

EAST RENFREWSHIRE COUNCILLOCAL REVIEW BODY2 October 2019Report by Deputy Chief ExecutiveREVIEW OF CASE - REVIEW/2019/13ERECTION OF ONE AND A HALF STOREY REAR EXTENSION WITH RAISING OF
RIDGE HEIGHT AND INSTALLATION OF DORMER WINDOWS
AT FRONT AND SIDE AT 4 DEVERON AVENUE, GIFFNOCK**PURPOSE OF REPORT**

1. The purpose of the report is to present the information currently available to allow a review of the decision taken by officers, in terms of the Scheme of Delegation made in terms of Section 43A of the Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 in respect of the application detailed below.

DETAILS OF APPLICATION

2. Application type: Full Planning Permission (Ref No:- 2019/0383/TP).
- Applicant: Mr Niall MacKinnon.
- Proposal: Erection of one and a half storey rear extension with raising of ridge height and installation of dormer windows at front and side.
- Location: 4 Deveron Avenue, Giffnock.
- Council Area/Ward: Giffnock and Thornliebank (Ward 3).

REASON FOR REQUESTING REVIEW

3. The applicant has requested a review on the grounds that the Council's Appointed Officer refused the application.

RECOMMENDATIONS

4. The Local Review Body is asked to:-
- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
- (i) it proceeds to determine whether the decision taken in respect of the application under review should be upheld, reversed or varied; and
- (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed.

- (b) In the event that further procedure is required to allow it to determine the review, consider:-
 - (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

BACKGROUND

5. At the meeting of the Council on 29 April 2009, consideration was given to a report by the Director of Environment seeking the adoption of a new Scheme of Delegation in terms of the new Section 43A of the Town and Country Planning (Scotland) Act 1997, subject to approval of the scheme by Scottish Ministers.

6. The report provided details of the new hierarchy of developments that took effect from 6 April 2009 explaining that the Scheme of Delegation related to those applications within the “local development” category as set out in the Town and Country Planning (Hierarchy of Development) (Scotland) Regulations 2009, but would in future be determined by an “appointed officer”. In the Council’s case this would be either the Director of Environment or the Head of Roads, Planning and Transportation Service now designated the Head of Environment (Operations).

7. The report highlighted that historically appeals against planning decisions were dealt with by Scottish Ministers. However, following the introduction of the new planning provisions which came into effect on 3 August 2009 all appeals against decisions made in respect of local developments under delegated powers would be heard by a Local Review Body. The Local Review Body would also deal with cases where the appointed officer had failed to determine an application within two months from the date it was lodged.

NOTICE OF REVIEW – STATEMENT OF REASONS FOR REQUIRING THE REVIEW

8. The applicant in submitting the review has stated the reasons for requiring the review of the determination of the application. A copy of the applicant’s Notice of Review and Statement of Reasons is attached as Appendix 5.

9. The applicant is entitled to state a preference for the procedure (or combination of procedures) to be followed by the Local Review Body in the determination of the review and has indicated that his stated preference is the assessment of the review documents only, with no further procedure.

10. The Local Review Body is not bound to accede to the applicant’s request as to how it will determine the review and will itself decide what procedure will be used in this regard.

11. However, at the meeting of the Local Review Body on 10 August 2016, it was decided that the Local Review Body would carry out unaccompanied site inspections for every review case it received prior to the cases being given initial consideration at a meeting of the Local Review Body.

12. In accordance with the above decision, the Local Review Body will carry out an unaccompanied site inspection on Wednesday, 2 October 2016 immediately before the meeting of the Local Review Body which begins at 2.00pm.

INFORMATION AVAILABLE TO ALLOW REVIEW OF APPLICATION

13. Section 43B of the Planning etc (Scotland) Act 2006 restricts the ability of parties to introduce new material at the review stage. The Local Review Body is advised that the focus of the review should, therefore, be on the material which was before the officer who dealt with the application under the Scheme of Delegation.

14. However, the applicant has submitted new information which was not available to the Appointed Officer at the time the determination of the application was made. The new information relates to another property; maps; and photographs of other properties.

15. Members are advised that Section 43B of The Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 states that:-

“43B Matters which may be raised in a review under section 43A(8)

- (1) In a review under section 43A(8), a party to the proceedings is not to raise any matter which was not before the appointed person at the time the determination reviewed was made unless that party can demonstrate—
 - (a) that the matter could not have been raised before that time, or
 - (b) that its not being raised before that time was a consequence of exceptional circumstances.
- (2) Nothing in subsection (1) affects any requirement or entitlement to have regard to—
 - (a) the provisions of the development plan, or
 - (b) any other material consideration.”

16. The applicant has been given an opportunity to explain why the information was not made available to the Appointed Officer at the time the application was determined.

17. At the time of writing this report the applicant had not submitted an explanation as requested.

18. The Local Review Body must decide whether the new information should be considered as part of the review. In the event that it does, it is recommended, in the interests of equality of opportunity to all parties that the Appointed Officer be given the opportunity to comment on the new information.

19. Members should note that the new information has been excluded from the applicant's submission.

20. The information detailed below is appended to this report to assist the Local Review Body in carrying out the review of the decision taken by the Appointed Officer:-

- (a) Application for planning permission – Appendix 1 (Pages 9 - 16);
- (b) Copies of Objections/Representations – Appendix 2 (Pages 17 - 20);
- (c) Report of Handling by the planning officer under the Scheme of Delegation - Appendix 3 (Pages 21 - 28);
- (d) Decision notice and reasons for refusal - Appendix 4 (Pages 29 - 34); and
- (e) A copy of the applicant's Notice of Review and Statement of Reasons - Appendix 5 (Pages 35 - 52).

21. The applicant has also submitted the drawings listed below (available for inspection within the Planning Division of the Environment Department prior to the meeting and for reference at the meeting) and these are attached as Appendix 6 (Pages 53 - 62).

- (a) Existing Elevations;
- (b) Existing Ground Floor Plan;
- (c) Existing Roof Plan;
- (d) Refused – Location Plan;
- (e) Refused – Proposed Elevations Front and Rear;
- (f) Refused – Proposed Side Elevations;
- (g) Refused – Proposed Floor Plans; and
- (h) Refused – Proposed Roof Plan.

22. The Local Review Body is advised that initial consultation responses and representations received if any, relating to the application will be listed in the planning officer's Report of Handling.

23. All the documents referred to in this report can be viewed online on the Council's website at www.eastrenfrewshire.gov.uk.

RECOMMENDATIONS

24. The Local Review Body is asked to:-

- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
 - (i) it proceeds to determine whether the decisions taken in respect of the application under review should be upheld, reversed or varied; and
 - (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed.
- (b) In the event that further procedure is required to allow it to determine the review, consider:-
 - (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

Report Author: Paul O'Neil

Director - Caroline Innes, Deputy Chief Executive

Paul O'Neil, Committee Services Officer
e-mail: paul.o'neil@eastrenfrewshire.gov.uk
Tel: 0141 577 3011

Date:- September 2019

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**APPLICATION
FOR
PLANNING PERMISSION**

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100169741-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Description of Proposal

Please describe accurately the work proposed: * (Max 500 characters)

Attic and rear extension

Has the work already been started and/ or completed? *

No Yes - Started Yes – Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	A1 Architectural Design Ltd		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	George	Building Name:	<input type="text"/>
Last Name: *	Clark	Building Number:	5
Telephone Number: *	07770611090	Address 1 (Street): *	Cherrybank Walk
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	Airdrie
Fax Number:	<input type="text"/>	Country: *	UK
		Postcode: *	ML6 0HZ
Email Address: *	george@a1archdesign.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Mr	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	Niall	Building Number:	4
Last Name: *	MacKinnon	Address 1 (Street): *	Deveron Avenue
Company/Organisation	<input type="text"/>	Address 2:	Giffnock
Telephone Number: *	<input type="text"/>	Town/City: *	Glasgow
Extension Number:	<input type="text"/>	Country: *	United Kingdom
Mobile Number:	<input type="text"/>	Postcode: *	G46 6NH
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text"/>		

Site Address Details

Planning Authority:

East Renfrewshire Council

Full postal address of the site (including postcode where available):

Address 1:

4 DEVERON AVENUE

Address 2:

GIFFNOCK

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

GLASGOW

Post Code:

G46 6NH

Please identify/describe the location of the site or sites

Northing

658616

Easting

256840

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

Yes No

Trees

Are there any trees on or adjacent to the application site? *

Yes No

If yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Access and Parking

Are you proposing a new or altered vehicle access to or from a public road? *

Yes No

If yes, please describe and show on your drawings the position of any existing, altered or new access points, highlighting the changes you proposed to make. You should also show existing footpaths and note if there will be any impact on these.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

Yes No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

Yes No

Is any of the land part of an agricultural holding? *

Yes No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: George Clark

On behalf of: Mr Niall MacKinnon

Date: 19/06/2019

Please tick here to certify this Certificate. *

Checklist – Application for Householder Application

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

- a) Have you provided a written description of the development to which it relates? * Yes No
- b) Have you provided the postal address of the land to which the development relates, or if the land in question has no postal address, a description of the location of the land? * Yes No
- c) Have you provided the name and address of the applicant and, where an agent is acting on behalf of the applicant, the name and address of that agent? * Yes No
- d) Have you provided a location plan sufficient to identify the land to which it relates showing the situation of the land in relation to the locality and in particular in relation to neighbouring land? *. This should have a north point and be drawn to an identified scale. Yes No
- e) Have you provided a certificate of ownership? * Yes No
- f) Have you provided the fee payable under the Fees Regulations? * Yes No
- g) Have you provided any other plans as necessary? * Yes No

Continued on the next page

A copy of the other plans and drawings or information necessary to describe the proposals (two must be selected). *

You can attach these electronic documents later in the process.

- Existing and Proposed elevations.
- Existing and proposed floor plans.
- Cross sections.
- Site layout plan/Block plans (including access).
- Roof plan.
- Photographs and/or photomontages.

Additional Surveys – for example a tree survey or habitat survey may be needed. In some instances you may need to submit a survey about the structural condition of the existing house or outbuilding. Yes No

A Supporting Statement – you may wish to provide additional background information or justification for your Proposal. This can be helpful and you should provide this in a single statement. This can be combined with a Design Statement if required. * Yes No

You must submit a fee with your application. Your application will not be able to be validated until the appropriate fee has been Received by the planning authority.

Declare – For Householder Application

I, the applicant/agent certify that this is an application for planning permission as described in this form and the accompanying Plans/drawings and additional information.

Declaration Name: Mr George Clark

Declaration Date: 19/06/2019

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COPIES OF OBJECTIONS/REPRESENTATIONS

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Comments for Planning Application 2019/0383/TP

Application Summary

Application Number: 2019/0383/TP

Address: 4 Deveron Avenue Giffnock East Renfrewshire G46 6NH

Proposal: Erection of one and a half storey rear extension with raising of ridge height and installation of dormer windows at front and side

Case Officer: Mr David Haney

Customer Details

Name: Mr eric thomson

Address: 2 Deveron Avenue, Giffnock, East Renfrewshire G46 6NH

Comment Details

Commenter Type: Rec'd NeighbourNotification from Council

Stance: Customer made comments neither objecting to or supporting the Planning Application

Comment Reasons:

Comment: Please can the applicant confirm the change in height of the ridge relative to the existing. Property is already higher (due to topography) and will extend beyond the building line of adjacent with potential impact on light.

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REPORT OF HANDLING

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REPORT OF HANDLING

Reference: 2019/0383/TP

Date Registered: 20th June 2019

Application Type: Full Planning Permission

This application is a Local Development

Ward: 3 -Giffnock And Thornliebank

Co-ordinates: 256840/:658616

Applicant/Agent:

Applicant:
Mr Niall MacKinnon
4 Deveron Avenue
Giffnock
Glasgow
United Kingdom
G46 6NH

Agent:

George Clark
5 Cherrybank Walk
Airdrie
UK
ML6 0HZ

Proposal: Erection of one and a half storey rear extension with raising of ridge height and installation of dormer windows at front and side

Location: 4 Deveron Avenue
Giffnock
East Renfrewshire
G46 6NH

CONSULTATIONS/COMMENTS: None.

PUBLICITY: None.

SITE NOTICES: None.

SITE HISTORY:

2018/0714/TP	Erection of one and a half storey rear extension forming gable end and raising of ridge height; installation of dormer windows at front and side	Refused	18.01.2019
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REPRESENTATIONS: A representation was received that raised concerns about loss of light.

DEVELOPMENT PLAN & GOVERNMENT GUIDANCE: See Appendix 1

SUPPORTING REPORTS:

Planning Statement - Explains how the reasons for refusal 2018/0714/TP have been addressed and have led to the revised proposal.

ASSESSMENT:

The site is in an established residential area and contains a detached bungalow. The site is on a slope and increases in level from east to west and south to north. As a result, the dwelling is elevated above street level. The dwelling has a hipped roof finished in concrete tiles. The elevations are finished in render and brick and have all been painted white. The surrounding area is characterised by bungalows, some of which have been altered and extended.

The proposal is to erect a one and a half storey rear extension, raise the ridge height of the dwelling and install dormer windows at the front and side. The ridge height of the dwelling would be raised by 0.5 metres and the ridgeline lengthened to a gable at the rear of the extension. The extension would project from the rear elevation of the dwelling by 4.3 metres. The dormer windows would have hipped roofs with the same ridgeline as the dwelling.

The proposal is required to be assessed against Policies D1 and D14 of the adopted Local Development Plan and Supplementary Planning Guidance on Householder Design (SPG). The proposal should complement the existing character of the dwelling and not result in a significant loss of character to the surrounding area. It should be of a size, scale and massing that is in keeping with the dwelling and surrounding built form. The extension should have the same roof design as the dwelling with a lower ridgeline. The dormer windows should not dominate the roof and be set below the ridge of the roof. The amenity of neighbouring properties should not be adversely affected by unreasonably restricting sunlight, daylight or privacy.

The proposal is contrary to policy because the ridgeline of the dwelling would be increased in height, the dormer windows would have the same ridgeline as the dwelling and the roof design at the rear of the extension would be a different roof design from the front of the dwelling. It is considered that the design of the roof would significantly increase the scale and massing of the dwelling, particularly when combined with the dormer windows and the raised and extended ridgeline. It is considered that the proposal as a whole would overwhelm/dominante the original form of the dwelling to the detriment of its existing visual character and appearance.

It is acknowledged that there are nearby examples of alterations/extensions which are similar to the proposal e.g. dormer windows with the same ridgeline as the property and extensions forming a gable end. However, it is not considered that these examples are numerous enough to define the built character of the area. As a result, the proposal is of a scale and massing that is out of keeping with most of the bungalows in the area and introduces a roof type that is not typical of the surrounding area. It is therefore considered that the proposal is out of scale with the predominant built form of the area and that it would result in a significant loss of character to the area.

The proposal would not give rise to significant additional overshadowing or loss of light given its position in relation to neighbouring properties. The side dormer window would not result in an adverse increase in overlooking due to its proposed use for non-habitable rooms.

A representation was received that raised concerns about the potential impact of the extension on light. It is considered that this point has been addressed above.

It is noted that an application to extend the dwelling, raise its ridge height and install dormer windows was refused on 18 January 2019 (ref: 2018/0714/TP). It is considered that, whilst the revised proposal is an improvement on the previous design, it has not fully addressed the reasons for refusal.

It is considered that the proposal is unacceptable in policy terms and that there are no material considerations that justify setting aside the Local Development Plan.

RECOMMENDATION: Refuse

PLANNING OBLIGATIONS: None.

REASONS FOR REFUSAL:

1. The proposal is contrary to Policy D1 of the adopted East Renfrewshire Local Development Plan as it would significantly detract from the character of the area as its scale and massing would be out of keeping with the prevailing built form and appearance of the surrounding bungalows.
2. The proposal is contrary to Policy D14 of the adopted East Renfrewshire Local Development Plan as it would be dominant and not of a scale or massing that complements the existing visual character or appearance of the dwelling.
3. The proposal is contrary to the Supplementary Planning Guidance on Householder Design as the extension would introduce a new roof type that, in combination with the dormer windows, would significantly increase the scale and massing of the dwelling to the detriment of the appearance of the dwelling and surrounding area.

ADDITIONAL NOTES: None.

ADDED VALUE: None

BACKGROUND PAPERS:

Further information on background papers can be obtained from Mr David Haney on 0141 577 3854.

Ref. No.: 2019/0383/TP
(DAHA)

DATE: 9th August 2019

DIRECTOR OF ENVIRONMENT

Reference: 2019/0383/TP - Appendix 1

DEVELOPMENT PLAN:

Strategic Development Plan

This proposal raises no strategic issues in terms of the Glasgow and the Clyde Valley Strategic Development Plan and therefore the East Renfrewshire Local Plan is the relevant policy document

Adopted East Renfrewshire Local Development Plan

Policy D1

Detailed Guidance for all Development

Proposals for development should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. In some cases, where the criteria have not been met, a written justification will be required to assist with assessment.

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. The proposal should be of a size, scale, massing and density that is in keeping with the buildings in the locality and should respect local architecture, building form, design, and materials;
3. The amenity of neighbouring properties should not be adversely affected by unreasonably restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Planning Guidance;
4. The development should not impact adversely on landscape character or the green network, involve a significant loss of trees or other important landscape, greenspace or biodiversity features;
5. Developments should incorporate green infrastructure including access, landscaping, greenspace, water management and Sustainable Urban Drainage Systems at the outset of the design process. Where appropriate, new tree or shrub planting should be incorporated using native species. The physical area of any development covered by impermeable surfaces should be kept to a minimum to assist with flood risk management. Further guidance is contained within the Green Network and Environmental Management Supplementary Planning Guidance;
6. Development should create safe and secure environments that reduce the scope for anti-social behaviour and fear of crime;
7. Developments must be designed to meet disability needs and include provision for disabled access within public areas;
8. The Council will not accept 'backland' development, that is, development without a road frontage;
9. Parking and access requirements of the Council should be met in all development and appropriate mitigation measures should be introduced to minimise the impact of new development. Development should take account of the principles set out in 'Designing Streets';
10. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the development;
11. Developments should include provision for the recycling, storage, collection and composting of waste materials;
12. Where possible, all waste material arising from construction of the development should be retained on-site for use as part of the new development;
13. Where applicable, new development should take into account the legacy of former mining activity;
14. Development should enhance the opportunity for and access to sustainable transportation, including provision for bus infrastructure, and particularly walking and cycle opportunities including cycle parking and provision of facilities such as showers/lockers, all where appropriate. The Council will not support development on railways solums or other development that would remove opportunities to enhance pedestrian and cycle access unless mitigation measures have been demonstrated;
15. The Council requires the submission of a design statement for national and major developments. Design statements must also be submitted in cases where a local development relates to a site within a conservation area or Category A listed building in line with Planning Advice Note 68: Design Statements.
16. Where applicable, developers should explore opportunities for the provision of digital

infrastructure to new homes and business premises as an integral part of development.

Policy D14

Extensions to Existing Buildings and Erection of Outbuildings and Garages

Any extensions must complement the existing character of the property, particularly in terms of style, form and materials.

The size, scale and height of any development must be appropriate to the existing building. In most circumstances, pitched roofs utilising slates or tiles to match the existing house will be the appropriate roof type. Alternatives, such as flat roofs or green roofs, will be considered on a site specific basis.

Side extensions should not create an unbroken or terraced appearance.

The development should avoid over-development of the site by major loss of existing garden space.

Dormer windows should not in general dominate the existing roof, nor rise above or break the existing ridgeline or hip of the roof, and should be finished in materials to match existing roof finishes.

The above are broad requirements and these are further defined in the Householder Design Guide Supplementary Planning Guidance.

GOVERNMENT GUIDANCE:

Given the size and scale of the development it is not considered that government guidance is a relevant material consideration.

Finalised 09/08/19 AC(3)

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**DECISION NOTICE
AND
REASONS FOR REFUSAL**

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**TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
(AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(SCOTLAND) REGULATIONS 2013**

REFUSAL OF PLANNING PERMISSION

Ref. No. **2019/0383/TP**

Applicant:

Mr Niall MacKinnon
4 Deveron Avenue
Giffnock
Glasgow
United Kingdom
G46 6NH

Agent:

George Clark
5 Cherrybank Walk
Airdrie
UK
ML6 0HZ

With reference to your application which was registered on 20th June 2019 for planning permission under the abovementioned Act and Regulations for the following development, viz:-

Erection of one and a half storey rear extension with raising of ridge height and installation of dormer windows at front and side

at: 4 Deveron Avenue, Giffnock, East Renfrewshire, G46 6NH

the Council in exercise of their powers under the abovementioned Act and Regulations hereby refuse planning permission for the said development.

The reason(s) for the Council's decision are:-

1. The proposal is contrary to Policy D1 of the adopted East Renfrewshire Local Development Plan as it would significantly detract from the character of the area as its scale and massing would be out of keeping with the prevailing built form and appearance of the surrounding bungalows.
2. The proposal is contrary to Policy D14 of the adopted East Renfrewshire Local Development Plan as it would be dominant and not of a scale or massing that complements the existing visual character or appearance of the dwelling.
3. The proposal is contrary to the Supplementary Planning Guidance on Householder Design as the extension would introduce a new roof type that, in combination with the dormer windows, would significantly increase the scale and massing of the dwelling to the detriment of the appearance of the dwelling and surrounding area.

Dated 9th August 2019



Director of Environment
East Renfrewshire Council
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG
Tel. No. 0141 577 3001

The following drawings/plans have been refused

Plan Description	Drawing Number	Drawing Version	Date on Plan
Location Plan	L (2-) 001		

Proposed floor plans	L (2-) 004		
Roof Plan Proposed	L (2-) 005		
Elevations Proposed	L (2-) 006		
Elevations Proposed	L (2-) 007		

GUIDANCE NOTE FOR REFUSAL OF LOCAL DEVELOPMENTS DETERMINED UNDER DELEGATED POWERS

REVIEW BY EAST RENFREWSHIRE COUNCIL'S LOCAL REVIEW BODY

1. If the applicant is aggrieved by a decision to refuse permission (or by an approval subject to conditions), the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. A Notice of Review can be submitted online at www.eplanning.scotland.gov.uk. Please note that beyond the content of the appeal or review forms, **you cannot normally raise new matters** in support of an appeal or review, unless you can demonstrate that the matter could not have been raised before, or that its not being raised before is a consequence of exceptional circumstances. Following submission of the notice, you will receive an acknowledgement letter informing you of the date of the Local Review Body meeting or whether further information is required.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

CONTACT DETAILS

**East Renfrewshire Council
Development Management Service
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG**

**General Inquiry lines 0141 577 3895 or 0141 577 3878
Email planning@eastrenfrewshire.gov.uk**

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**NOTICE OF REVIEW
AND
STATEMENT OF REASONS**

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100169741-002

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	<input type="text" value="A1 Architectural Design Ltd"/>		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	<input type="text" value="George"/>	Building Name:	<input type="text"/>
Last Name: *	<input type="text" value="Clark"/>	Building Number:	<input type="text" value="5"/>
Telephone Number: *	<input type="text" value="07770611090"/>	Address 1 (Street): *	<input type="text" value="Cherrybank Walk"/>
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	<input type="text" value="Airdrie"/>
Fax Number:	<input type="text"/>	Country: *	<input type="text" value="UK"/>
		Postcode: *	<input type="text" value="ML6 0HZ"/>
Email Address: *	<input type="text" value="george@a1archdesign.co.uk"/>		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="Niall"/>	Building Number:	<input type="text" value="4"/>
Last Name: *	<input type="text" value="MacKinnon"/>	Address 1 (Street): *	<input type="text" value="Deveron Avenue"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text" value="Giffnock"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Glasgow"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="United Kingdom"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="G46 6NH"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="[REDACTED]"/>		

Site Address Details

Planning Authority:	<input type="text" value="East Renfrewshire Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="4 DEVERON AVENUE"/>
Address 2:	<input type="text" value="GIFFNOCK"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="GLASGOW"/>
Post Code:	<input type="text" value="G46 6NH"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="658616"/>	Easting	<input type="text" value="256840"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Rear extension and attic conversion

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Planning refusal has been based upon similar extensions given planning or have been successfully appealed which are not difference to our current proposals

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Appeal statement document, existing and proposed refused planning drawings

Application Details

Please provide details of the application and decision.

What is the application reference number? *

2019/0383/TP

What date was the application submitted to the planning authority? *

19/06/2019

What date was the decision issued by the planning authority? *

14/08/2019

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr George Clark

Declaration Date: 15/08/2019

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Planning Statement To Support New Planning 4 Deveron Avenue Giffnock G46 6NH

Submitted Planning Drawings:

- L(2-)001 Site location plan & block plan.
- L(2-)002 Ground & attic plan as existing.
- L(2-)003 Roof plan & section as existing.
- L(2-)004 Rev B Ground & attic plan as proposed.
- L(2-)005 Rev A Roof plan as proposed.
- L(2-)006 Rev A Front & Rear Elevations as proposed.
- L(2-)007 Rev A Gable elevations as proposed.
- L(2-)008 Elevations as existing.

Planning Application Statement

New second planning application made due to first application **Ref- 2018/0714/TP** being refused on the grounds that the dormers and rear elevations did not comply with local planning development plan for house extension in the area.

The revised plans have allowed for the reduction of size of dormers, we have also maintained the existing roof profile and part roof. The rear elevation takes note of using part hipped roof to reduce the overall size and mass of the wall to this elevation.

We note that planning appeal review appeal 20/2018/12 for 76 Evan Drive Giffnock was granted with similar rear gable extension with dormer as shown below and would request that this is taken into consideration for this current application which we feel gives equal if not better design proposal.



Extension now currently in progress for Evan Drive

Planning Appeal Statement To Support Refused Planning

Application Ref- 2019/0383/TP

4 Deveron Avenue Giffnock G46 6NH

Submitted Original Planning Drawings:

- L(2-)001 Site location plan & block plan.
- L(2-)002 Ground & attic plan as existing.
- L(2-)003 Roof plan & section as existing.
- L(2-)004 Rev B Ground & attic plan as proposed.
- L(2-)005 Rev A Roof plan as proposed.
- L(2-)006 Rev A Front & Rear Elevations as proposed.
- L(2-)007 Rev A Gable elevations as proposed.
- L(2-)008 Elevations as existing.

Planning Application Refusal

The application for planning permission was refused on 9th August 2019 by East Renfrewshire Council on the following conditions:

1. Did not comply with policy D1 of the East Renfrewshire Local Development plan as it would detract from the character of the area. And its massing would be out of keeping with surrounding bungalows
2. The proposed is contrary to Policy D14 of the East Renfrewshire Local Development Plan. The extension would be dominant and not of a scale that complements the existing visual character of the building.
3. The proposal is contrary to the terms of the adopted Supplementary Planning Guidance. The proposed extension would introduce a new roof type that in combination of the dormer windows would increase the scale and massing of the dwelling to the detriment of the dwelling and surrounding area.

Reasons For Appeal Against Planning Decision

After the first planning refusal the client Agreed to the modify the design from pervious refusal planning ref 2018/0714/TP to try and accommodate some of the concerns raised, this however now refused for the second time we feel this is totally unjustified considering the quality of the current design and the recent history of similar planning appeal decisions given by the council.

We now wish to challenge and appeal the above points due to the following reasons:

Points 1, 2 & 3 contained in the above refusal conditions:

The current dormer design offers a traditional pitched style roof appearance design, similar to the pitch of the proposed roof which does not have any adverse impact on the appearance of the house. This style of dormer has been done across East Renfrewshire and Central Scotland The dormer in terms of mass and scale sit's in proportion to the roof. They do not over dominate, they fit within the hipped ends of the roof, **fig 1** below was our original proposal as submitted on previous planning refusal reference 2018/0714/TP, we revised dormer and roof as per **Fig 2** below to

reduce impact and scale of both roof and dormer, roof pitch was also retained. We also note that a similar planning application ref 2018/0201/TP which was rejected for similar style dormers and rear gable extension and was successfully appealed, we would argue that this development is no different from that development and thus should be treated the same. We would also highlight the rear extension cannot be seen from street level and thus has no visual impact on this street, the rear elevation / extension has been designed to enhance the rear which currently has an outdated conservatory which must be a total improvement to what currently exists.



Front Elevation As Proposed

Fig 1 Above - Proposed Previous Front Elevation To 4 Deveron Avenue original application 2018/0714/TP refused

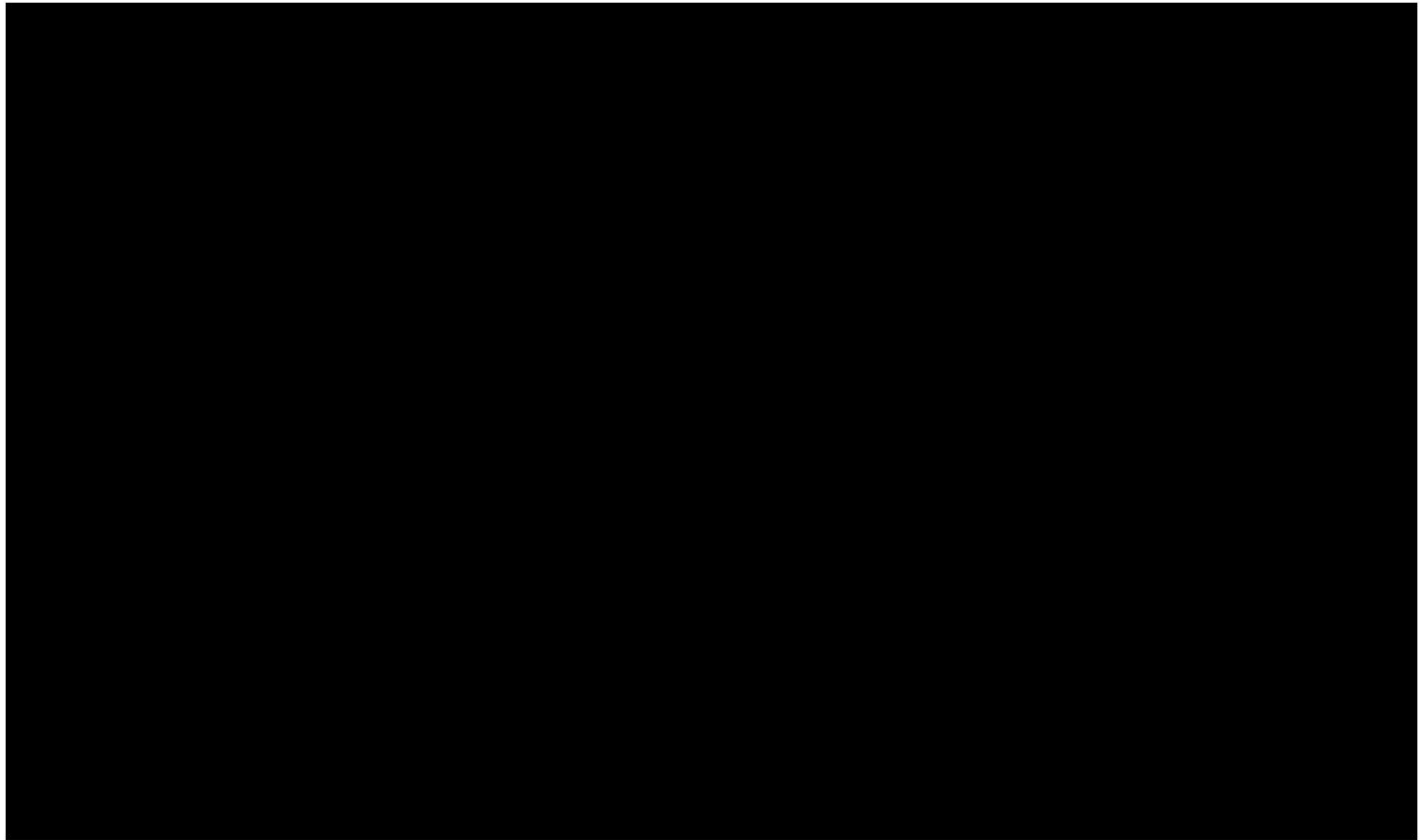


Front Elevation As Proposed

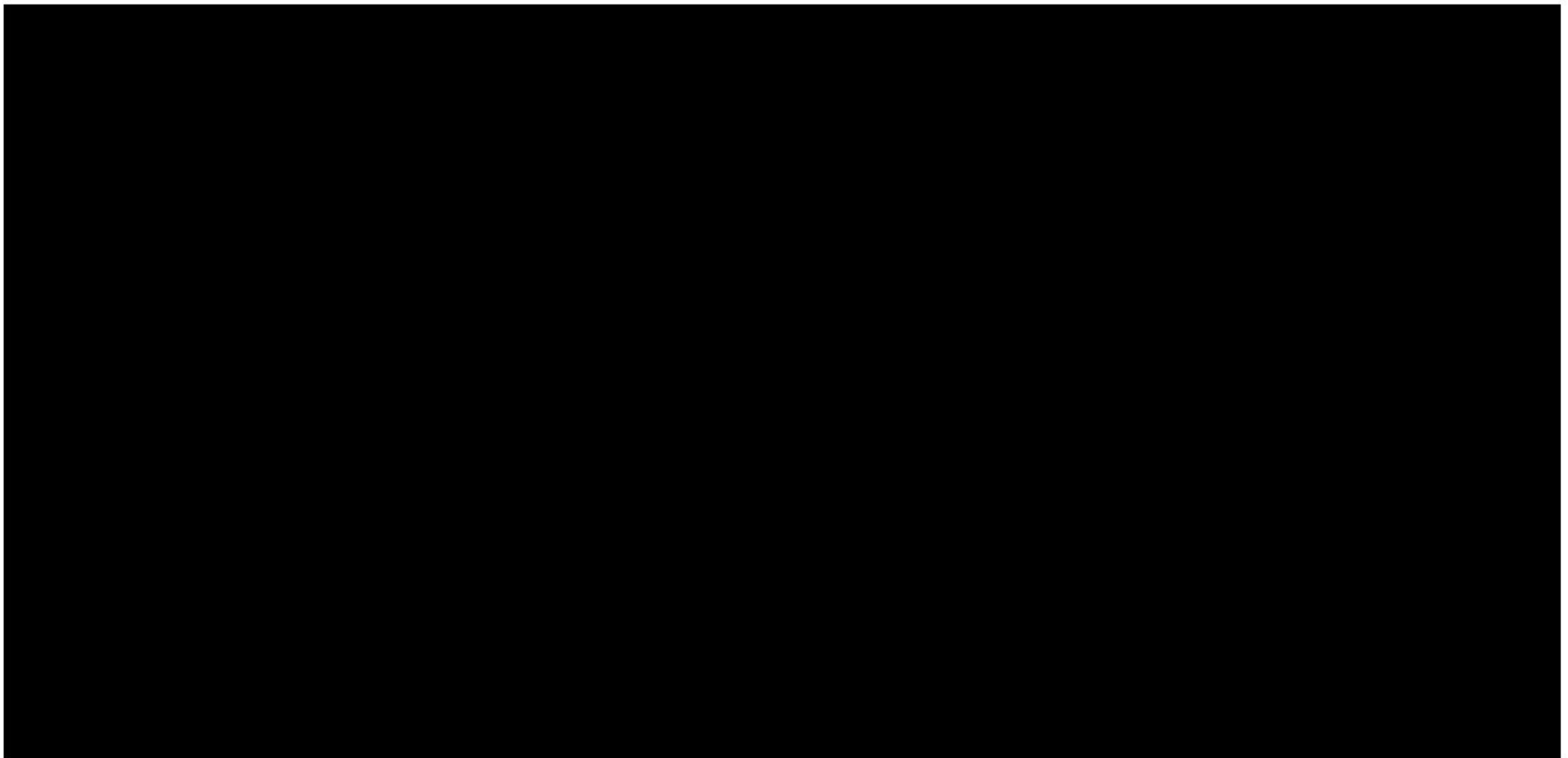
Fig 2 Above - Proposed Current Revised Front Elevation To 4 Deveron Avenue current second application 2019/0383/TP refused



We also attached the following information in support to the dormers and rear extensions and note styles similar to our proposed style of dormers, see **fig 4** below



Point 3 on the planning notes for refusal regarding the rear extension, This extension located to the rear cannot be seen from the street elevation and thus has no visual impact as such, we note that similar properties in the area have gable extensions to the rear, when actually viewed does not form this claim to would detract from character and design of the existing dwelling by virtue of its scale, see **fig 5** below which shows properties with similar extensions forming gable ends, note property next to No 4



We also note that planning appeal review appeal 20/2018/12 for 76 Evan Drive Giffnock was granted with similar rear gable extension with dormer see **fig 6** below



Fig 7 Extension now currently in progress for Evan Drive

Conclusion

In section 2.5 section 2 of East Renfrewshire Development plan it highlights equality of access to housing. The common problem being there is very limited access to modern affordable family dwellings in Giffnock, this being the reason so many applicants require to have to modernise their current house to accommodate a young growing family's modern living requirements, thus generally improving the quality of housing within the Giffnock area, no different to already and current ongoing extensions.

Given the history of the area which clearly shows similar extensions and dormers our proposals are no different to what already exists in the area, they do not detract from the character and design of the property, the rear gable elevation enhances the rear allowing the property to adopt to current living needs. Given the fact that 76 Evan drive has also been success in appeal we see that this application should be treated in a similar way. We have attempted to address the concerns on the last rejected planning application 2018/0714/TP by modifying the design slightly to reduce impact and massing by forming part hipped roof to rear as per **Fig 9** below



Rear Elevation As Proposed

Fig 8 Above - Proposed Previous Reart Elevation To 4 Deveron Avenue original application 2018/0714/TP refused



Rear Elevation As Proposed

Fig 9 Above - Proposed Current Rear Elevation To 4 Deveron Avenue current second application 2019/0383/TP refused

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PLANS/PHOTOGRAPHS/DRAWINGS

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The contractor will be held to have examined the site and checked all dimensions and levels before commencing construction work. No assumption should be made without reference to the architect. No dimensions should be scaled from this drawing.

Revision	Date	By
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GENERAL

Drawings and areas are indicative only and are subject to a full measured site survey.

All materials to be installed fully in accordance with the manufacturers recommendations.

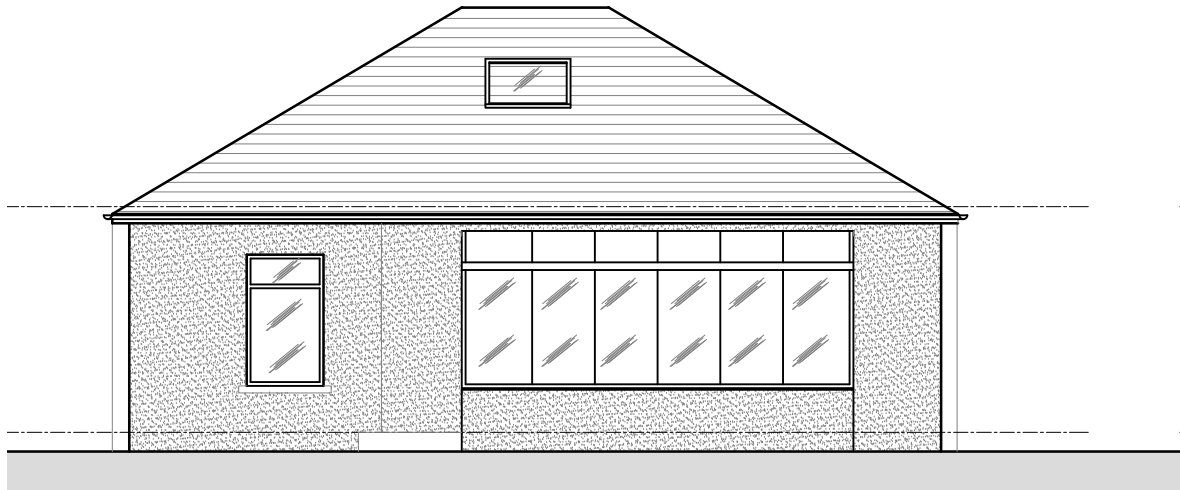
All construction to be carried out in accordance with all the relevant current Health and safety guidelines and regulations.

All works to comply with the latest building Scotland Regulations and to the satisfaction of Building Control

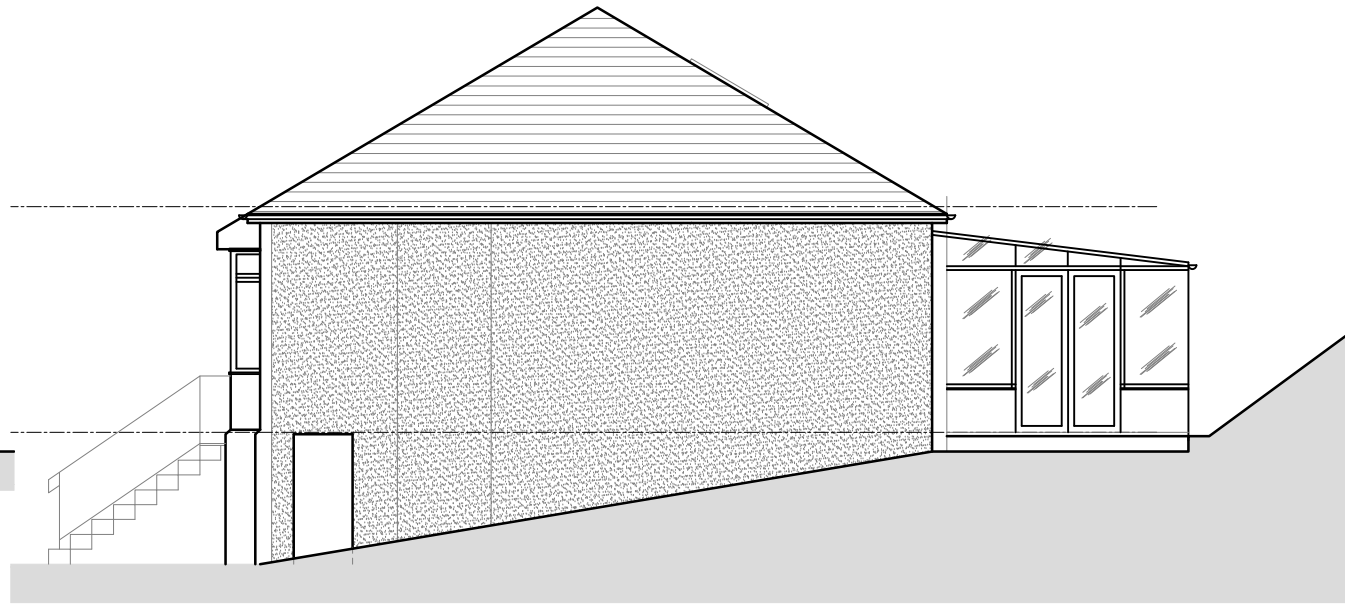
All electrical works to comply with the latest edition of the I.E.E Regulations

Do not scale drawing - Eaves level revised

June 2017



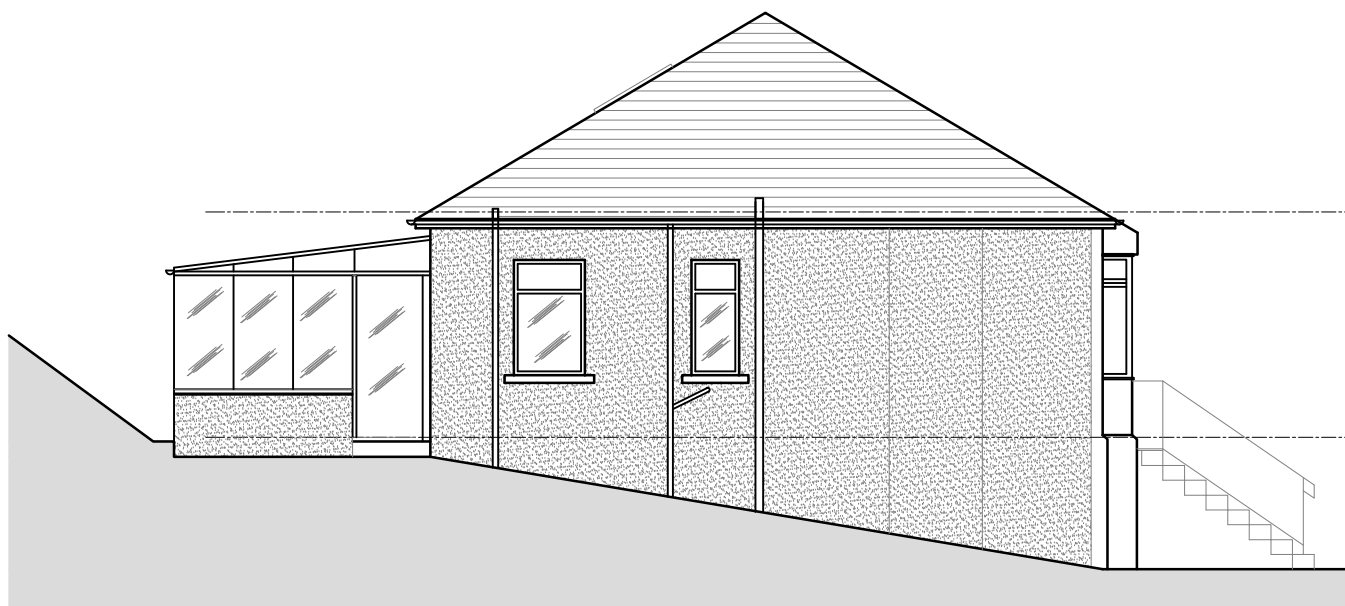
Rear Elevation As Existing



Gable Elevation As Existing



Front Elevation As Existing



Gable Elevation As Existing

Planning Approval

Client
Niall MacKinnon

Project Title
Proposed New Alterations To Property Forming New Attic and Rear Extension
4 Deveron Avenue, Giffnock
G46 6NH

Drawing Title
Elevations As Existing

A1 Architectural Design Ltd
Complete Bespoke Architectural Services

5 Cherrybank Walk, Airdrie
North Lanarkshire ML6 0HZ
Tel: 01236 769579
Mob: 07770611090
email: george@a1archdesign.co.uk

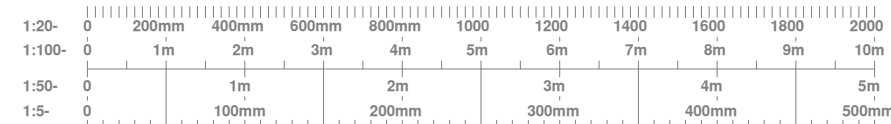
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Date
Sept 2019

Job No.
A1-420/18

Drawing No.
L (2-) 008

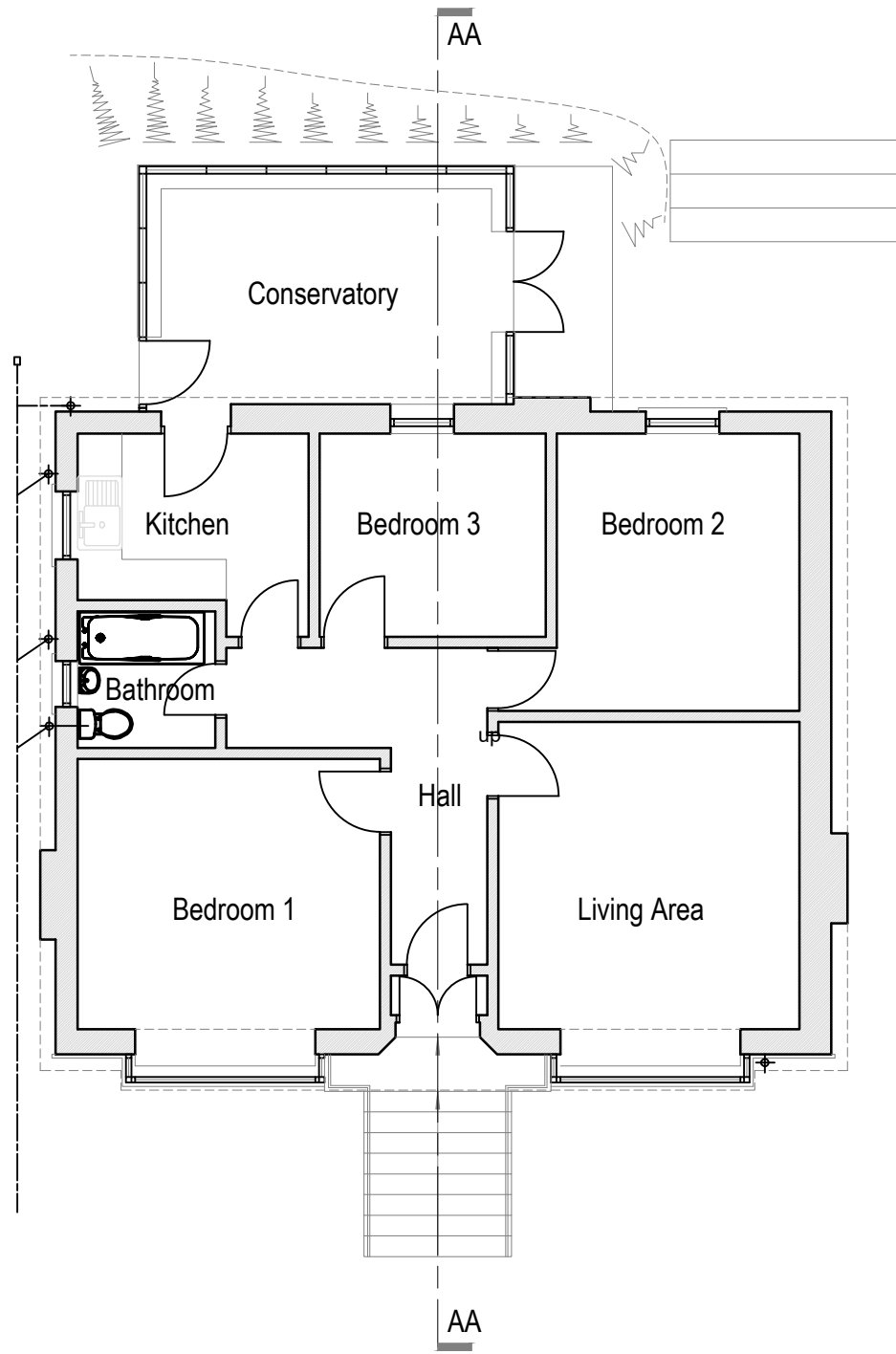
Rev.
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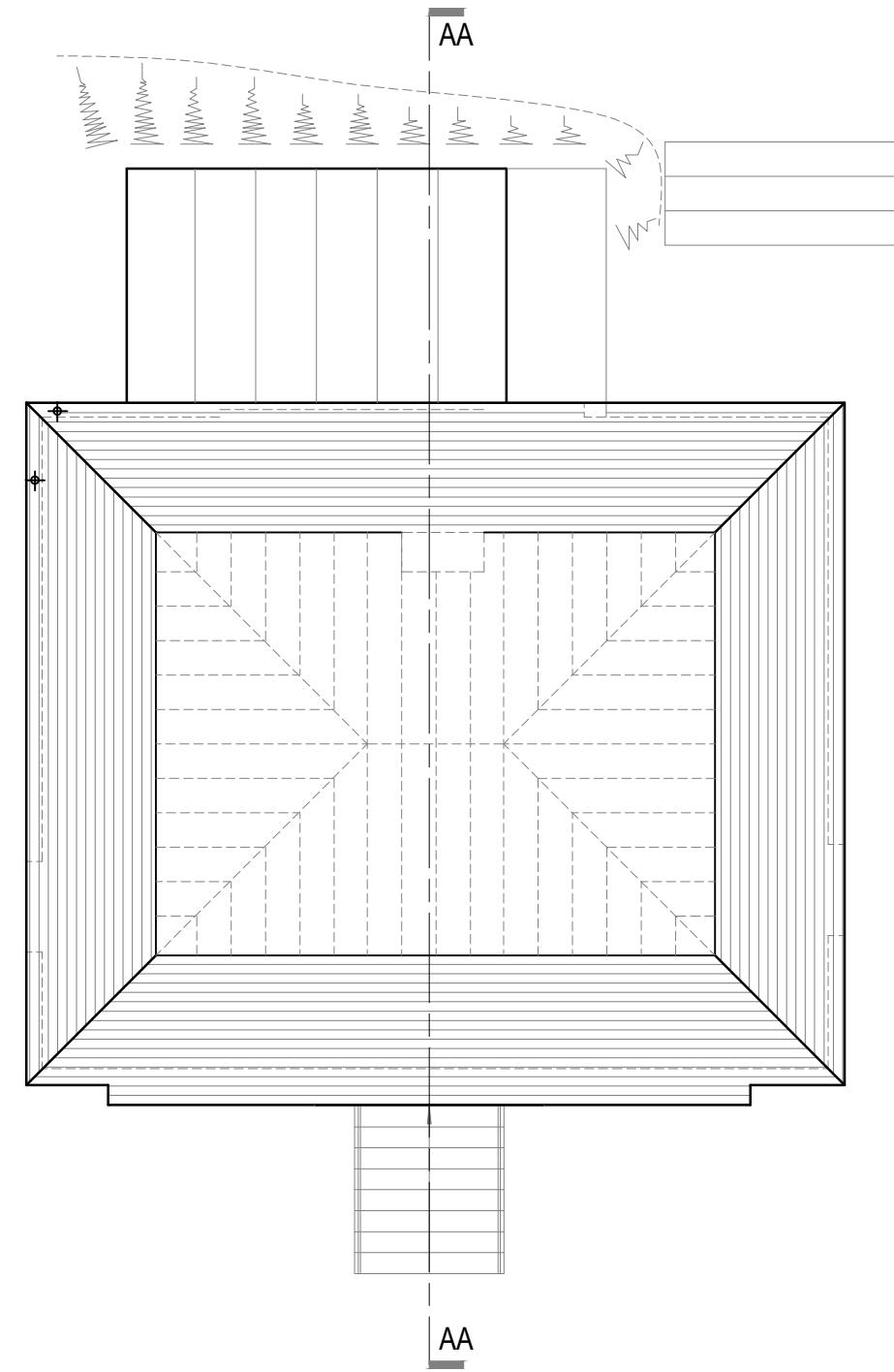
Important
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Revision	Date	By
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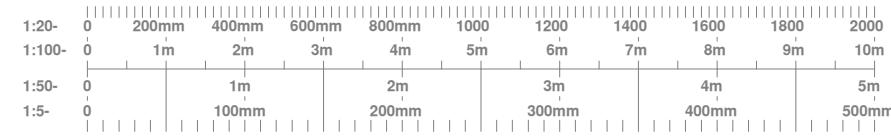
GENERAL
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 All works to comply with the latest building Scotland Regulations and to the satisfaction of Building Control
 All electrical works to comply with the latest edition of the I.E.E Regulations
 Drawing updated - Eaves level revised
 Do not scale drawing June 2017



Ground Floor Plan As Existing



Attic Floor Plan As Existing



scale @ A3

Planning Approval

Client
 Niall MacKinnon

Project Title
 Proposed New Alterations To Property Forming New Attic and Rear Extension
 4 Deveron Avenue, Giffnock
 G46 6NH

Drawing Title
 Ground Floor & Attic Plan As Existing

A1 Architectural Design Ltd
 Complete Bespoke Architectural Services

5 Cherrybank Walk, Airdrie
 North Lanarkshire ML6 0HZ
 Tel: 01236 769579
 Mob: 07770611090
 email: george@a1archdesign.co.uk

Scale
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Date
 Sept 2019

Job No.
 A1-420/18

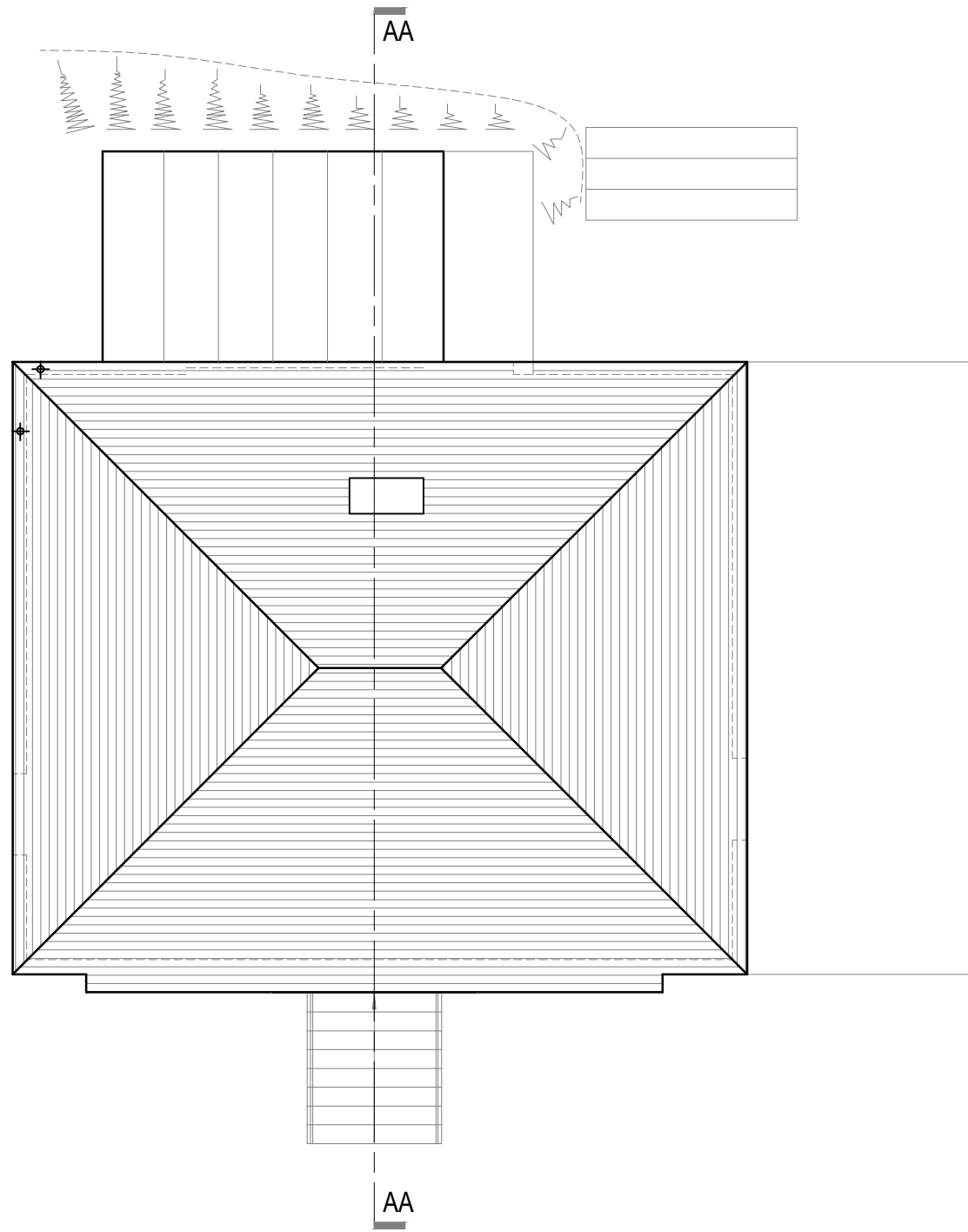
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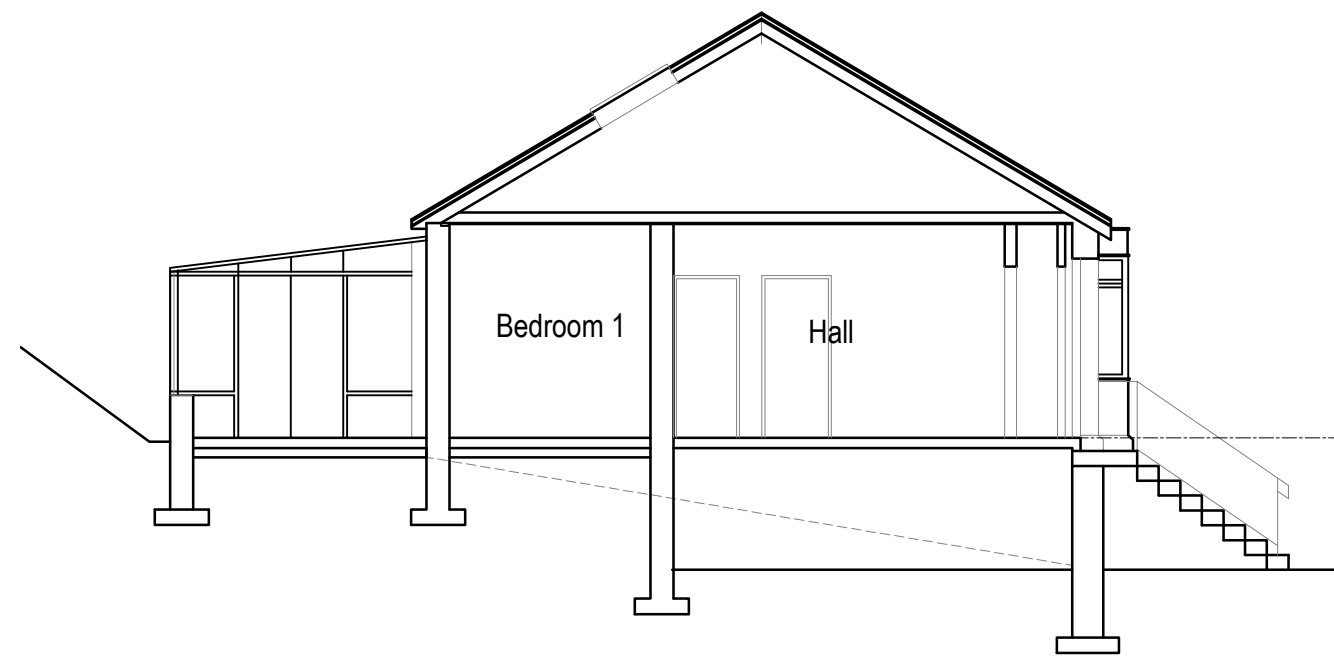
Important
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Revision	Date	By
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 All electrical works to comply with the latest edition of the I.E.E Regulations
 Drawing updated - Eaves level revised
 Do not scale drawing. June 2017



Roof Plan As Existing



Section AA As Existing

Planning Approval

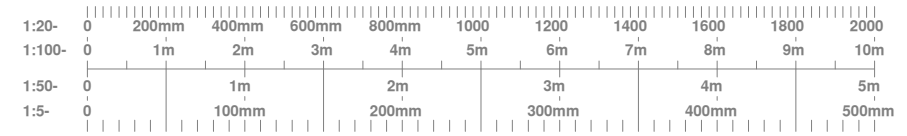
Client
 Niall MacKinnon

Project Title
 Proposed New Alterations To Property Forming New Attic and Rear Extension
 4 Deveron Avenue, Giffnock
 G46 6NH

Drawing Title
 Roof Plan & Section AA As Existing

A1 Architectural Design Ltd
 Complete Bespoke Architectural Services

5 Cherrybank Walk, Airdrie
 North Lanarkshire ML6 0HZ
 Tel: 01236 769579
 Mob: 07770611090
 email: george@a1archdesign.co.uk



scale @ A3

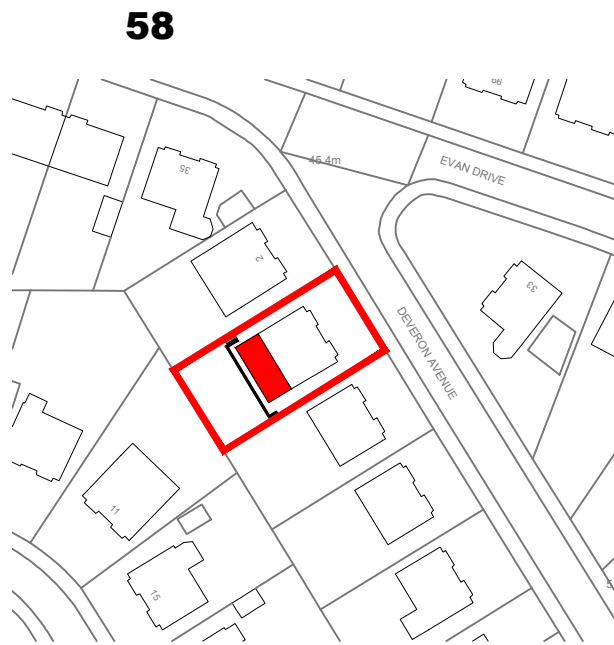
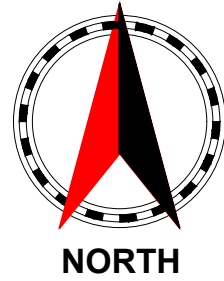
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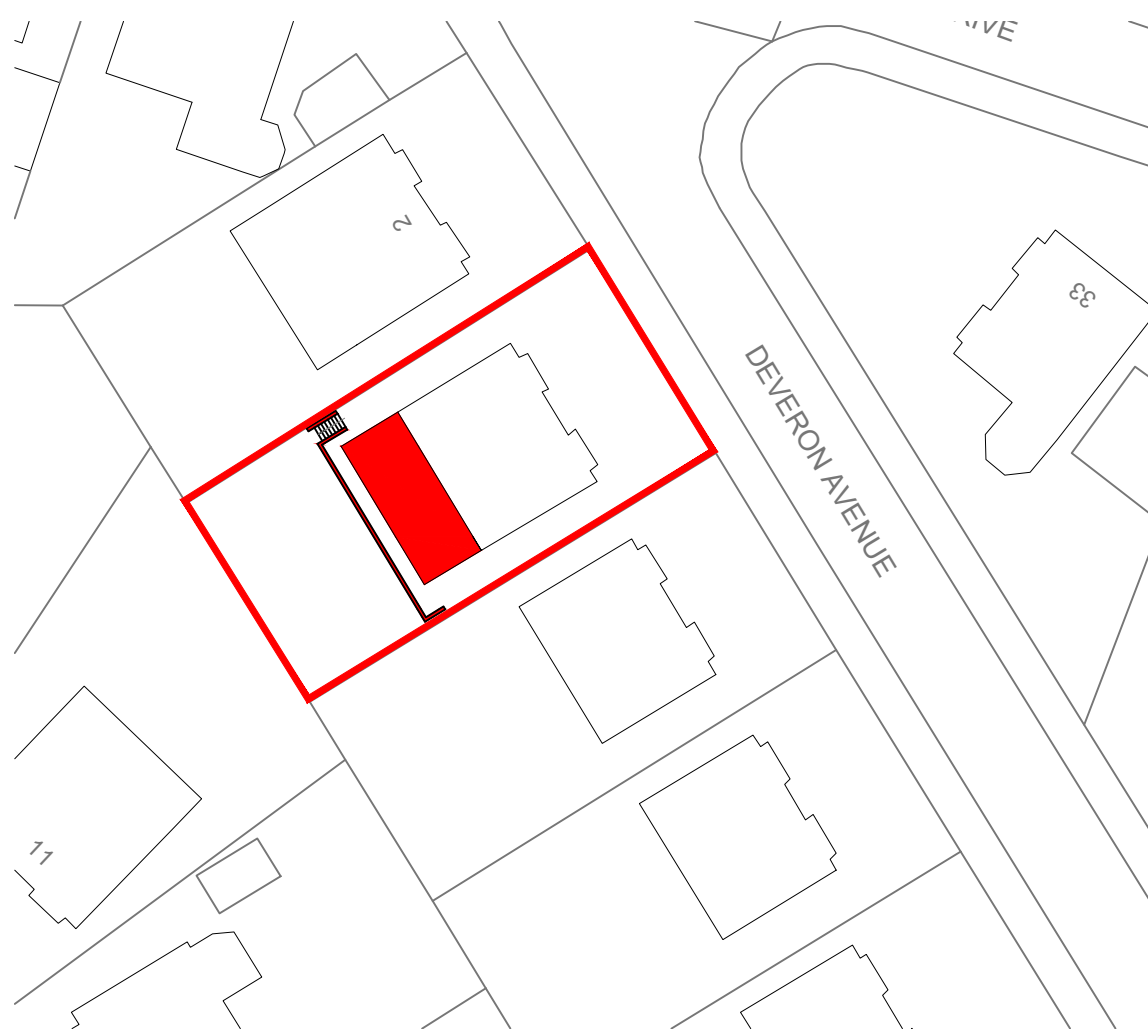
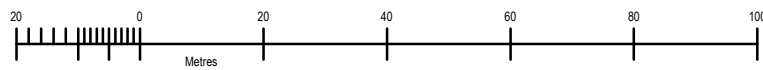
Job No. A1-420/18	Drawing No. L (2-) 003	Rev. -
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Location Plan Existing 1:1250



Location Plan Proposed 1:1250



Block Plan 1:500



scale @ A3

Important

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Revision	Date	By
A Retaining Wall Added	Nov 2018	

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All electrical works to comply with the latest edition of the I.E.E Regulations

Do not scale drawing.

Planning Approval

Client
Niall MacKinnon

Project Title
Proposed New Alterations To Property Forming New Attic and Rear Extension
4 Deveron Avenue, Giffnock
G46 6NH

Drawing Title
Site Location & Block Plan

5 Cherrybank Walk, Airdrie
North Lanarkshire ML6 0HZ
Tel: 01236 769579
Mob: 07770611090
email: george@a1archdesign.co.uk

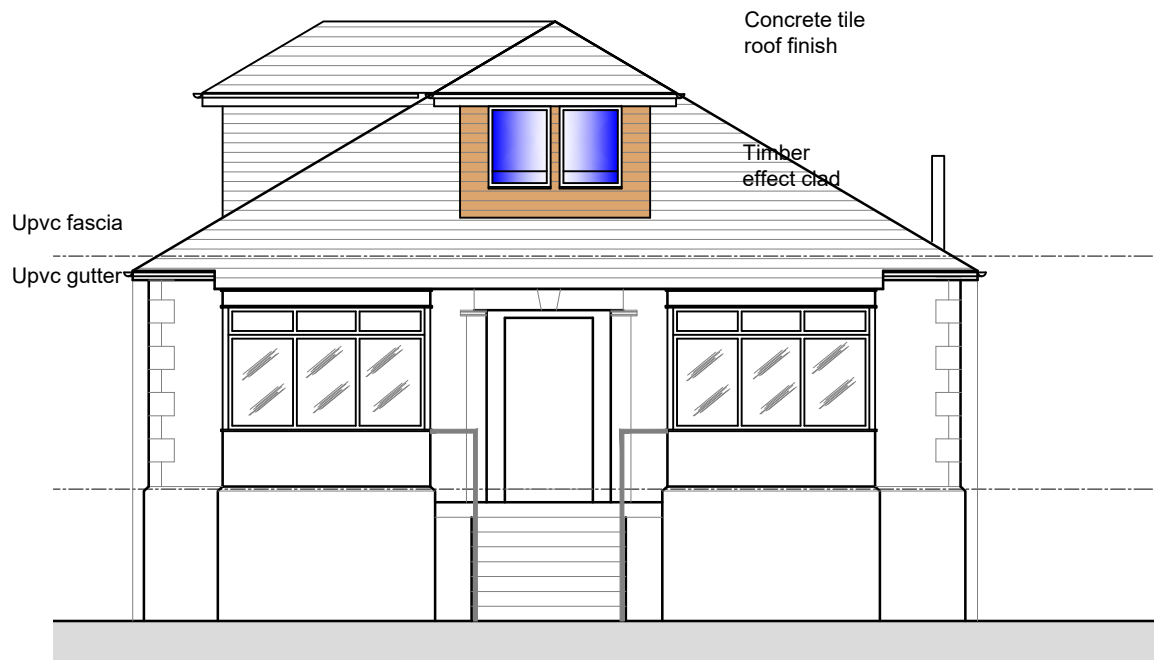
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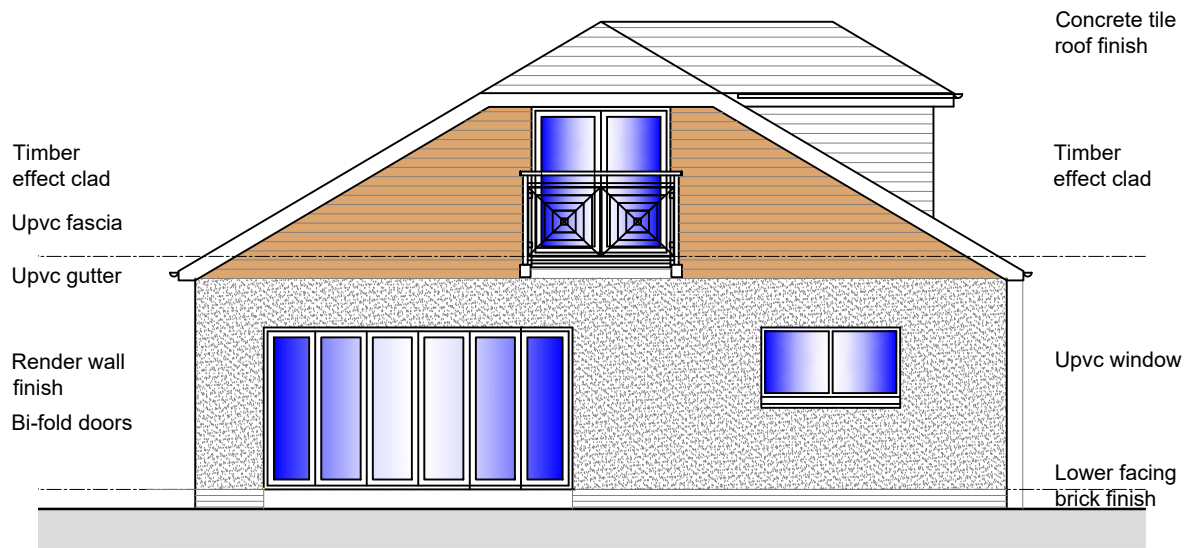
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Revision	Date	By
Elevations revised	June 2019	

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All electrical works to comply with the latest edition of the I.E.E Regulations
Drawing updated - Eaves level revised June 2017



Front Elevation As Proposed



Rear Elevation As Proposed

External Finishes Specification

EXTERNAL WALLS TO NEW EXTENSION:
New external white rendered lower finished to walls to match existing house with timber effect cladding to gable and dormer walls

ROOF :
Existing roof to be retained with new dark grey concrete roof tiles on timber attic truss roof
Roof pitch as existing°

Dormers :
New dormers to be formed in new roof and finished to main roof, dormer cheeks to have timber effect wall finish to match rear upper wall
Roof pitch 33°

NEW WINDOWS / DOORS:
Upvc white windows / doors to match style of existing upvc windows. Rear bi-Fold door aluminium

RWP / GUTTERS
Black upvc rwp and gutters

FASCIA'S:
New white upvc fascia's and soffits with upvc dry verge system to rear

DRAINAGE
New extension drain connected into existing drainage

Planning Approval

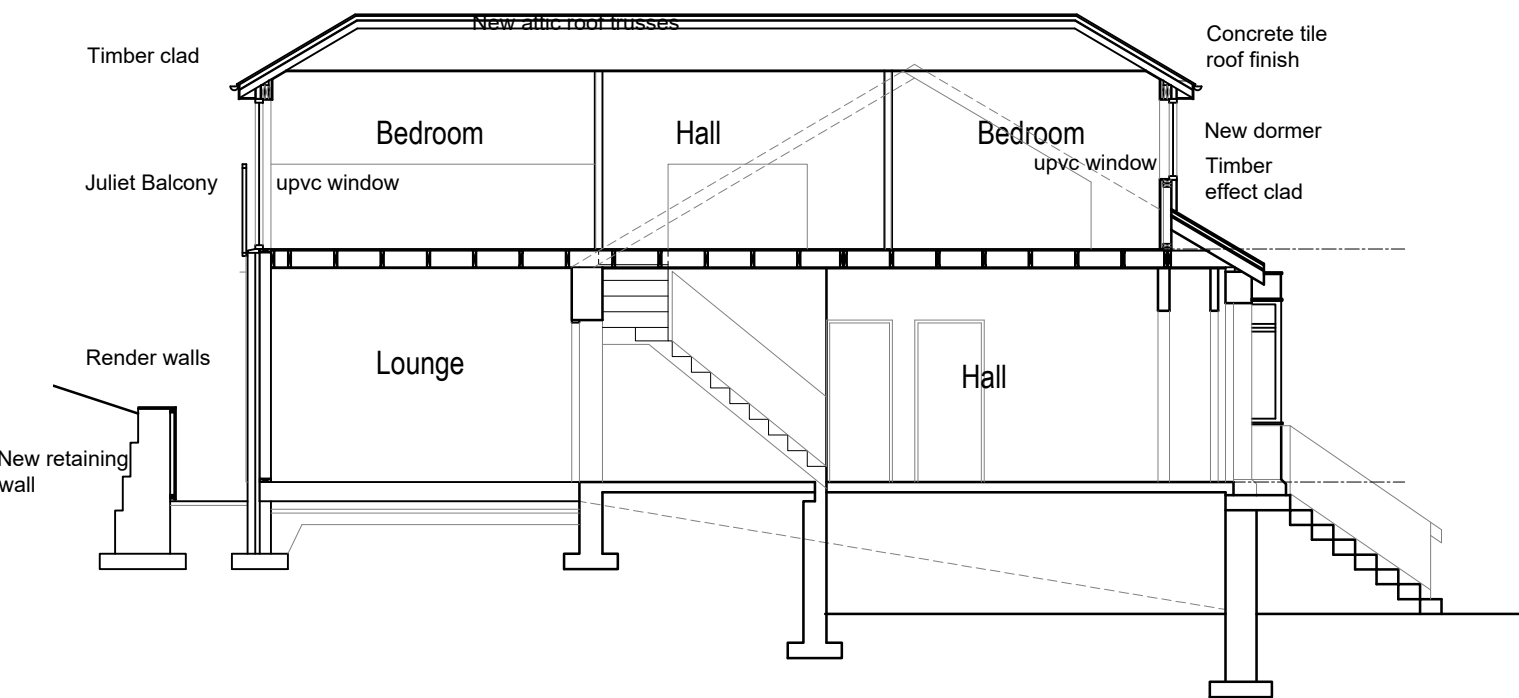
Client
Niall MacKinnon

Project Title
Proposed New Alterations To Property Forming New Attic and Rear Extension
4 Deveron Avenue, Giffnock
G46 6NH

Drawing Title
Front & Rear Elevations As Proposed

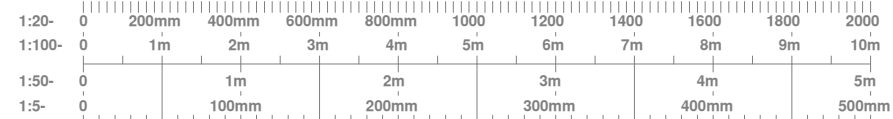
A1 Architectural Design Ltd
Complete Bespoke Architectural Services

5 Cherrybank Walk, Airdrie
North Lanarkshire ML6 0HZ
Tel: 01236 769579
Mob: 07770611090
email: george@a1archdesign.co.uk



Section AA As Proposed

scale @ A3



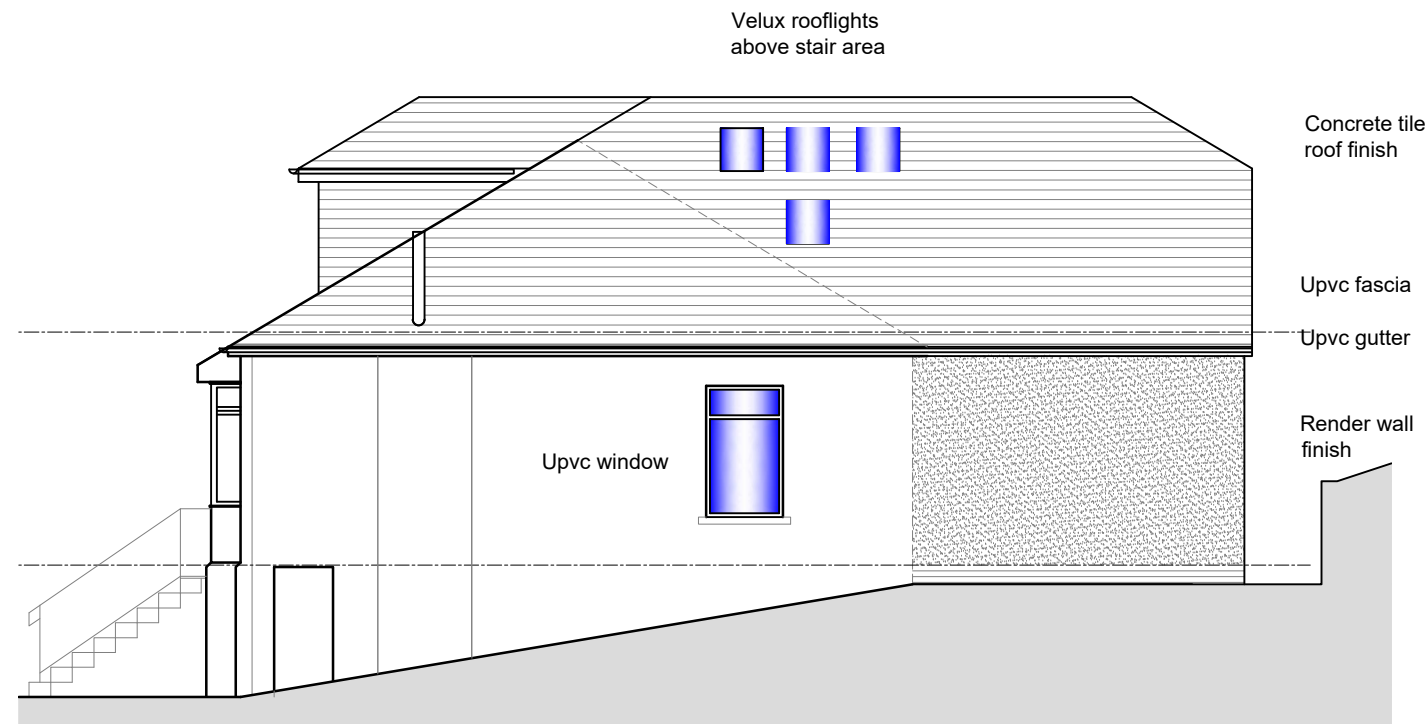
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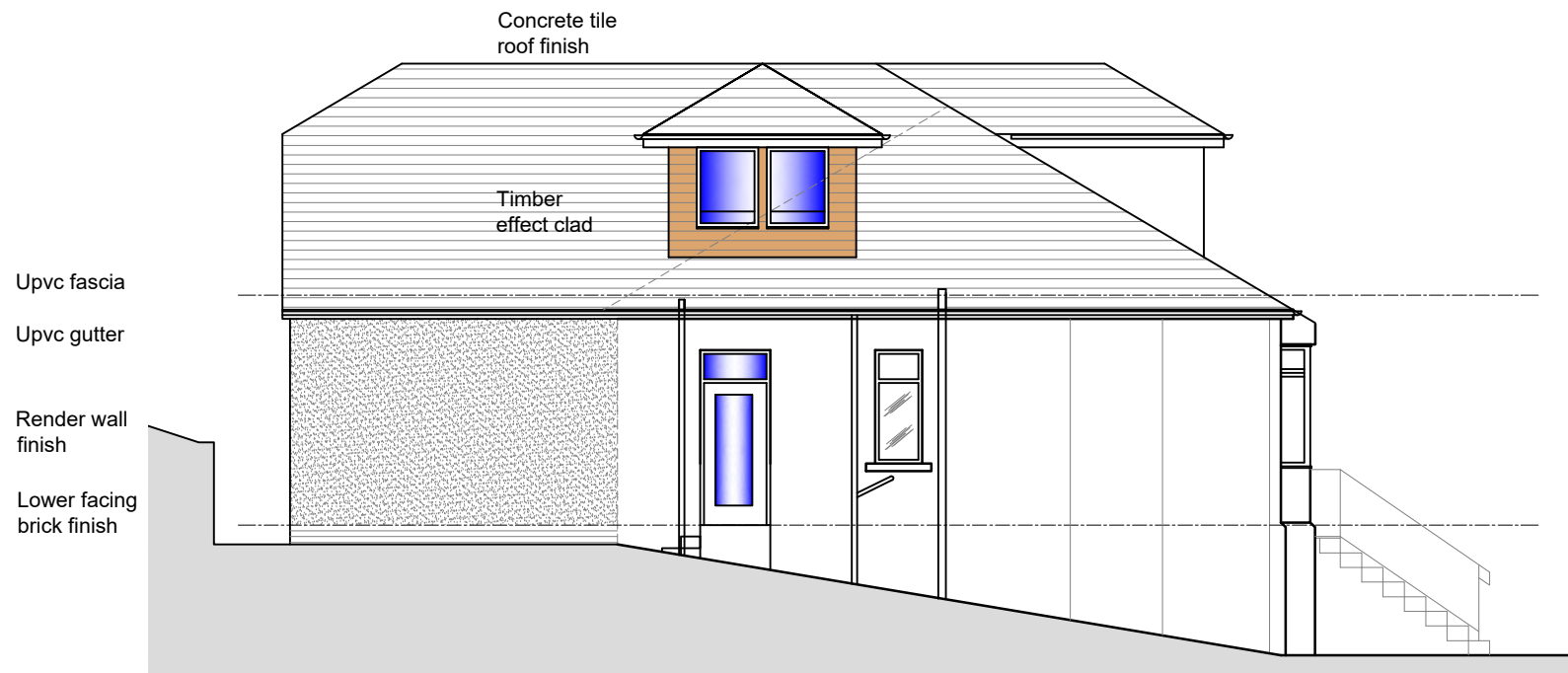
Job No.
A1-420/18

Drawing No.
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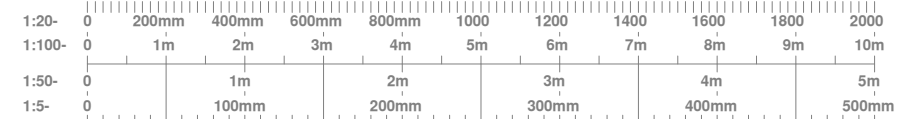
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A



Gable Elevation As Proposed



Gable Elevation As Proposed



scale @ A3

Important

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Revision	Date	By
Elevations revised	June 2019	

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Drawings updated - Eaves level revised June 2017

External Finishes Specification

EXTERNAL WALLS TO NEW EXTENSION:

New external white rendered lower finished to walls to match existing house with timber effect cladding to gable and dormer walls

ROOF :

Existing roof to be retained with new dark grey concrete roof tiles on timber attic truss roof Roof pitch as existing°

Dormers :

New dormers to be formed in new roof and finished to main roof, dormer cheeks to have timber effect wall finish to match rear upper wall Roof pitch 33°

NEW WINDOWS / DOORS:

Upvc white windows / doors to match style of existing upvc windows. Rear bi-Fold door aluminium

RWP / GUTTERS

Black upvc rwp and gutters

FASCIA'S:

New white upvc fascia's and soffits with upvc dry verge system to rear

DRAINAGE

New extension drain connected into existing drainage

Planning Approval

Client
Niall MacKinnon

Project Title
Proposed New Alterations To Property Forming New Attic and Rear Extension
4 Deveron Avenue, Giffnock
G46 6NH

Drawing Title
Gable Elevations As Proposed

A1 Architectural Design Ltd
Complete Bespoke Architectural Services

5 Cherrybank Walk, Airdrie
North Lanarkshire ML6 0HZ
Tel: 01236 769579
Mob: 07770611090
email: george@a1archdesign.co.uk

Scale
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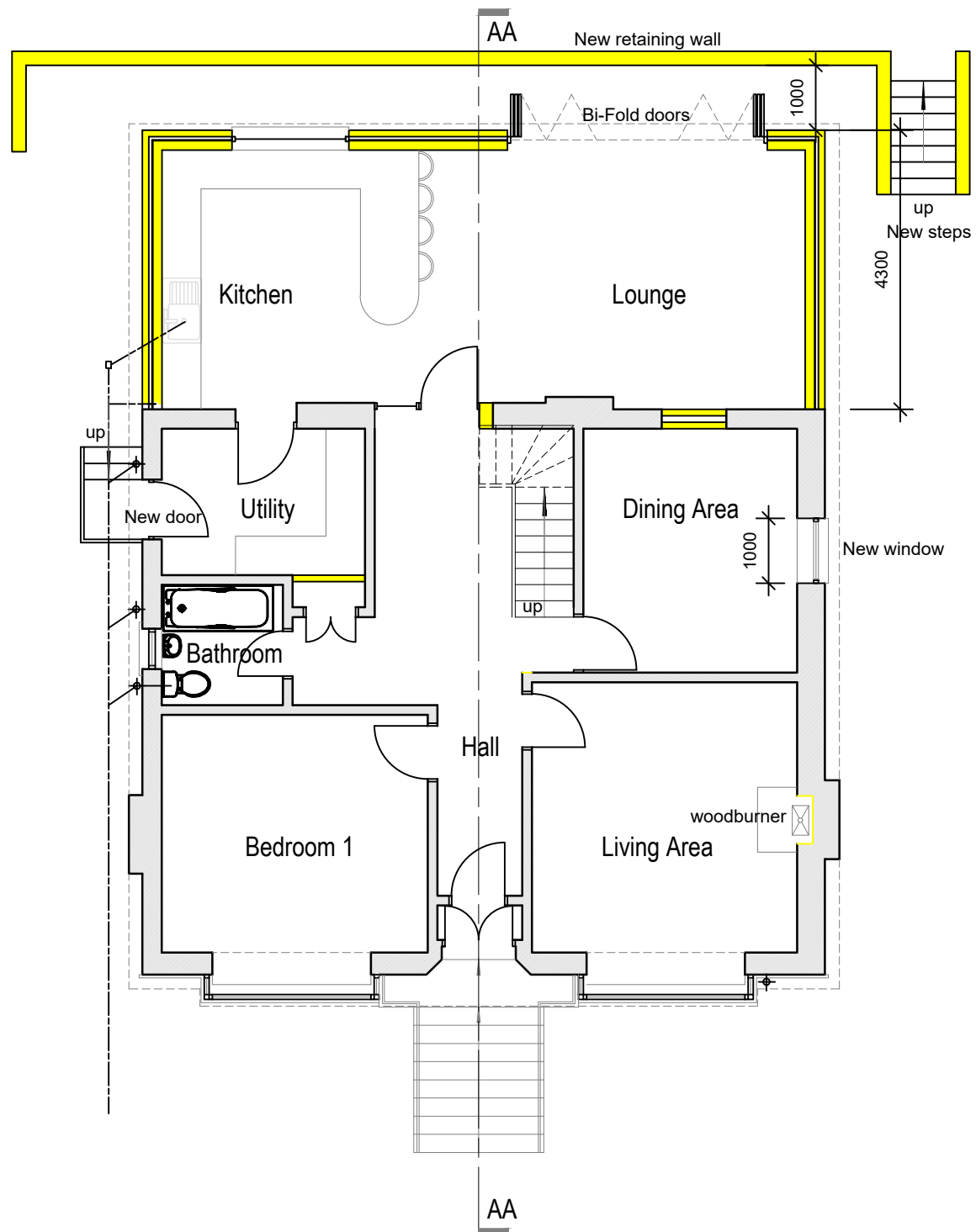
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Sept 2019

Job No.
A1-420/18

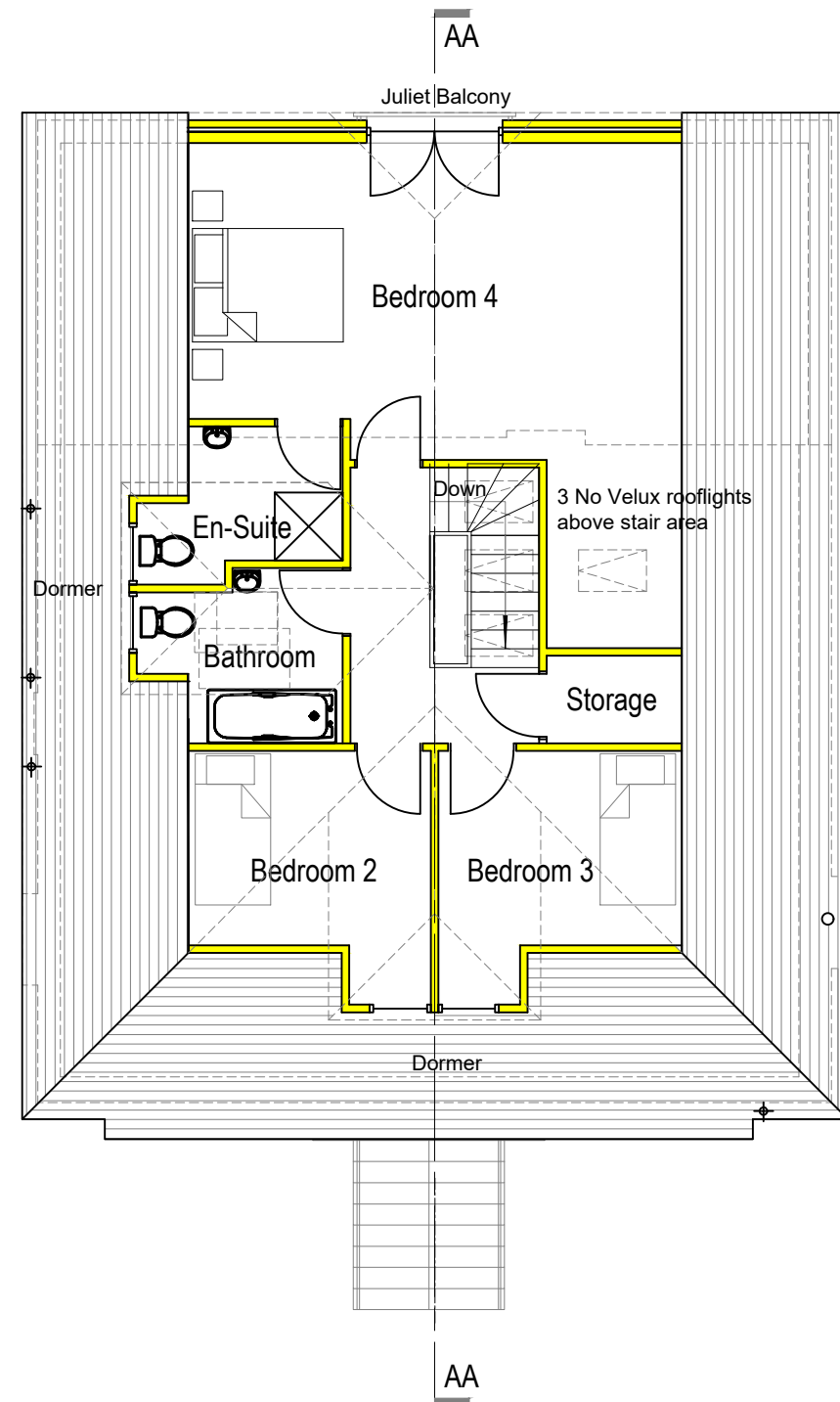
Drawing No.
L (2-) 007

Rev.
A

Important	
The contractor will be held to have examined the site and checked all dimensions and levels before commencing construction work. No assumption should be made without reference to the architect. No dimensions should be scaled from this drawing.	
Revision	Date By
B Attic plan revised	June 2019
GENERAL	
Drawings and areas are indicative only and are subject to a full measured site survey.	
All materials to be installed fully in accordance with the manufacturers recommendations.	
All construction to be carried out in accordance with all the relevant current Health and safety guidelines and regulations.	
All works to comply with the latest building Scotland Regulations and to the satisfaction of Building Control	
All electrical works to comply with the latest edition of the I.E.E Regulations	
A Drawing updated - Eaves level revised	June 2017



Ground Floor Plan As Proposed



Attic Floor Plan As Proposed

External Finishes Specification

EXTERNAL WALLS TO NEW EXTENSION:
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Planning Approval

Client
Niall MacKinnon

Project Title
Proposed New Alterations To Property Forming New Attic and Rear Extension
4 Deveron Avenue, Giffnock
G46 6NH

Drawing Title
Ground & Attic Plan As Proposed

A1 Architectural Design Ltd
Complete Bespoke Architectural Services

5 Cherrybank Walk, Airdrie
North Lanarkshire ML6 0HZ

Tel: 01236 769579
Mob: 07770611090
email: george@a1archdesign.co.uk

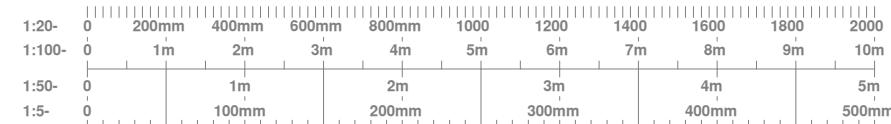
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Sept 2019

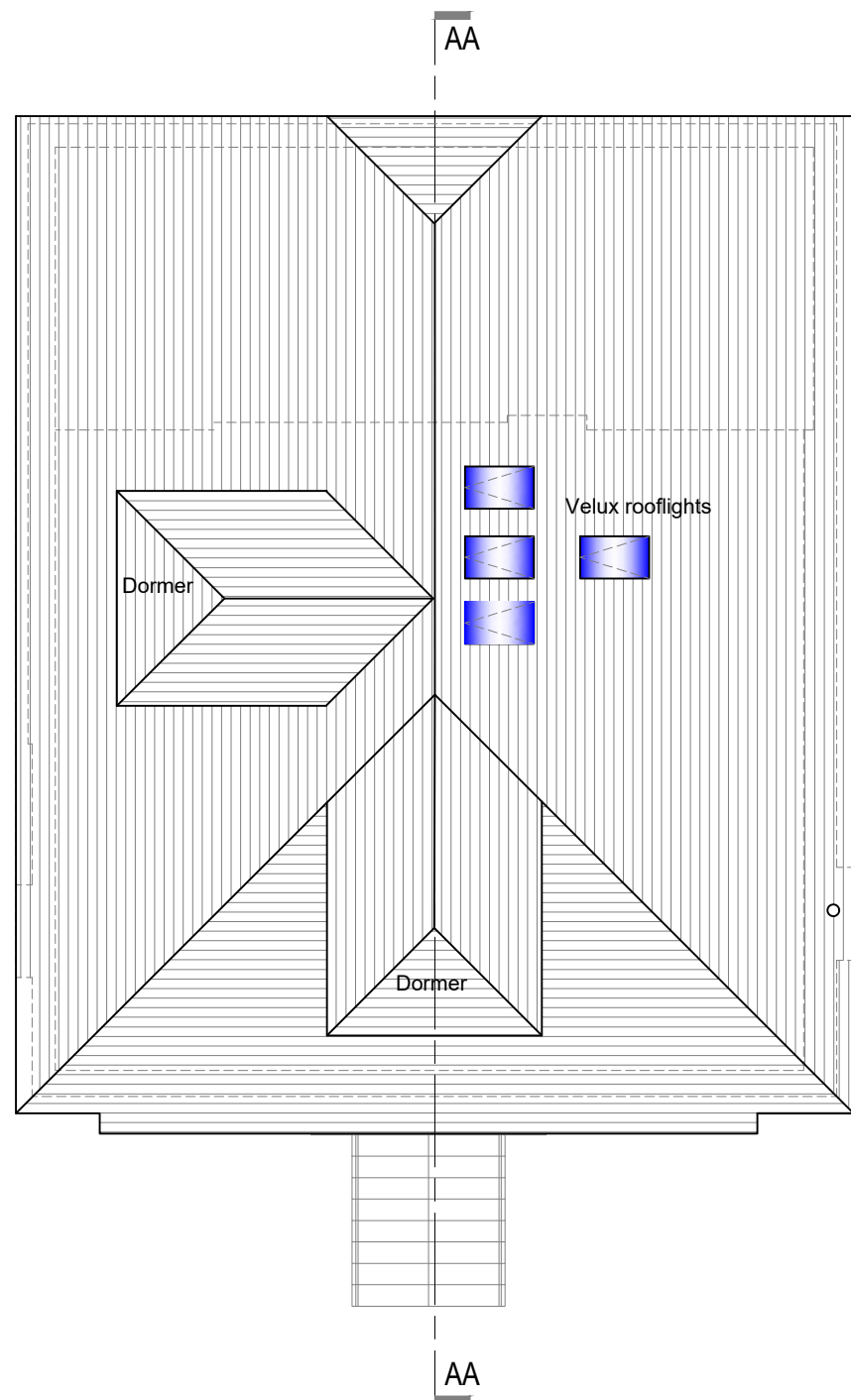
Job No.
A1-420/18

Drawing No.
L (2-) 004

Rev.
B

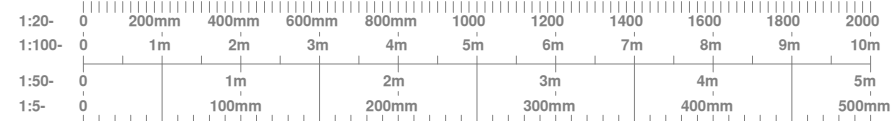


scale @ A3



Roof Plan As Proposed

scale @ A3



Important		
The contractor will be held to have examined the site and checked all dimensions and levels before commencing construction work. No assumption should be made without reference to the architect. No dimensions should be scaled from this drawing.		
Revision	Date	By
A Roof plan revised	June 2019	
GENERAL		
Drawings and areas are indicative only and are subject to a full measured site survey.		
All materials to be installed fully in accordance with the manufacturers recommendations.		
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Planning Approval

Client
Niall MacKinnon

Project Title
Proposed New Alterations To Property Forming New Attic and Rear Extension
4 Deveron Avenue, Giffnock
G46 6NH

Drawing Title
Roof Plan As Proposed

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North Lanarkshire ML6 0HZ
Tel: 01236 769579
Mob: 07770611090
email: george@a1archdesign.co.uk

Scale 1:100	Date Sept 2019
Job No. A1-420/18	Drawing No. L (2-) 005
Rev. A	