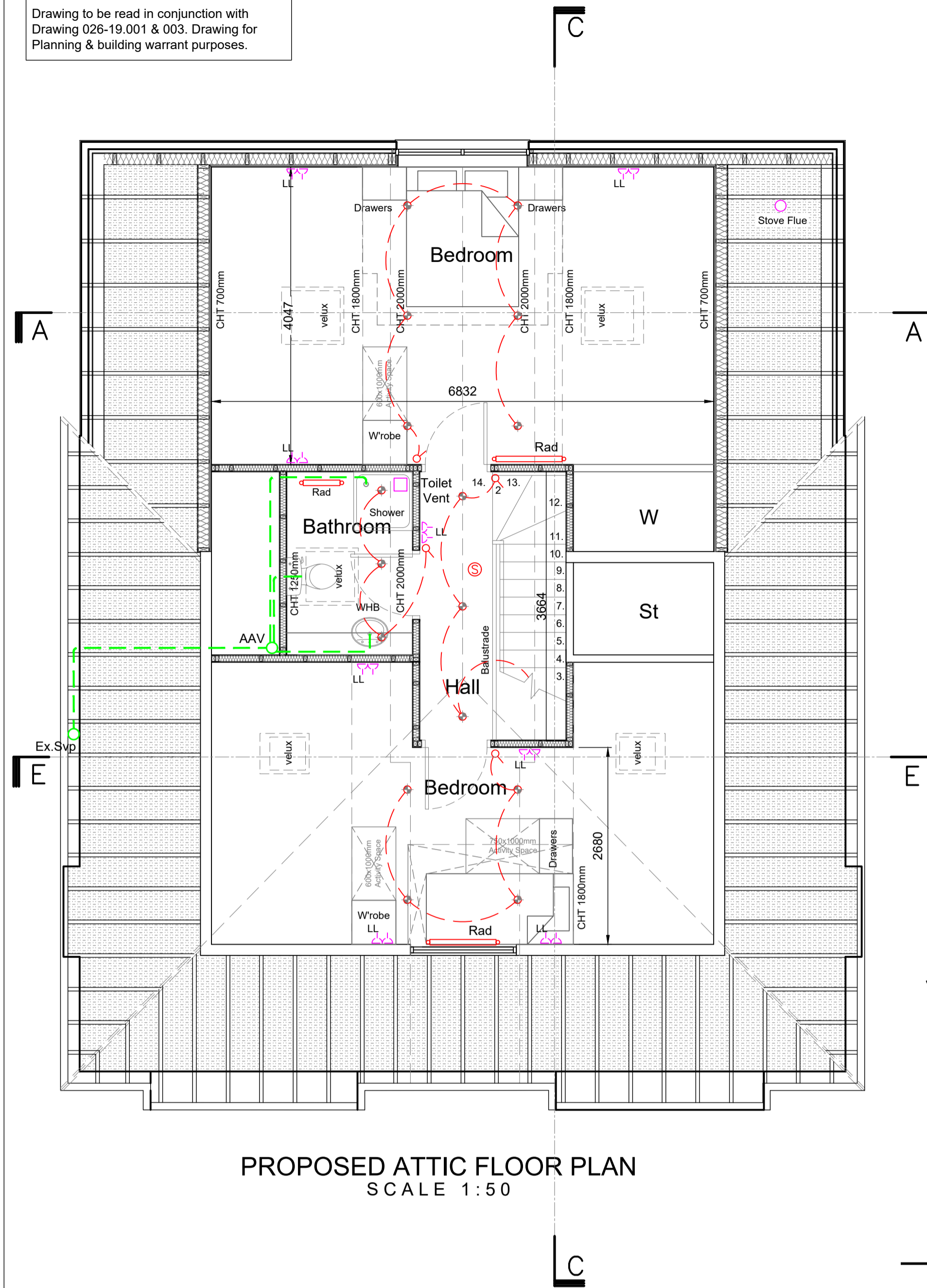
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PLANNING

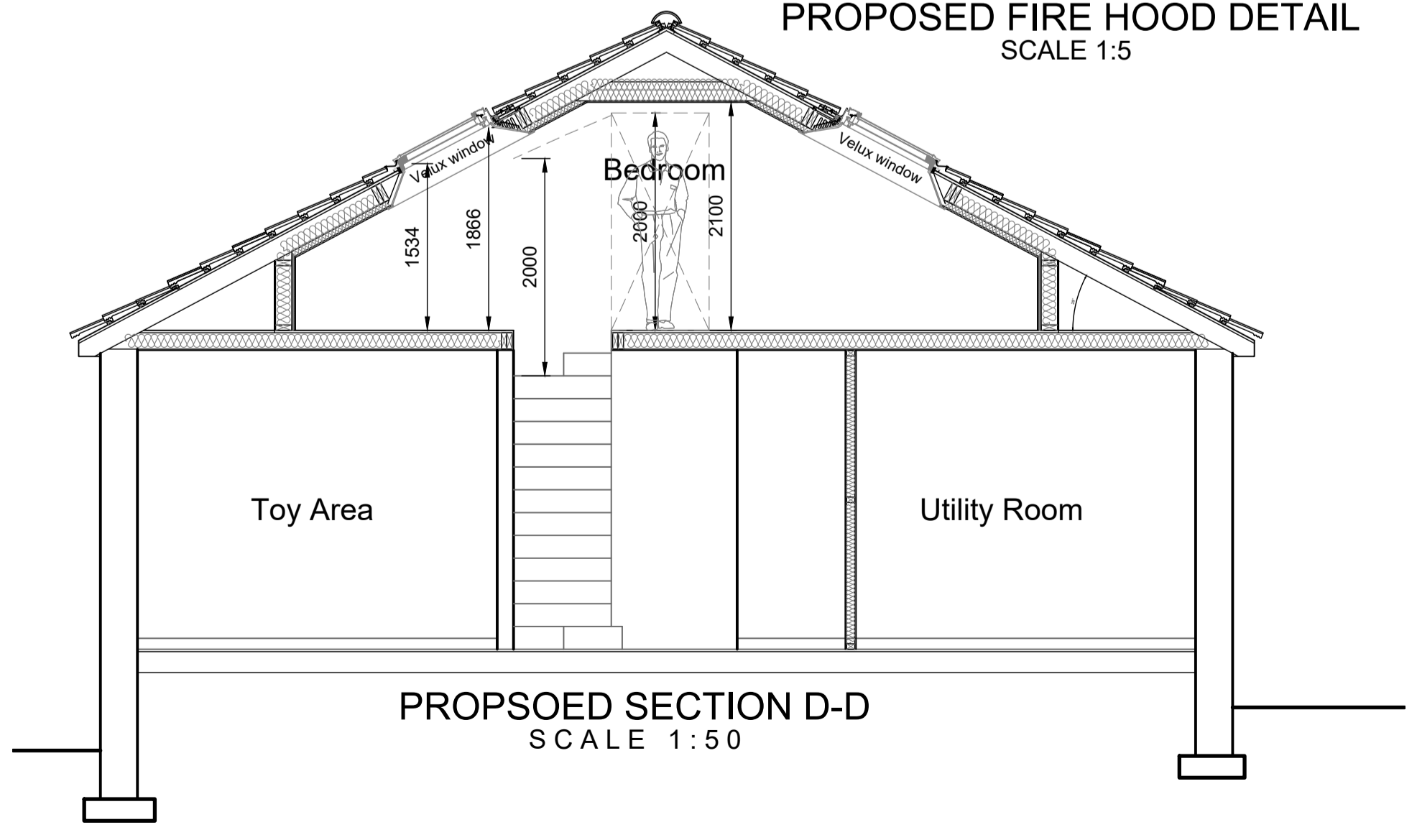
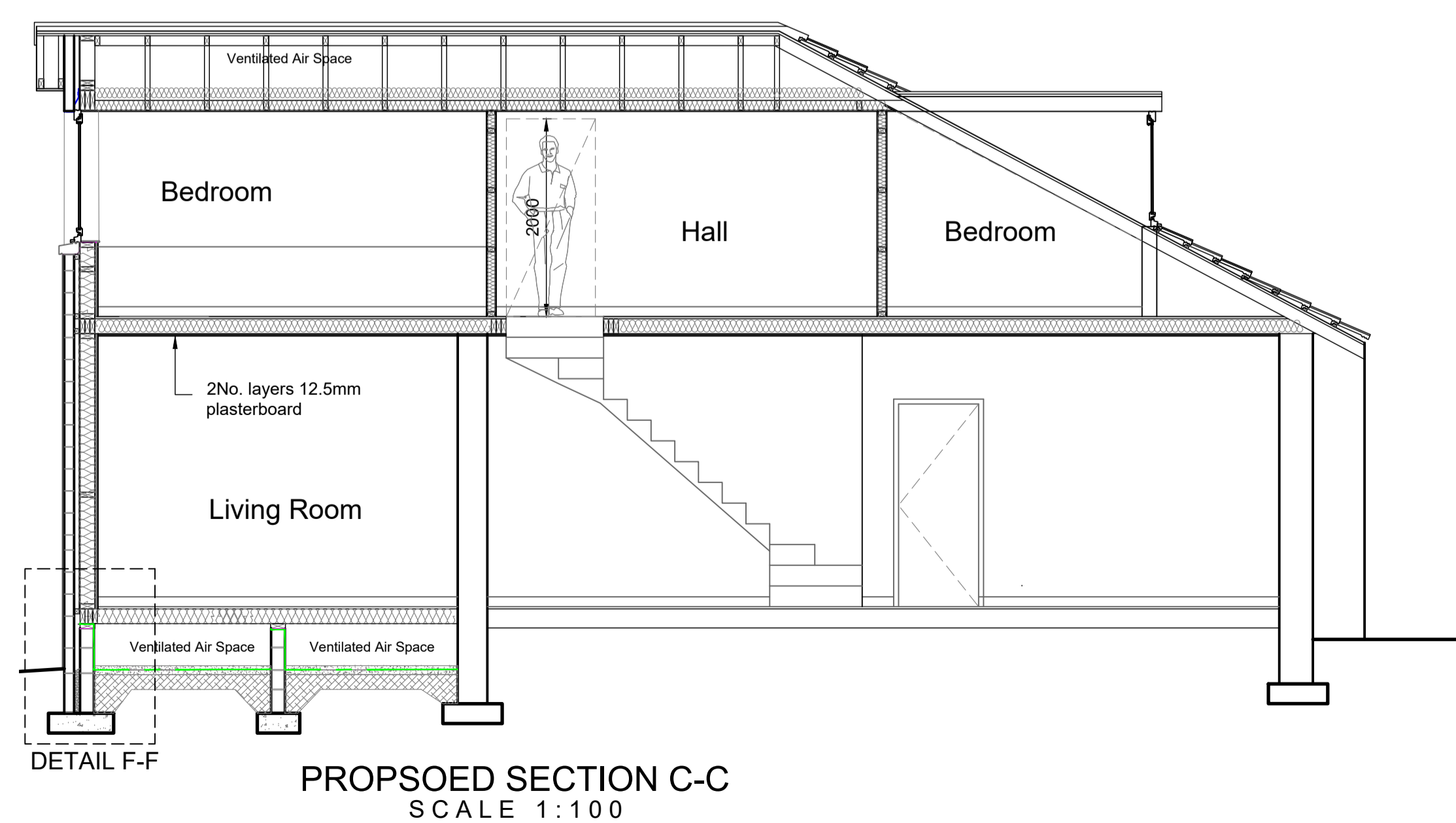
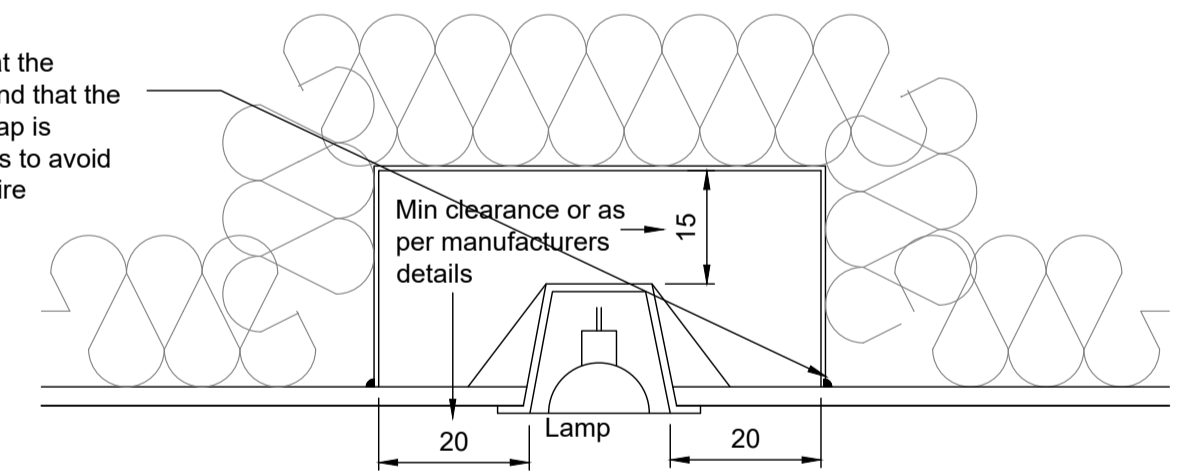
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Drawing no. 100-19.003

Drawing to be read in conjunction with Drawing 026-19.001 & 003. Drawing for Planning & building warrant purposes.



When installing downlighters ensure that the airtightness of the ceiling is maintained and that the manufacturers min. recommended air gap is maintained around and above the fittings to avoid heat from the lamp causing a potential fire



- General Notes**
- Do not scale from this drawing
 - This drawing is to be read in conjunction with all relevant drawings and specifications, i.e. structural engineer's drawings etc
 - The contractor must advise the Designer and Engineers of any discrepancies between the contract drawings and the existing site dimensions
 - All dimensions to be checked on site prior to fabrication or erection
 - Contractor to take exact measurements on the proposed roof to ensure roof construction c/w lead flashing sits under first floor window cills and does not impede at its furthest projection the internal ceiling height
 - Contractor / Client to inform of any underground services within the proposed area prior to commencement of works or ordering of materials.
 - No work to be begun until the appropriate approvals (i.e. Building warrant and planning) have been received. Initial drawings submitted to the council may require altering to suit local authorities comment. Councils stamped drawings should be used during construction.
 - Client / Contractor responsibility to investigate existing ground prior to construction with regards to existing underground services, i.e. gas, water etc.
 - Scottish Water - It is the Owners responsibility to obtain the appropriate consents from Scottish Water regarding building over Water mains
 - Clients responsibility to confirm if in a listed building or conservation area prior to submitting for approvals.
 - For additional information see www.cafdesigns.co.uk
 - All dismantling and demolition works to be carried out in accordance with BS 6187:2011 and the Health and Safety at Work Act 1974
 - All works to Building (Scotland) Act 2003 and Building (Scotland) Regulations 2018
 - Where the land is sloping at the proposed works or surrounding area, then it is the clients responsibility to provide a survey i.e. topographical survey to provide accurate gradients.
 - If in Doubt Ask

Rev	Description	Date

Client and Project Address
Mr & Mrs John Dunn
 52 Melford Avenue
 Giffnock G46 6ND

Drawing Title
Proposed Rear Extension
Proposed Attic Plan, Elevations & Sections

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PLANNING

Drawn by CAF	CAD Location C:\Drawings\100-19
Scale 1:50	Date Dec 19
	Paper Size A1

Drawing no.
100-19.002