

EAST RENFREWSHIRE COUNCIL

LOCAL REVIEW BODY

1 September 2021

Report by Deputy Chief Executive

REVIEW OF CASE - REVIEW/2021/07

ERECTION OF CYCLE HUB/HIRE CENTRE INCORPORATING CAFE WITH FORMATION OF CAR PARK; ERECTION OF 8 BOTHY BUILDINGS AT REAR; ERECTION OF WASH BLOCK BUILDING; CHANGE OF USE AND ALTERATIONS TO DWELLINGHOUSE TO FORM HOLIDAY LETTING APARTMENTS AT RED HOUSE, 438 AYR ROAD, LOGANSWELL, EAST RENFREWSHIRE, G77 6RY.

PURPOSE OF REPORT

1. The purpose of the report is to present the information currently available to allow a review of the decision taken by officers, in terms of the Scheme of Delegation made in terms of Section 43A of the Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 in respect of the appeal against Condition 1 of the planning permission granted for application 2020/0202/TP.

DETAILS OF APPLICATION

2. Application type: Full Planning Permission (Ref No:- 2020/0202/TP).
- Applicant: Mr Kenny Neison
- Proposal: Erection of cycle hub/hire centre incorporating cafe with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; change of use and alterations to dwellinghouse to form holiday letting apartments.
- Location: Red House, 438 Ayr Road, Loganswell, East Renfrewshire, G77 6RY.
- Council Area/Ward: Newton Mearns South And Eaglesham (Ward 5).

REASON FOR REQUESTING REVIEW

3. The applicant has requested a review against Condition 1 of the planning permission granted for application 2020/0202/TP.

RECOMMENDATIONS

4. The Local Review Body is asked to:-
- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-

- (i) it proceeds to determine whether the decision taken in respect of the application under review should be upheld or varied; and
 - (ii) in the event that the decision is varied, the reasons and the detailed conditions to be attached to the decision letter are agreed; or
- (b) that in the event that further procedure is required to allow it to determine the review, consider:-
- (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

BACKGROUND

5. At the meeting of the Council on 29 April 2009, consideration was given to a report by the Director of Environment seeking the adoption of a new Scheme of Delegation in terms of the new Section 43A of the Town and Country Planning (Scotland) Act 1997, subject to approval of the scheme by Scottish Ministers.

6. The report provided details of the new hierarchy of developments that took effect from 6 April 2009 explaining that the Scheme of Delegation related to those applications within the “local development” category as set out in the Town and Country Planning (Hierarchy of Development) (Scotland) Regulations 2009, but would in future be determined by an “appointed officer”. In the Council’s case this would be either the Director of Environment or the Head of Roads, Planning and Transportation Service now designated the Head of Environment (Operations).

7. The report highlighted that historically appeals against planning decisions were dealt with by Scottish Ministers. However, following the introduction of the new planning provisions which came into effect on 3 August 2009 all appeals against decisions made in respect of local developments under delegated powers would be heard by a Local Review Body. The Local Review Body would also deal with cases where the appointed officer had failed to determine an application within two months from the date it was lodged.

NOTICE OF REVIEW – STATEMENT OF REASONS FOR REQUIRING THE REVIEW

8. The applicant in submitting the review has stated the reasons for requiring a review against Condition 1 of the planning permission granted for application 2020/0202/TP. A copy of the applicant’s Notice of Review and Statement of Reasons is attached as Appendix 6.

9. The applicant is entitled to state a preference for the procedure (or combination of procedures) to be followed by the Local Review Body in the determination of the review and has detailed in their opinion that this review can continue to conclusion based on the assessment of the review documents only, with no further procedure.

10. The Local Review Body is not bound to accede to the applicant’s request as to how it will determine the review and will itself decide what procedure will be used in this regard.

11. At the meeting of the Local Review Body on 10 August 2016, it was decided that the Local Review Body would carry out unaccompanied site inspections for every review case it received prior to the cases being given initial consideration at a meeting of the Local Review Body.

12. In accordance with the above decision, the Local Review Body will carry out an unaccompanied site inspection on Wednesday, 1 September 2021 before the meeting of the Local Review Body which begins at 2.30pm.

INFORMATION AVAILABLE TO ALLOW REVIEW OF APPLICATION

13. Section 43B of the Planning etc (Scotland) Act 2006 restricts the ability of parties to introduce new material at the review stage. The Local Review Body is advised that the focus of the review should, therefore, be on the material which was before the officer who dealt with the application under the Scheme of Delegation.

14. The information detailed below is appended to this report to assist the Local Review Body in carrying out the review of the decision taken by the Appointed Officer:-

- (a) Application for planning permission – Appendix 1 (Pages 7 - 16);
- (b) Consultation responses – Appendix 2 (Pages 17 - 46);
- (c) Copies of Objections/Representations – Appendix 3 (Pages 47 - 60);
- (d) Report of Handling by the planning officer under the Scheme of Delegation – Appendix 4 (Pages 61 - 78);
- (e) Decision notice and reasons for refusal – Appendix 5 (Pages 79 - 88); and
- (e) A copy of the applicant's Notice of Review and Statement of Reasons – Appendix 6 (Pages 89 - 320).

15. The applicant has also submitted the drawings listed below and these are attached as Appendix 7 (Pages 329 - 364).

16. The applicant has also submitted the design and access statement and this report is included within Appendix 6 (Pages 89 - 320).

17. The Local Review Body is advised that initial consultation responses and representations received if any, relating to the application will be listed in the planning officer's Report of Handling and are also included as Appendix 2 and Appendix 3 respectively.

18. All the documents referred to in this report can be viewed online on the Council's website at www.eastrenfrewshire.gov.uk.

RECOMMENDATIONS

19. The Local Review Body is asked to:-

- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
 - (i) it proceeds to determine whether the decisions taken in respect of the application under review should be upheld or varied; and
 - (ii) in the event that the decision is varied, the reasons and the detailed conditions to be attached to the decision letter are agreed; or
- (b) In the event that further procedure is required to allow it to determine the review, consider:-

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- (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
- (ii) what procedure or combination of procedures are to be followed in determining the review.

Report Author: Sharon McIntyre

Director - Caroline Innes, Deputy Chief Executive

Sharon McIntyre, Committee Services Officer
e-mail: sharon.mcintyre@eastrenfrewshire.gov.uk
Tel: 0141 577 3011

Date:- August 2021

APPLICATION FORM

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100246404-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Type of Application

What is this application for? Please select one of the following: *

- Application for planning permission (including changes of use and surface mineral working).
- Application for planning permission in principle.
- Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- Application for Approval of Matters specified in conditions.

Description of Proposal

Please describe the proposal including any change of use: * (Max 500 characters)

Erection of 8no. Bothies towards rear of Site (Class 7) Erection of Cycle Hub/Hire Centre (Class 1) and Cafe (Class 3) within new building on footprint of former Clan Building and Car Park. Refurbishment and extension of Redhouse into Holiday Let (Class 7). Existing Site Class is Class 9.

Is this a temporary permission? *

Yes No

If a change of use is to be included in the proposal has it already taken place?
(Answer 'No' if there is no change of use.) *

Yes No

Has the work already been started and/or completed? *

No Yes – Started Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	McGinlay Bell		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	Brian	Building Name:	Basement Suite 27
Last Name: *	McGinlay	Building Number:	50
Telephone Number: *	0141 202 0687	Address 1 (Street): *	Wellington Street
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	Glasgow
Fax Number:	<input type="text"/>	Country: *	United Kingdom
		Postcode: *	G2 6HJ
Email Address: *	info@mcginlaybell.com		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Mr	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	Kenny	Building Number:	27
Last Name: *	Neison	Address 1 (Street): *	Courthill Avenue
Company/Organisation	<input type="text"/>	Address 2:	Cathcart
Telephone Number: *	<input type="text"/>	Town/City: *	Glasgow
Extension Number:	<input type="text"/>	Country: *	Scotland
Mobile Number:	<input type="text"/>	Postcode: *	G44 5AA
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text"/>		

Site Address Details

Planning Authority:

East Renfrewshire Council

Full postal address of the site (including postcode where available):

Address 1:

RED HOUSE

Address 2:

438 AYR ROAD

Address 3:

LOGANSWELL

Address 4:

Address 5:

Town/City/Settlement:

GLASGOW

Post Code:

G77 6RY

Please identify/describe the location of the site or sites

Northing

652454

Easting

251534

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

Yes No

Pre-Application Discussion Details Cont.

In what format was the feedback given? *

Meeting Telephone Letter Email

Please provide a description of the feedback you were given and the name of the officer who provided this feedback. If a processing agreement [note 1] is currently in place or if you are currently discussing a processing agreement with the planning authority, please provide details of this. (This will help the authority to deal with this application more efficiently.) * (max 500 characters)

Telephone and emailed correspondence with Derek Scott. Advice relating to the Policies the application would be assessed against, initial feedback from Roads and Transportation.

Title:

Mr

Other title:

First Name:

Derek

Last Name:

Scott

Correspondence Reference Number:

PREAPP/2019/0376

Date (dd/mm/yyyy):

16/12/2019

Note 1. A Processing agreement involves setting out the key stages involved in determining a planning application, identifying what information is required and from whom and setting timescales for the delivery of various stages of the process.

Site Area

Please state the site area:

Please state the measurement type used:

Hectares (ha) Square Metres (sq.m)

Existing Use

Please describe the current or most recent use: * (Max 500 characters)

Access and Parking

Are you proposing a new altered vehicle access to or from a public road? *

Yes No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any change to public paths, public rights of way or affecting any public right of access? *

Yes No

If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?

How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *

Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).

Water Supply and Drainage Arrangements

Will your proposal require new or altered water supply or drainage arrangements? *

Yes No

Are you proposing to connect to the public drainage network (eg. to an existing sewer)? *

- Yes – connecting to public drainage network
 No – proposing to make private drainage arrangements
 Not Applicable – only arrangements for water supply required

Do your proposals make provision for sustainable drainage of surface water?? *
(e.g. SUDS arrangements) *

Yes No

Note:-

Please include details of SUDS arrangements on your plans

Selecting 'No' to the above question means that you could be in breach of Environmental legislation.

Are you proposing to connect to the public water supply network? *

- Yes
 No, using a private water supply
 No connection required

If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).

Assessment of Flood Risk

Is the site within an area of known risk of flooding? *

Yes No Don't Know

If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.

Do you think your proposal may increase the flood risk elsewhere? *

Yes No Don't Know

Trees

Are there any trees on or adjacent to the application site? *

Yes No

If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste (including recycling)? *

Yes No

If Yes or No, please provide further details: * (Max 500 characters)

Refer to 2018_019_L[--]002-Site Plan as Proposed. To rear of parking area.

Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? *

Yes No

All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? *

Yes No

All Types of Non Housing Development – Proposed New Floorspace Details

For planning permission in principle applications, if you are unaware of the exact proposed floorspace dimensions please provide an estimate where necessary and provide a fuller explanation in the 'Don't Know' text box below.

Please state the use type and proposed floorspace (or number of rooms if you are proposing a hotel or residential institution): *

Not in a Use Class

Gross (proposed) floorspace (In square meters, sq.m) or number of new (additional) Rooms (If class 7, 8 or 8a): *

382

If Class 1, please give details of internal floorspace:

Net trading spaces:

Non-trading space:

Total:

If Class 'Not in a use class' or 'Don't know' is selected, please give more details: (Max 500 characters)

Proposal consists of mixed use classes. Bothies - Class 7 Cycle Hub/Cafe - Class 1 and Class 3 Redhouse - Class 7 Total new proposed floor area 382m2 (GIA)

Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013) *

Yes No Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

Yes No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

Yes No

Is any of the land part of an agricultural holding? *

Yes No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: Brian McGinlay

On behalf of: Mr Kenny Neison

Date: 31/03/2020

Please tick here to certify this Certificate. *

Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? *

Yes No Not applicable to this application

b) If this is an application for planning permission or planning permission in principle where there is a crown interest in the land, have you provided a statement to that effect? *

Yes No Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? *

Yes No Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? *

Yes No Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? *

Yes No Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? *

Yes No Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- Site Layout Plan or Block plan.
- Elevations.
- Floor plans.
- Cross sections.
- Roof plan.
- Master Plan/Framework Plan.
- Landscape plan.
- Photographs and/or photomontages.
- Other.

If Other, please specify: * (Max 500 characters)

Provide copies of the following documents if applicable:

- | | |
|--|--|
| A copy of an Environmental Statement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Design Statement or Design and Access Statement. * | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A |
| A Flood Risk Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Drainage/SUDS layout. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Transport Assessment or Travel Plan | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Contaminated Land Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Habitat Survey. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Processing Agreement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |

Other Statements (please specify). (Max 500 characters)

Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mr Mark Bell
 Declaration Date: 31/03/2020

Payment Details



Created: 31/03/2020 18:34

CONSULTATION RESPONSES

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From:NATS Safeguarding
Sent:17 Apr 2020 12:09:17 +0100
To:EN Planning
Cc:NATS Safeguarding
Subject:RE: Consultation request 2020/0202/TP (SG29618)

Dear Sir/Madam

The proposed development has been examined from a technical safeguarding aspect and does not conflict with our safeguarding criteria. Accordingly, NATS (En Route) Public Limited Company ("NERL") has no safeguarding objection to the proposal.

However, please be aware that this response applies specifically to the above consultation and only reflects the position of NATS (that is responsible for the management of en route air traffic) based on the information supplied at the time of this application. This letter does not provide any indication of the position of any other party, whether they be an airport, airspace user or otherwise. It remains your responsibility to ensure that all the appropriate consultees are properly consulted.

If any changes are proposed to the information supplied to NATS in regard to this application which become the basis of a revised, amended or further application for approval, then as a statutory consultee NERL requires that it be further consulted on any such changes prior to any planning permission or any consent being granted.

Yours faithfully

NATS

NATS Safeguarding

E: natssafeguarding@nats.co.uk

4000 Parkway, Whiteley,
Fareham, Hants PO15 7FL
www.nats.co.uk



From: EN Planning <Planning@eastrenfrewshire.gov.uk>
Sent: 16 April 2020 17:27
To: NATS Safeguarding <NATSSafeguarding@nats.co.uk>
Subject: Consultation request 2020/0202/TP

Mimecast Attachment Protection has deemed this file to be safe, but always exercise caution when opening files.

Good Afternoon,

Please find attached consultation request.

Many Thanks

Development Management

This e-mail and any files transmitted with it are not necessarily the view of East Renfrewshire Council. It is intended only for the person or entity named above. If you have received this e-mail in error please notify the author by replying to this e-mail and then erasing the e-mail from your system. If you are not the intended recipient, you are hereby notified that any use, review, dissemination, distribution or copying of the e-mail is strictly prohibited.

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This footnote also confirms that this e-mail message has been swept for the presence of computer viruses.

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NATS computer systems may be monitored and communications carried on them recorded, to secure the effective operation of the system.

Please note that neither NATS nor the sender accepts any responsibility for viruses or any losses caused as a result of viruses and it is your responsibility to scan or otherwise check this email and any attachments.

NATS means NATS (En Route) plc (company number: 4129273), NATS (Services) Ltd (company number 4129270), NATSNAV Ltd (company number: 4164590) or NATS Ltd (company number 3155567) or NATS Holdings Ltd (company number 4138218). All companies are registered in England and their registered office is at 4000 Parkway, Whiteley, Fareham, Hampshire, PO15 7FL.

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Monday, 20 April 2020



Local Planner
2 Spiersbridge Way
Thornliebank
Glasgow
G46 8NG

Development Operations
The Bridge
Buchanan Gate Business Park
Cumbernauld Road
Steps
Glasgow
G33 6FB

Development Operations
Freephone Number - 0800 3890379
E-Mail - DevelopmentOperations@scottishwater.co.uk
www.scottishwater.co.uk

Dear Sir/Madam

SITE: Red House, 438 Ayr Road, Loganswell, G77 6RY

PLANNING REF: 2020/0202/TP

OUR REF: DSCAS-0008730-TF5

PROPOSAL: Erection of cycle hub/hire centre incorporating cafe with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; change of use and alterations to dwellinghouse to form holiday letting apartments Existing Site Class is Class 9

Please quote our reference in all future correspondence

[Audit of Proposal](#)

Scottish Water has no objection to this planning application; however, the applicant should be aware that this does not confirm that the proposed development can currently be serviced and would advise the following:

Water Capacity Assessment

Scottish Water has carried out a Capacity review and we can confirm the following:

- ▶ There is currently **sufficient** capacity in the Milngavie Water Treatment Works to service your development. However, please note that further investigations may be required to be carried out once a formal application has been submitted to us.

Waste Water Capacity Assessment

- ▶ Unfortunately, according to our records there is no public Scottish Water, Waste Water infrastructure within the vicinity of this proposed development therefore we would advise applicant to investigate private treatment options.



To find out more about connecting your

property to the water and waste water supply visit:



So, how are we doing?

We'd love to know what we're doing well or could do better. We promise we're listening, [click here](#) to tell us...



Please Note

- ▶ The applicant should be aware that we are unable to reserve capacity at our water and/or waste water treatment works for their proposed development. Once a formal connection application is submitted to Scottish Water after full planning permission has been granted, we will review the availability of capacity at that time and advise the applicant accordingly.

Surface Water

For reasons of sustainability and to protect our customers from potential future sewer flooding, Scottish Water will not accept any surface water connections into our combined sewer system.

There may be limited exceptional circumstances where we would allow such a connection for brownfield sites only, however this will require significant justification from the customer taking account of various factors including legal, physical, and technical challenges.

In order to avoid costs and delays where a surface water discharge to our combined sewer system is anticipated, the developer should contact Scottish Water at the earliest opportunity with strong evidence to support the intended drainage plan prior to making a connection request. We will assess this evidence in a robust manner and provide a decision that reflects the best option from environmental and customer perspectives.

General notes:

- ▶ Scottish Water asset plans can be obtained from our appointed asset plan providers:
 - ▶ Site Investigation Services (UK) Ltd
 - ▶ Tel: 0333 123 1223
 - ▶ Email: sw@sisplan.co.uk
 - ▶ www.sisplan.co.uk
- ▶ Scottish Water's current minimum level of service for water pressure is 1.0 bar or 10m head at the customer's boundary internal outlet. Any property which cannot be adequately serviced from the available pressure may require private pumping arrangements to be installed, subject to compliance with Water Byelaws. If the developer wishes to enquire about Scottish Water's procedure for checking the water pressure in the area, then they should write to the Customer Connections department at the above address.
- ▶ If the connection to the public sewer and/or water main requires to be laid through land out-with public ownership, the developer must provide evidence of formal approval from the affected landowner(s) by way of a deed of servitude.
- ▶ Scottish Water may only vest new water or waste water infrastructure which is to be laid through land out with public ownership where a Deed of Servitude has been obtained in our favour by the developer.



To find out more about connecting your

property to the water and waste water supply visit:



So, how are we doing?

We'd love to know what we're doing well or could do better. We promise we're listening, [click here](#) to tell us...



- ▶ The developer should also be aware that Scottish Water requires land title to the area of land where a pumping station and/or SUDS proposed to vest in Scottish Water is constructed.
- ▶ Please find information on how to submit application to Scottish Water at [our Customer Portal](#).

Next Steps:

▶ All Proposed Developments

All proposed developments require to submit a Pre-Development Enquiry (PDE) Form to be submitted directly to Scottish Water via [our Customer Portal](#) prior to any formal Technical Application being submitted. This will allow us to fully appraise the proposals.

Where it is confirmed through the PDE process that mitigation works are necessary to support a development, the cost of these works is to be met by the developer, which Scottish Water can contribute towards through Reasonable Cost Contribution regulations.

▶ Non Domestic/Commercial Property:

Since the introduction of the Water Services (Scotland) Act 2005 in April 2008 the water industry in Scotland has opened to market competition for non-domestic customers. All Non-domestic Household customers now require a Licensed Provider to act on their behalf for new water and waste water connections. Further details can be obtained at www.scotlandontap.gov.uk

▶ Trade Effluent Discharge from Non Dom Property:

- ▶ Certain discharges from non-domestic premises may constitute a trade effluent in terms of the Sewerage (Scotland) Act 1968. Trade effluent arises from activities including; manufacturing, production and engineering; vehicle, plant and equipment washing, waste and leachate management. It covers both large and small premises, including activities such as car washing and laundrettes. Activities not covered include hotels, caravan sites or restaurants.
- ▶ If you are in any doubt as to whether the discharge from your premises is likely to be trade effluent, please contact us on 0800 778 0778 or email TEQ@scottishwater.co.uk using the subject "Is this Trade Effluent?". Discharges that are deemed to be trade effluent need to apply separately for permission to discharge to the sewerage system. The forms and application guidance notes can be found [here](#).



To find out more about connecting your

property to the water and waste water supply visit:



So, how are we doing?

We'd love to know what we're doing well or could do better. We promise we're listening, [click here](#) to tell us...



- ▶ Trade effluent must never be discharged into surface water drainage systems as these are solely for draining rainfall run off.
- ▶ For food services establishments, Scottish Water recommends a suitably sized grease trap is fitted within the food preparation areas, so the development complies with Standard 3.7 a) of the Building Standards Technical Handbook and for best management and housekeeping practices to be followed which prevent food waste, fat oil and grease from being disposed into sinks and drains.
- ▶ The Waste (Scotland) Regulations which require all non-rural food businesses, producing more than 50kg of food waste per week, to segregate that waste for separate collection. The regulations also ban the use of food waste disposal units that dispose of food waste to the public sewer. Further information can be found at www.resourceefficientscotland.com

I trust the above is acceptable however if you require any further information regarding this matter please contact me on **0800 389 0379** or via the e-mail address below or at planningconsultations@scottishwater.co.uk.

Yours sincerely,

Planning Application Team

Development Operations Analyst

developmentoperations@scottishwater.co.uk

Scottish Water Disclaimer:

"It is important to note that the information on any such plan provided on Scottish Water's infrastructure, is for indicative purposes only and its accuracy cannot be relied upon. When the exact location and the nature of the infrastructure on the plan is a material requirement then you should undertake an appropriate site investigation to confirm its actual position in the ground and to determine if it is suitable for its intended purpose. By using the plan you agree that Scottish Water will not be liable for any loss, damage or costs caused by relying upon it or from carrying out any such site investigation."



To find out more about connecting your

property to the water and waste water supply visit:



So, how are we doing?

We'd love to know what we're doing well or could do better. We promise we're listening, [click here](#) to tell us...





Internal Memo

Our Ref: DS/RM
Your Ref: 2020/0202/TP
Date: 21st April 2020
From: Richard Mowat, Environmental Health
To: Planning and Development Management

PROPOSAL: ERECTION OF CYCLE HUB /HIRE CENTRE, WITH CAFÉ AND 8 BOTHY BUILDINGS TO REAR FOR HOLIDAY LET.

LOCATION: RED HOUSE 483 AYR ROAD , LOGANSWELL, NEWTON MEARNES

I have reviewed the above planning application and would comment as follows:

1. No activities in connection with construction (including deliveries and offloading) which are liable to cause disturbance to occupiers of nearby existing properties shall be carried out:

Prior to 08.00 hours or after 19.00 hours Monday - Friday
 Prior to 08.00 hours or after 13.00 hours Saturday,
 with no such activities carried out on Sundays.

2. Although a noise impact assessment is not required for the temporary holiday accommodation i.e. Bothies. I do believe that there is potential for the road noise from the M77 and A77 at the site to have a negative impact on the leisure use of the site as a base for touring and overnight accommodation.

3. Prior to commencement of any works on site, a comprehensive site investigation, carried out to the appropriate level, should be submitted to and accepted in writing by East Renfrewshire Council. This survey shall investigate all aspects of potential contamination, indicated by a Phase 1 Investigation (Desk-Study) of the site. If any contamination hazard is identified on the site, a site-specific risk assessment must be undertaken. Should any significant pollutant linkages be identified, a detailed remediation strategy must be developed. No works other than investigative works should be carried out on site prior to receipt of the Council's written acceptance of the remediation plan.

4. Suitable arrangements should be made for the safe storage and disposal of waste arising from the business activities.

5. Should the application be granted, I would strongly recommend that the applicant contact Environmental Health prior to commencing any work on the temporary holiday accommodation as it is likely that this activity will have to be licenced by the Local authority.
Comments

6. The food business element of the development requires to register with the Environmental Health Section 28 days prior to commencing business. A Food Safety Registration form may be accessed online or requested directly from the Section, by contacting 0141 577 3782.

7. It is recommended that applicants consider the food preparation activities they are proposing and ensure that facilities within their business can accommodate their proposals.
8. A suitable ventilation system, which meets the approval of the Environmental Health Section requires to be installed.
9. The ventilation system should not cause nuisance to the occupiers of nearby properties arising from cooking odours/noise.
10. It is strongly advised that a grease trap of suitable capacity is installed for the collection of grease before it accesses the waste drainage system. For further information, please contact 0845 601 8855 to speak to Scottish Water Trade Effluent Quality Team.

I trust that this information is of use. If you wish to discuss any of the matters raised in this memo, please do not hesitate to contact me.

SENIOR ENVIRONMENTAL HEALTH OFFICER

Roads Service

OBSERVATIONS ON PLANNING APPLICATION

Our Ref: 2020/0202/TP(1)
D.C Ref: Derek Scott
Contact: Allan Telfer

Planning Application No: 2020/0202/TP **Dated:** 19.01.21 **Received:** 19.01.21
Applicant: Kenny Neison
Proposed Development: Cycling hub with café, hire store and overnight accommodation
Location: Red House, A77, Newton Mearns
Type of Consent: Full Planning Permission

RECOMMENDATION: No Objections Subject to Conditions

Proposals Acceptable Y/N or N/A

Proposals Acceptable Y/N or N/A

Proposals Acceptable Y/N or N/A

1. General

(a) General principle of development	Y
(b) Safety Audit Required	N
(c) Traffic Impact Analysis Required	N

2. Existing Roads

(a) Type of Connection (junction / footway crossing)	N/A
(b) Location(s) of Connection(s)	N/A
(c) Pedestrian Provision	N/A
(d) Sightlines	Y

3. New Roads

(a) Widths	N/A
(b) Pedestrian Provision	N/A
(c) Layout (horizontal/vertical alignment)	N/A
(d) Turning Facilities (Circles / hammerhead)	N/A
(e) Junction Details (locations / radii / sightlines)	N/A
(f) Provision for P.U. services	N/A

4. Servicing & Car Parking

(a) Drainage	N
(b) Car Parking Provision	Y
(c) Layout of parking bays	Y
(d) Servicing Arrangements	N

5. Signing

(a) Location	N/A
(b) Illumination	N/A

HISTORY

The Roads Service previously recommended that this application be refused due to the required visibility splays at the vehicular access not being demonstrated as being achievable, a lack of parking spaces and the lack of a turning facility for large vehicles.

This response is based on updated information submitted by the Applicants' Agent.

COMMENTS

2(a)	In order to carry out alterations to the public road to form the new access, a Road Opening Permit will be required with the works carried out to Roads Service specifications and at the Applicants' expense.
2(d)	<p>The A77 adjacent to the application site is subject to a 40 mph speed limit. The required visibility splay at the access is therefore 2.5 x 120 metres in both the primary and secondary directions with no interference allowed within the splay above a height of 1.05 metres. These splays are required to be maintained in perpetuity.</p> <p>In the newly submitted information, the proposed cycle hub has been relocated to the west which enables the access to be moved to the east so that the existing building does not interfere with the visibility in the secondary direction.</p> <p>The revised plans show a 2.5 x 120 metres visibility splay in both the primary and secondary directions. It is accepted that the required visibility can be achieved in the primary direction. However, the grass embankment to the east of the application site is likely to interfere with the secondary visibility splay meaning the full 120 metres is not achievable. A visibility splay of 2.5 x 100 x</p>



<p>4(a)</p> <p>4(b)</p> <p>4(d)</p>	<p>1.05 metres to the centre line of the road can be 30ieved and as this is in the secondary direction will be acceptable.</p> <p>The applicant should note that drainage requirements should be considered in relation to:</p> <ul style="list-style-type: none"> • surface water discharge • attenuation requirements • SUDS requirement. <p>After attenuation/treatment, the maximum outflow from the development site into any relevant outfall must not exceed 8 l/s/ha.</p> <p>It is an offence under section 99 of The Roads (Scotland) Act 1984 to discharge water from a private area onto the public road network. Therefore, surface water run-off must be contained within the site and not permitted to issue onto the public road.</p> <p>The parking requirement for this proposal is based on the three different elements, accommodation, café and cycle hire shop.</p> <p>As per the Scots NRDG, parking for the hotel/boarding element is based on 1 space per 2.5 bed spaces. The total number of bed spaces proposed is 40. The parking requirement for this element is therefore $40/2.5 = 16$.</p> <p>Parking for the café element is based on 1 space per 5m². The café element is 38.4m² therefore the parking requirement is $38.4/5 = 7.68$.</p> <p>The cycle hire element is based on 3 spaces per 100m² GFA. The cycle hire element is 46m² therefore the parking requirement is $(46/100)*3 = 1.38$.</p> <p>The total parking requirement for the proposal is therefore 25 spaces.</p> <p>There are 11 parking spaces shown on the Site Plan as proposed drawing meaning a shortfall of 14 parking spaces.</p> <p>The shortfall in parking spaces could lead to indiscriminate parking on the A77 which would pose a risk to road safety.</p> <p>However, it is accepted that due to the nature of the proposed development, the required provision could be overly onerous.</p> <p>Furthermore, information recently submitted highlights that various measures such as a shuttle service are to be offered from public transport hubs as a means of encouraging sustainable travel to the site.</p> <p>Taking the above together with the unique nature of the site, the Roads Service is willing to allow a relaxation in the parking provision in this instance.</p> <p>It is recommended however, that an area of land is set aside for parking in case the proposed provision proves to be inadequate.</p> <p>It is noted that two options for a turning area for service vehicles are proposed in the recently submitted information. The first is a layby in front of the cycle hub building and the second is a ghost hammerhead arrangement.</p> <p>The ghost hammerhead is the most appropriate layout as this would cater for vehicles approaching the site from the east and west.</p> <p>Swept path analysis will be required to demonstrate the available area is sufficient to allow a large vehicle to enter and exit the site in a forward gear.</p> <p><u>Miscellaneous</u></p> <p>A Section 58 Road Occupation Permit will be required in order to deposit building materials on a road.</p>
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	<p>Skips shall not be deposited on a road without the 31 written permission of the Roads Service.</p> <p>If any external lighting to the front of the proposed application site is to be erected, the Applicant will be required to provide appropriate technical information to ensure there is no light spillage onto the adjacent public road which could dazzle drivers.</p>
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CONDITIONS	
2(d)	The required visibility splays at the proposed access are 2.5 x 120 metres in the primary direction and 2.5 x 100 metres to the centre line of the A77 in the secondary direction with nothing above a height of 1.05 metres allowed within the aforementioned splays with the splays maintained in perpetuity.
4(d)	Swept path analysis is required to demonstrate large vehicles can enter and exit the site in a forward gear.

Notes for Intimation to Applicant:

(i) Construction Consent (S21)*	Not Required
(ii) Road Bond (S17)*	Not Required
(iii) Road Opening Permit (S56)*	Required

* Relevant Section of the Roads (Scotland) Act 1984

Comments Authorised By: John Marley Date: 17/02/21
pp Roads and Transportation Controller



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Development Plans: Comments on

April 27, 2020

Application Ref: 2020/0202/TP

Site address: Red House 438 Ayr Road Loganswell East Renfrewshire G77 6RY

Proposal: 187Erection of cycle hub/hire centre incorporating cafe with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; change of use and alterations to dwelling house to form holiday letting apartments

Applicants: Mr Kenny Neison

This consultation response focuses on Policy D3: *Green Belt* of the Council's adopted Local Development Plan (2015). And the Supplementary Planning Rural Development Guidance (2015)

Assessment

Assessment against the LDP

This proposal site is subject to Local Development Plan Policy D3: Green Belt. The policy states that:

Where planning permission is sought for development proposals, within the green belt or countryside around towns and these are related to agriculture, forestry, outdoor recreation, renewable energy and other uses appropriate to the rural area, the Council will consider them sympathetically subject to compliance with other relevant policies of the Plan. Any decision will, however, take into consideration the impact the proposals will have on the function of the green belt and countryside around towns and the viability of important agricultural land. Development must be sympathetic in scale and design to the rural location and landscape

The proposal for cycle hub and accommodation bothies would comply with Policy D3 in that it relates to outdoor recreation. There is a network of core paths within easy reach of the proposal which support outdoor recreation and cycling in particular.

It is the view of the Development Planning Service that because the proposal location is contained in an envelope between two major roads, the M77 and A77, there would be no impact of the function of the green belt or the viability of agricultural land. The landscape character at this location of the location is severely compromised by adjacent motorway and the proposal would not impact on the landscape setting.

Rural Development Guidance SPG

The SPG Rural Development (2015) provides guidance on what constitutes acceptable development in rural areas. The relevant policies in the SPG are explained below.

Map 3 in the SPG identifies the proposal location as within an area of medium landscape sensitivity. As noted above the specific location of the proposal is sandwiched between two major roads and the landscape sensitivity will therefore not be compromised.

The SPG Rural Development is supportive of proposals for outdoor leisure facilities.

- Paragraph 2.5.1 *Proposals for new or extended outdoor leisure facilities will be considered favourably where it can be clearly demonstrated that: The emphasis is on outdoor pursuits, compatible with the rural area and there are no suitable sites within the urban area;*
- *Any ancillary buildings or other works, such as access and lighting are required to serve the activity and do not prejudice the rural character and local environment*
- *If a dwelling house is proposed, the Council will require that the business has been operating successfully for 3 years and that it has demonstrated to the Council's satisfaction that it can support the need for a house onsite.*

The application does not conflict with these policies. It is noted the policy states outdoor leisure facilities will be considered favourably if compatible with the rural area. The ancillary buildings all appear to be related to the purpose of outdoor recreation. Cycling would be considered a compatible activity in the rural area and there is a network of core paths in close proximity. There is no dwelling house as part of the development so the 3 year equipment does not apply.

The SPG Rural Development also considers the economic case for development in rural areas and supports the growth of facilities that provide for a short stay visits to East Renfrewshire.

2.5.2. The Council remains committed to securing the economic well-being of East Renfrewshire and will therefore sympathetically consider development that will contribute to economic growth and securing or creating employment opportunities, subject to the appropriate mitigation measures.

2.6.1 The SPG Rural Development recognises that there is a market for overnight short stay visits provided by both camping and small scale accommodation.

2.6.2. The Council will favourably consider applications for small scale developments that relate to tourism and economic development. These must be submitted with a full business plan that demonstrates long term sustainability. The design must be appropriate in scale and material and be in an acceptable location. It must be proven to add economic development activity to the area and demonstrate that it will be well managed and maintained in the long term.

2.6.3 Appropriate restrictions will be placed on any planning consent to ensure the units cannot be converted to alternative uses or permanent housing within a 10 year period. The quality of the final product will be crucial and economic benefits will be weighed against the environmental and social impact.

The proposal represents a sizable investment in tourist and outdoor recreation infrastructure. The proposal would increase the provision of overnight short stay accommodation and diversify the local accommodation offering. Under the terms of the SPG the application should be considered favourably if submitted with a full business plan. The business plan is required to demonstrate the long term sustainability and evidence the economic benefits of the scheme. Regarding policy 2.6.3 the application is to convert a residence into an outdoor facility which is the opposite of what the policy intends to prevent.

Conclusion

There are no objections to the rural location, the landscape setting is already seriously compromised by the presence of two major roads. The application supports the tourism and economic objectives of the Rural Development SPG, a business plan would provide evidence that the application is sustainable.

Development Plans have no objection to the proposal.



The above is the view of the Environment Department's Development Plan's Service and does not prejudice the determination of any application submitted to the Planning Authority. It is for the Case Officer handling the application to arrive at a recommendation based on the individual merits of the application proposal and any other material considerations.

Strategic Services
Environment Department

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FAO Derek Scott
East Renfrewshire Council
By Email

7th May 2020

Dear Derek

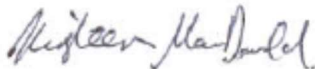
**Re: 2020/0202/TP 187Erection of cycle hub/hire centre incorporating cafe with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; change of use and alterations to dwellinghouse to form holiday letting apartments at Red House 438 Ayr Road Loganswell East Renfrewshire
Our Ref: GLA3821**

I refer to your consultation request received in this office on 16th April 2020.

The proposed development has been examined from an aerodrome safeguarding perspective and does not conflict with safeguarding criteria. We, therefore, have no objection to this proposal.

Given the nature of the proposed development it is possible that a crane may be required during its construction. We would, therefore, draw the applicant's attention to the requirement within the British Standard Code of Practice for the safe use of Cranes, for crane operators to consult the aerodrome before erecting a crane in close proximity to an aerodrome. This is explained further in Advice Note 4 – Cranes (available at <https://www.aoa.org.uk/policy-campaigns/operations-safety/>).

Yours sincerely



Kirsteen MacDonald
Safeguarding Manager
Glasgow Airport
07808 115 881
Kirsteen.MacDonald@glasgowairport.com

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Crane Operating Approval Procedure For Glasgow Prestwick Airport



CRANE OPERATING APPROVAL PROCEDURE
Glasgow Prestwick Airport

This leaflet is prepared by Glasgow Prestwick Airport (GPA) to assist those responsible for operating cranes and equipment within 6km of GPA's Aerodrome Reference Point (55°30'34"N / 004°35'40"W) and to ensure that they refer to the following legislation:

- The Air Navigation Order (**Article 55 of the Air Navigation Order makes it an offence for a person to act recklessly or negligently in a manner likely to endanger aircraft**)
- EASA ADR OPS B070 GM3 – ADR.OPS B.070 - Aerodrome Safety
- British Standard 7121: Part 1, paragraph 9.3.3, Crane control in the vicinity of aerodromes.

This leaflet is also distributed direct to crane operators and hire companies within Ayrshire, and issued to Local Council Planning Offices with responses to planning applications.

Alternatively it may be presented to a crane operator by the Airport in case of cranes operating without prior approval.

Cranes outside of 6km but within 16km are required to be assessed for infringements, as although formal approval is not required, NOTAM action is required for surface infringements in this area. Crane requests outside of 16km will be referred to CAA Airspace Regulation section.

Should you intend to carry out such operations within 6km of GPA's Aerodrome Reference Point (55°30'34"N / 004°35'40"W) and at heights of more than 10m Above Ground Level (AGL) you are required to request an application form from Air Traffic Control (contact details available at end of document).

On this form you will be asked to provide the following details:

- The intended co-ordinates of the crane(s) location in lat / long of site, in degrees, minutes and seconds
- Map showing intended location of crane
- Maximum operating height of crane or its jib during operation Above Ordnance Datum (AOD) or AGL if ground level is also provided
- The type of crane / equipment (fixed / mobile / tower etc.)
- The radius of the jib / boom of a fixed crane (m)
- The area of operation of a mobile crane
- The intended dates and times of operation (time of operation start (24h) and time of operation finish (24h))
- On-site manager(s) name & contact details.

Your request must be submitted with sufficient time for it to be considered and if necessary put in place arrangements as agreed with the Airport to comply with the regulations and ensure the safety of aircraft in flight from your activities in accordance with the Air Navigation Order.

Ideally, applications should be made **4 weeks / 28 days** prior to the intended commencement of equipment operation.

An **INDIVIDUAL** permit is required for **EACH CRANE**. Applications submitted with less notice may be granted at ATC's discretion.

AVIATION SAFETY

Crane operators should note that restrictions may be imposed during bad weather, i.e. poor visibility, low cloud base.

If the design of the crane allows, it may be required to be lowered when not in use, or when requested by the Airport.

Where it cannot be lowered, it may be necessary for the jib to be parked in a specified direction when not in use.

Where it is deemed necessary (depending on the height) an obstacle light may be required, is must be visible from all directions and located on the highest point of the crane / equipment.

Unauthorised operation of cranes or other equipment in the vicinity of an Airport could present a serious hazard to aircraft and helicopters, either as a physical obstruction or by interfering with electronic guidance equipment.

The risk to pilots and air crew who are unaware of such equipment when flying could result in an aircraft or helicopter colliding with such equipment resulting in an accident.

It is vital that companies and operators of cranes or other high equipment understands and complies with the regulations and procedures that govern the operations of this equipment in the vicinity of an Airport.



Contact:

ATC Watch Manager
Air Traffic Control
Glasgow Prestwick Airport
Prestwick
Ayrshire
KA9 2PL

Telephone: 01292 511114

Email: atswatchmanager@glasgowprestwick.com



Your Ref: 2020/0202/TP

Date: 28th May 2020

Mr Derek Scott
East Renfrewshire Council
Development Management Service
2 Spiersbridge Way
Thornliebank
Glasgow
G46 8NG

Dear Derek

**187Erection of cycle hub/hire centre incorporating
cafe with formation of car park; erection of 8 bothy
buildings at rear; erection of wash block building;
change of use and alterations to dwellinghouse to
form holiday letting apartments**

I refer to your consultation request notification received 16th April 2020 regarding the above planning permission in principle application.

I have reviewed this application in accordance with our obligations as a statutory consultee under the *Safeguarding of Aerodromes: Scottish Planning Circular 2/2003* and confirm that Glasgow Prestwick Airport Limited (GPA) has no objection to this proposed development on statutory safeguarding grounds.

Our non-objection only relates to the current proposal subject to implementation of any statutory conditions advised below. If there are any modifications to this proposal, we will need to be re-consulted.

Finally, this response only addresses our statutory safeguarding responsibilities and is without prejudice to any other response GPA may be entitled to submit in respect of this application.

Advisory Note:

Cranes

Notification of the use of cranes and associated equipment (as per Article 55 of the ANO) during construction phase would have to be granted permission in advance by the Airport if the crane is to be used within 6km of the aerodrome / airfield and its height exceeds 10m or that of the surrounding structures or trees (see attached procedure leaflet for further details).

If you have any further questions, please do not hesitate to contact me.

Glasgow Prestwick Airport Ltd

Aviation House, Prestwick, Ayrshire, Scotland, KA9 2PL

T: +44 (0)1292 511012
www.glasgowprestwick.com

E: slynn@glasgowprestwick.com

Our Values: **Passion Professionalism Integrity Responsibility**



Yours sincerely

p.p. 

Susan Lynn
Safeguarding Officer
For and on behalf of Glasgow Prestwick Airport Limited

Glasgow Prestwick Airport Ltd
Aviation House, Prestwick, Ayrshire, Scotland, KA9 2PL

T: +44 (0)1292 511012 E: slynn@glasgowprestwick.com
www.glasgowprestwick.com

Our Values: **Passion Professionalism Integrity Responsibility**

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HR/Public/Form/087 Version 2

From: [EN Building Standards](#)
To: [Scott, Derek](#)
Subject: FW: Planning Application 2020/0202/TP Consultation
Date: 04 May 2021 09:26:16

Morning Derek

Hope you are well.

Email below for your attention.

Thanks Derek

Ann

-----Original Message-----

From: Mowat, Richard

Sent: 30 April 2021 18:01

To: Building Standards Planning <BuildingStandards.Planning@eastrenfrewshire.gov.uk>

Subject: RE: Planning Application 2020/0202/TP Consultation

I refer to the above planning consultation received by this department and can comment that the Environmental Health Section have no additional comment to make on those returned by my memo of the 21/04/20 due to this change in the planned layout of the site.

Richard Mowat

Senior Environmental Health Officer

Tel: 0141 577 3759

-----Original Message-----

From: Building Standards Planning <BuildingStandards.Planning@eastrenfrewshire.gov.uk>

Sent: 01 April 2021 13:25

To: Mowat, Richard <Richard.Mowat@eastrenfrewshire.gov.uk>; Davidson, John

<John.Davidson@eastrenfrewshire.gov.uk>

Subject: Planning Application 2020/0202/TP Consultation

Please see attached document

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COPIES OF OBJECTIONS/REPRESENTATIONS

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Comments for Planning Application 2020/0202/TP

Application Summary

Application Number: 2020/0202/TP

Address: Red House 438 Ayr Road Loganswell East Renfrewshire G77 6RY

Proposal: 187Erection of cycle hub/hire centre incorporating cafe with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; change of use and alterations to dwellinghouse to form holiday letting apartments|cr|

Case Officer: Mr Derek Scott

Customer Details

Name: Miss Claire Morrison

Address: Earnview, Ayr Road, Loganswell, East Renfrewshire G77 6RY

Comment Details

Commenter Type: Rec'd NeighbourNotification from Council

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:Proposal: Erection of cycle hub/hire centre incorporating cafe with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; change of use and alterations to dwelling house to form holiday letting apartments.

Location: Red House, 483 Ayr Road, Loganswell, Newton Mearns

Good Evening,

I write in connection to the above planning application as I know the site well, as I reside directly adjacent to it. I wish to object strongly to the proposed development of the site as planned for the following reasons.

Having viewed the proposed plans, I feel that the design and layout would have a negative impact on my own property. Positioning of several of the bothys, including one which is planned right next to my boundary fence with the site, would have a significant impact on the privacy of my own property, allowing views directly into several rooms of my home, and also into my garden. There also does not appear to be any planned restriction to persons accessing the site, meaning that any person visiting the site would be able to access a point where they can overlook my house and garden.

I am also concerned regarding the potential noise impact that the development will have in the local area, specifically to my home. The proposed car park for the site is located directly next to my boundary fence, meaning that there will be a significant impact to my property caused by

vehicles using the site, and their associated engine noise. It is also located between the M77 and A77 roads, meaning that there is already a significant amount of vehicle noise. This does not need to be increased. The road noise will also not be conducive to a good nights sleep for any persons wishing to use the bothys or the flats. Added to that, there is also the potential for noise to be created by any persons using the site. Although many persons will be law abiding, there has been well publicised cases of anti-social behaviour associated with similar properties.

There is also the potential of nuisance to be caused to my home as a result of cooking odours from the proposed site.

I would also object to the proposed plans due to the significant environmental impact that it could have. As previously mentioned, the planned car park is situated directly next to my boundary. There will obviously require to be significant work carried out to ensure the car park is fit for purpose. There are several mature trees located on my property along the boundary, and my worry is that their roots could be negatively impacted by this work, creating a potential hazard by weakening the trees, and potentially causing them to be lost.

Consideration should also be given to the potential hazard created to road users on the A77. While the proposed plans are associated with a property where the A77 is restricted to 40mph, this is a busy road used by a variety of different vehicles, including heavy vehicles associated with the two local quarries, and by persons using it as a "short cut" to avoid the M77. Unfortunately, a high proportion of these drivers do not abide by the speed limit. The development is also located on a bad bend on the road, with restricted vision round it by vehicles travelling south bound. Vehicles that are turning into the site may be slow moving or may even need to be stationary in the carriageway, particularly if turning right. This manoeuvre is not always anticipated by other drivers, particularly when they are driving at speed, increasing the possibility of a near miss, or in the worst case, a collision. I myself have experienced numerous near misses in these circumstances. This risk can be exacerbated by person using the cycle path itself, in any capacity, as motorists turning in may need to wait for them to clear the access. Given that the proposed development includes a cycle hub/hire centre, this will increase persons on the cycle path and within the site itself, all of which could impact the accessibility by vehicles, and therefore increase the risk to motorists on the A77.

Finally, I feel that the proposed change of purpose of the Red House will negatively impact on the character of the area. This is a rural residential area, comprised of private dwellings and farms. There is no requirement for a business of this nature in the area. There are sufficient catering facilities in Newton Mearns and the south side of Glasgow, or in the nearby Whitelee Wind Farm, should they be required. Whitelee Wind Farm also offers a cycle hire facility for use on site. There is no necessity for the proposed development. It will not provide any enhancement to the local area.

Yours Sincerely

Claire Morrison

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Comments for Planning Application 2020/0202/TP

Application Summary

Application Number: 2020/0202/TP

Address: Red House 438 Ayr Road Loganswell East Renfrewshire G77 6RY

Proposal: Erection of cycle hub/hire centre incorporating cafe with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; change of use and alterations to dwellinghouse to form holiday letting apartments(Amended Plans)|cr|

Case Officer: Mr Derek Scott

Customer Details

Name: Mr Niall Sloan

Address: 15 Falkland Avenue, Newton Mearns, East Renfrewshire G77 5DR

Comment Details

Commenter Type: Member of Public

Stance: Customer made comments in support of the Planning Application

Comment Reasons:

Comment:As a keen local cyclist I fully support this application, and think it could be a great addition to the local growing cycling community.

There are a few questions not clarified by the current documentation which I hope can be clarified during the decision making process.

1. Segregated Cycle Lane - the A77 cycle path that passes the front of this property is widely used by cyclists of all abilities, including children. There appears to be removal of part of the segregated kerb to increase the access to the site - is this correct and has there been an assessment of the reduction in safety towards those using the cycle lane this will cause?
2. Deliveries - is there provision for enough delivery space? Failure to do so will inevitably result in blockage of the cycle path as vehicles will attempt to use the cycle lane to unload; the risk to cycle lane users then being forced onto the road is high.
3. Right of way of cycle path users - those cyclists not wanting to use the facility and want to continue cycling onwards - Can you ensure that they will not be forced to stop or give way to cars/deliveries i.e - ensure the new cycle lane paint markings continue to give priority to cyclists. North moving cyclists especially at this point can be moving at a very fast speed downhill - please ensure their safety by adding clear cycle path and road line painting to make all traffic stop (not just "Give Way") and give them priority.
- 4 Car Parking - if the cafe portion of this application becomes popular for "non-cyclists" - is there enough provision for motor traffic? If not, then there becomes a serious issue of the cycle lane and/or the kerbside of the A77 being used for car parking - with the increased risk of accidents etc - considering the wide range of types of cyclists using this it is a serious concern. Can parking

restrictions be implemented to protect the cyclists?

Comments for Planning Application 2020/0202/TP

Application Summary

Application Number: 2020/0202/TP

Address: Red House 438 Ayr Road Loganswell East Renfrewshire G77 6RY

Proposal: Erection of cycle hub/hire centre incorporating cafe with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; change of use and alterations to dwellinghouse to form holiday letting apartments(Amended Plans)|cr|

Case Officer: Mr Derek Scott

Customer Details

Name: Miss Claire Morrison

Address: Earnview, Ayr Road, Loganswell, East Renfrewshire G77 6RY

Comment Details

Commenter Type: Rec'd NeighbourNotification from Council

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:Proposal: Erection of cycle hub/hire centre incorporating cafe with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; change of use and alterations to dwelling house to form holiday letting apartments(Amended plans)

Location: Red House, 483 Ayr Road, Loganswell, Newton Mearns

Good Morning ,

I write in connection to the above planning application as I know the site well, as I reside directly adjacent to it. I wish to object strongly to the proposed development of the site as planned for the following reasons.

Having viewed the amended plans, I feel that the design and layout would have a negative impact on my own property due to the following.

The new plans have the location of the cycle hub/hire centre sited directly adjacent to my boundary fence. This will be in extremely close proximity to my septic tank, and my concern is that the required groundwork's so close to the tank poses a great risk to potentially damaging it, and negatively impacting on the associated drainage. Not only that, but my water supply will also be located directly below the construction, again causing concern to any potential damage.

I have also noted that the amended plans appear to have the toilet facilities facing towards my property, and in very close proximity. This concerns me as this faces towards the main living area

of my house. This is obviously a view I would prefer not to have, but my objection is related the fact that the proposed new development is on a site serviced by means of septic tank. Should this not be managed properly, given the increased demand on the septic tank by the proposed plans, I am concerned regarding potential of bad odours affecting my property. I am aware that in the past the property has had issues with its septic tank, which required significant remedial work to make it suitable to deal with the domestic demand linked to one household. There is also the potential of nuisance caused to my home as a result of cooking odours from the proposed site, and also from odours from the recycling/refuse area, should this not be managed carefully.

Positioning of several of the bothys, including one which is planned right next to my boundary fence with the site, and also the relocation of the cycle hub/hire centre would have a significant impact on the privacy of my own property, allowing views directly into several rooms of my home, and also into my garden. There also does not appear to be any planned restriction to persons accessing the site, meaning that any person visiting and using any of the proposed facilities would be able to access a point where they can overlook my house and garden.

I am also concerned regarding the potential noise impact that the development will have in the local area, specifically to my home. With several parts of the proposed development being so close to my boundary, and to the main living/sleeping area of my house there is potential for disruption from noise created by persons using the site. Unless there is strict restrictions put in place regarding when the site can be accessed and the facilities used, then there will be unwelcome associated noise. Although most persons using the proposed facility will be law abiding, there has been well publicised cases of anti-social behaviour associated with similar holiday let properties.

I would also object to the proposed plans due to the significant environmental impact that it could have. As previously mentioned, the planned cycle hub/hire centre is situated directly next to my boundary. There will obviously require to be significant work carried out to ensure that the building and associated groundwork's are fit for purpose. There are several mature trees located on my property along the boundary, and my worry is that their roots could be negatively impacted by this work, creating a potential hazard by weakening the trees, and potentially causing them to be lost.

Having viewed the proposed plans, I am also concerned regarding the lack of associated car parking. There appears to be only 11 spaces available, 3 of which are designated for disabled drivers. Given that there are 8 proposed bothys and 2 holiday lets within the existing Red House, should they be at full capacity, what will be available for persons attending to use the cycle hire facility? While I assume it would be anticipated that some may cycle to the property, there is potential for more vehicles to be attending than there is parking available. That could potentially lead to obstruction to the existing cycle path, or even of the A77, as cars are left while people use the proposed facility.

Consideration should also be given to the potential hazard created to road users on the A77.

While the proposed plans are associated with a property where the A77 is restricted to 40mph, this is a busy road used by a variety of different vehicles, including buses, agricultural vehicles, heavy trucks associated with the two local quarries, and by persons using it as a "short cut" to avoid the M77. Unfortunately, a high proportion of these drivers do not abide by the speed limit. The development is also located on a bad bend on the road, with restricted vision round it by vehicles travelling south bound. Vehicles that are turning into the site may be slow moving or may even need to be stationary in the carriageway, particularly if turning right. This manoeuvre is not always anticipated by other drivers, particularly when they are driving at speed, increasing the possibility of a near miss, or in the worst case, a collision. I myself have experienced numerous near misses in these circumstances. This risk can be exacerbated by person using the cycle path itself, in any capacity, as motorists turning in may need to wait for them to clear the access. Given that the proposed development includes a cycle hub/hire centre, this will increase persons on the cycle path and within the site itself, all of which could impact the accessibility by vehicles, and therefore increase the risk to motorists on the A77.

Finally, I feel that the proposed change of purpose of the Red House will negatively impact on the character of the area. This is a rural residential area, comprised of private dwellings and farms. There is no requirement for a business of this nature in the area. There are sufficient catering facilities in Newton Mearns and the south side of Glasgow, or in the nearby Whitelee Wind Farm, should they be required. Whitelee Wind Farm also offers a cycle hire facility for use on site. There is no necessity for the proposed development. It will not provide any enhancement to the local area.

Yours Sincerely

Claire Morrison

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Comments for Planning Application 2020/0202/TP

Application Summary

Application Number: 2020/0202/TP

Address: Red House 438 Ayr Road Loganswell East Renfrewshire G77 6RY

Proposal: Erection of cycle hub/hire centre incorporating cafe with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; change of use and alterations to dwellinghouse to form holiday letting apartments(Amended Plans)|cr|

Case Officer: Mr Derek Scott

Customer Details

Name: Mr Niall Sloan

Address: 15 Falkland Avenue, Newton Mearns, East Renfrewshire G77 5DR

Comment Details

Commenter Type: Member of Public

Stance: Customer made comments neither objecting to or supporting the Planning Application

Comment Reasons:

Comment:Following the publication of the roads report I am dismayed at the failure to even mention a single one of the cycle path issues which could arise from this development; these were outlined in my previous supporting comment.

Please consider these serious issues when determining this application. The cycle path must be protected from inconsiderate parking and it must have right of way past the development.

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REPORT OF HANDLING

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REPORT OF HANDLING

Reference: 2020/0202/TP

Date Registered: 18th January 2021

Application Type: Full Planning Permission

This application is a Local Development

Ward: 5 -Newton Mearns South And Eaglesham

Co-ordinates: 251534/:652454

Applicant/Agent:

Applicant:

Mr Kenny Neison
27 Courthill Avenue
Cathcart
Glasgow
Scotland
G44 5AA

Agent:

Brian McGinlay
Basement Suite 27
50 Wellington Street
Glasgow
United Kingdom
G2 6HJ

Proposal:

Erection of cycle hub/hire centre incorporating cafe with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; change of use and alterations to dwellinghouse to form holiday letting apartments.

Location:

Red House
438 Ayr Road
Loganswell
East Renfrewshire
G77 6RY

CONSULTATIONS/COMMENTS:

East Renfrewshire Council Roads Service	No objection subject to conditions.
East Renfrewshire Council Environmental Health Service	No objection subject to conditions.
Transport Scotland Trunk Roads Network Management	No response at time of writing.
Scottish Water	No objection.
West Of Scotland Archaeology Service	No response at time of writing.
Glasgow Airport	No objection.
Glasgow Prestwick Airport	No objection.
NERL Safeguarding	No objection.

Civil Aviation Authority

No response at time of writing.

PUBLICITY:

24.04.2020

Evening Times

Expiry date 08.05.2020

SITE NOTICES: None.

SITE HISTORY:

2001/0372/TP

Erection of conservatory

Application
returned.

18.07.2001

REPRESENTATIONS: Two representations have been received, one objecting to the proposal and one generally in support, and can be summarised as follows:

The formation of the proposed access could impact on the safety of the existing cycleway. Inconsiderate car-parking and parking of delivery vehicles could impede the use of the existing cycleway.

Public road safety.

Inadequate car-parking.

Impact on the character of the area.

Damage to adjacent property.

Concerns about the use of a septic tank.

Visual impact.

Odours from cooking and refuse.

Overlooking/impact on privacy.

Noise impact.

Anti-social behaviour.

DEVELOPMENT PLAN & GOVERNMENT GUIDANCE: See Appendix 1

SUPPORTING REPORTS:

Design and Access Statement – The statement provides a detailed description of the proposal and states that it will help boost tourism in East Renfrewshire and encourage interest in outdoor pursuits.

Business Plan – A business plan and projected profit and loss accounts have been submitted that indicate the proposed business as a whole is viable.

ASSESSMENT:

The application site comprises a detached one and a half storey dwelling and its curtilage and lies to the south of Newton Mearns within the countryside around towns (CAT) as defined within the adopted East Renfrewshire Local Development Plan. The site lies immediately adjacent to and is accessed via the A77 former trunk road. The site slopes upwards from the A77 towards the M77 which lies to the rear. The south-west boundary of the site is characterised by established hedges. The former trunk road has been narrowed and cycle lanes provided in each direction. It forms part of core path network as defined in the Local Development Plan. Although the wider area is generally rural in character, there is an existing dwelling immediately adjacent to the site to the south-west and a golf course lies opposite. Other significant developed structures in the vicinity are the M77 motorway and the A77 former trunk road.

The curtilage is extensive and is presently laid out as garden ground. It measures approximately 100 metres by 50 metres across its greatest dimensions with two outbuildings of note. A one and a half storey building housing a garage and office space lies immediately to the south-west of the dwelling. Adjacent to the south-west boundary lies a flat roofed stable block. The existing dwelling is externally finished in red painted brick.

Planning permission is sought for the erection of cycle hub/hire centre incorporating cafe with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; and for the change of use and alterations to dwellinghouse to form holiday letting apartments. The existing outbuildings are to be removed. A set of photo-voltaic panels are proposed to be installed between the fifth and sixth bothy building towards the rear of the site.

The hire centre and cafe is proposed to be located in the west of the site on the site of the existing stable block. It is a single storey building, measures 24 metres by 15 metres and is arranged around a central open courtyard. It comprises a series of dual pitch roofs and is externally finished in corrugated roofing panels and white brick. As well as the cafe, it will include WCs and cycle storage. A new service access is proposed in front of the hire centre/cafe.

The car-park is proposed to be located immediately to the west of the existing dwelling. It is accessed via a new vehicular access from the A77.

The change of use and alterations to the dwelling include the removal of the front conservatory and the erection of a flat-roofed front extension housing an entrance hall/dining area; and to permit its use as holiday let accommodation. The extension is proposed to be externally finished in red painted brick to match the existing.

The bothy buildings are proposed to be located to the rear of the hire centre and former dwelling, in the former garden area. They are of varying designs and sizes sleeping 1, 2, 4 and 10 persons. In some of the bothy designs the bed spaces are on an upper mezzanine level, accessed via a ladder. The bothies are connected to the hire centre/cafe via a series of paths. The former garden area is proposed to be landscaped with wild grass.

A WC/shower block, sauna, hot tub and ice bath are proposed to be located to the north-east of the existing house.

The applicant's agent has confirmed that there is no proposal to have a 24 hour in-person management provision on site. Guests will be able to check in using the café before it closes if required but will otherwise have access to their accommodation using booking codes sent to their phones. The agent has confirmed that there will be 24 hour cctv supervision of the site for emergency and security purposes.

The application requires to be assessed against Strategic Policy 2 and Policies D1 and D3 of the adopted East Renfrewshire Local Development Plan.

Strategic Policy 2 states that the Council will apply a sequential approach to development giving priority to brownfield sites within the urban area, then to greenfield land within the urban area and finally to land adjacent to the urban area. It then states that sites within the rural area will only be considered where there are no other suitable alternative sites within the urban area.

Policy D1 requires that all development should not result in a significant loss of character or amenity to the surrounding area and that the Council's requirements in terms of access and car-parking are met.

Policy D3 relates to development in the greenbelt and countryside around towns (CAT). It states that development in the CAT will be strictly controlled and limited to that which is appropriate for a rural location and which respects the character of the area. It states that proposals related to outdoor recreation will be considered sympathetically subject to compliance with other relevant policies of the Local Development Plan. The adopted Supplementary Planning Guidance: Rural Development (SPG), which supports and forms part of Policy D3, is also relevant. The SPG provides guidance on what constitutes acceptable development in rural areas and is supportive of proposals for outdoor leisure facilities. It states that proposals for new or extended outdoor leisure facilities will be considered favourably where it can be clearly demonstrated that:

- The emphasis is on outdoor pursuits, compatible with the rural area and there are no suitable sites within the urban area;
- Any ancillary buildings or other works, such as access and lighting are required to serve the activity and do not prejudice the rural character and local environment.

Given the nature of the proposed development and the emphasis on outdoor pursuits and leisure accommodation, it is considered that the application site, being a previously developed site in the rural area, is appropriate. The proposal would not therefore offend the sequential approach to site selection as set out in Strategic Policy 2.

The following assessment is made in terms of Policy D3 and the supporting SPG: The proposal for cycle hub and accommodation bothies is considered to be an appropriate rural use in terms of Policy D3. It is located in close proximity to the network of core paths which support outdoor recreation and cycling in particular. Given its location is contained in an envelope between two major roads, the M77 and A77; there would be no significant impact of the function of the green belt or the viability of agricultural land. The landscape character at this location of the location is severely compromised by adjacent motorway and the proposal would not impact on the landscape setting. The ancillary buildings and photo-voltaic panels are related to the purpose of outdoor recreation. The proposal therefore raises no conflict with the terms of Policy D3 or the SPG.

It is noted that the proposal includes a café which in itself would not be in keeping with the policies for the rural area. However as outlined above, the tourism and leisure facilities are acceptable in this location and the café, although a significant contribution to the income stream, could be acceptable as part of the overall proposal. It is therefore considered appropriate to condition the consent, in the first instance, for a temporary period of five year to ensure that the tourism and leisure facilities are viable and that the business overall can be established.

In terms of Policy D1, the proposed development is considered to be acceptable in appearance and would not detract from the visual amenity or character of the rural area. Whilst the site is elevated to the rear and would be visible to some degree from the adjacent road and surrounding countryside, the visual impact is considered to be acceptable given the scale and character of the proposed buildings and structures. Given the design of the proposals there would be no direct overlooking from any of the buildings/chalets towards the adjacent residential property to the south-west and the proposal would not give rise to any significant additional overshadowing or impact on daylight. The Environmental Health Service has not objected to the proposal in terms of noise disturbance from either vehicles accessing the site or from patrons and has recommended conditions be attached to any planning permission granted, among other things, to ensure the installation of a suitable ventilation system to prevent odour nuisance to adjacent properties. Whilst the agent has confirmed the use of 24 hour cctv supervision, it is considered reasonable to require further details of this in terms of the number and location of cameras and the means of monitoring the camera feeds. This will help ensure the effective management of the site during the night and will ensure the amenity of the adjacent dwelling is protected. This can be secured by condition. It is acknowledged that the proposed accommodation pods will be

adjacent to potential noise sources of both the M77 and A77. However the accommodation is not for permanent residency with the occupiers of the site likely to be short term. It is therefore considered that any impact on their amenity will be transitory. The Roads Service has indicated it has no objection to the proposal in terms of public road safety, access arrangements and car-parking and has not cited any issues with regard to the use of the existing cycle lane. The proposal is therefore considered to comply with the terms Policy D1.

The Proposed Local Development Plan 2 is a material consideration and with regard to this planning application, the relevant policies are considered to be D1 and D3. The aforementioned policies largely reflect the adopted Local Development Plan policies. Consequently, for reasons stated above, it is considered that the proposed works generally accord with the relevant policies in the Proposed Local Development Plan.

The following comments are made on the points of representation not specifically addressed above: The responsibility to ensure that no damage is caused to the adjacent property, including to the trees or existing services, falls upon the developer; the Environmental Health Service has indicated that a noise impact assessment is not required for the bothies as they are not permanent residencies and has indicated that it has no objection to the proposal subject to conditions that can be included on any planning permission granted. Such conditions can include details of the extraction system and waste disposal/waste management. It is the responsibility of the site operator to ensure that the site is managed in a way that does not give rise to environmental nuisance to the adjacent property. Whilst a building containing WCs is located adjacent to the west boundary with the adjacent property, this building is considered to be acceptable in appearance. Again, it is the responsibility of the site operator to ensure that the site is operated in a manner that does not cause an environmental nuisance. The applicant has indicated that site will be connected to the public drainage system. Anti-social behaviour would be a matter for the Police to address.

In conclusion, the proposal complies with the terms of the adopted East Renfrewshire Local Development Plan. There are no material considerations that indicate the application should not be approved. It is therefore recommended that the application is approved subject to the conditions set out below.

RECOMMENDATION: Approve Subject to Conditions

PLANNING OBLIGATIONS: None.

CONDITIONS:

1. The development hereby approved shall cease on 18th June 2026. At the end of the period of permission, the building(s) shall be removed and the land restored to its former condition.

Reason: To allow the Planning Authority to monitor the use of the site and to ensure that the proposal is viable and the use remains appropriate to the rural location.

2. Development shall not commence until samples of materials to be used on all external surfaces of the building and hard surfaces have been submitted to and approved in writing by the planning authority. Thereafter the development shall be implemented in accordance with the approved details.

Reason: To ensure the development is acceptable in appearance.

3. Development shall not commence until details and location of all walls (including retaining walls) and fences to be erected on the site have been submitted to and approved in writing by the planning authority. Thereafter the development shall be implemented in accordance with the approved details.

Reason: To ensure the development is acceptable in appearance.

4. Development shall not commence until detailed levels, diagrams and sections, showing the existing and proposed levels throughout the site and finished floor levels in relation to a fixed datum point have been submitted to and approved in writing by the planning authority. Thereafter the development shall be constructed in accordance with the approved levels, diagrams and sections.

Reason: To ensure that the levels are acceptable at this location.

5. Development shall not commence until a scheme of hard and soft landscaping works has been submitted to and approved in writing by the Planning Authority. Details of the scheme shall include (as appropriate):-

- i) Details of any earth mounding, hard landscaping, grass seeding and turfing;
- ii) A scheme of tree and shrub planting, incorporating details of the number, variety and size of trees and shrubs to be planted;
- iii) Details of the phasing of the landscaping works; and
- iv) Schedule of maintenance.

Thereafter the landscaping works shall be fully implemented as approved.

Reason: To ensure the implementation of a satisfactory scheme of landscaping to improve the environment quality of the development.

6. Visibility splays of metres by 2.5 metres by 120 metres in the primary direction and 2.5 metres by 100 metres in the secondary direction shall be provided at the junction of the new accesses with the existing road prior to the commencement of use hereby approved and thereafter maintained free from any obstructions exceeding a height of 1.05m above the adjacent road.

Reason: To enable drivers of vehicles leaving the site to have a clear view over a length of road sufficient to allow safe exit.

7. Prior to the commencement of any work on site, a swept path analysis, to demonstrate that the largest vehicle servicing the site can enter and exit in a forward gear, shall be submitted and approved in writing by the Planning Authority.

Reason: In the interest of public road safety.

8. The car-parking, as shown on approved plan reference L(--)-002 shall be completed, surfaced and delineated in all respects prior to the commencement of the use hereby approved.

Reason: To ensure that adequate car-parking is provided in the interest of public road safety.

9. There shall be no construction work or offloading of delivered materials at the development site outwith the hours of 0800 to 1900 Monday to Friday and 0800 to

1300 on Saturday with no working on Sunday or local or national public holidays unless minor and temporary amendments have been otherwise agreed in advance in writing by the planning authority. The starting up/warming up and shutting down of any construction machinery outwith these hours shall not be audible from the boundary of any noise sensitive property.

Reason: To prevent noise nuisance to the surrounding area.

10. Prior to commencement of any works on site, a comprehensive site investigation, carried out to the appropriate level, should be submitted to and accepted in writing by East Renfrewshire Council. This survey shall investigate all aspects of potential contamination, indicated by a Phase 1 Investigation (Desk-Study) of the site. If any contamination hazard is identified on the site, a site-specific risk assessment must be undertaken. Should any significant pollutant linkages be identified, a detailed remediation strategy must be developed. No works other than investigative works should be carried out on site prior to receipt of the Council's written acceptance of the remediation plan.

Reason: In the interests of public health and to protect users of the development and the wider environment from the effects of contamination.

11. Development shall not commence until exact details and specification of all ventilation and extraction systems to serve the premises, together with the proposed odour mitigation measures, have been submitted to and approved in writing by the planning authority. For the avoidance of doubt any noise from ventilation equipment or any other equipment associated with the premises must not exceed NR35 (as described in BS8233: 2014) as measured at any residential property during the hours of 0700 - 2300, or exceed NR25 between the hours of 2300 and 0700. Thereafter the approved details shall be fully implemented prior to the premises first opening and retained according to the approved details in perpetuity.

Reason: To protect adjacent residents from nuisance resulting from cooking odours.

12. A Waste Management Plan, detailing the storage and disposal of all waste from the site, shall be submitted and approved in writing by the Planning Authority. Thereafter, the premises shall be operated in accordance with the approved Waste Management Plan.

Reason: In the interest of environmental amenity.

13. The principles of Sustainable Urban Drainage Systems (SUDS) for the surface water regime shall be incorporated into the development. Development shall not commence until details of the surface water management and SUDS proposals have been submitted to and approved in writing by the planning authority. Thereafter the surface water management details shall fully be implemented as approved.

Reason: In the interests of sustainable development.

14. Development shall not commence until details of all external lighting (including details of the lighting units, the angle and intensity of illumination and hours of operation) have been submitted to and approved in writing by the planning authority. Thereafter the lighting shall be implemented as approved.

Reason: In order to ensure that the lighting is acceptable at this location and to protect the amenity of the surrounding area.

15. Existing trees and shrubs within the application site including trees and shrubs growing on the site's boundaries, shall not be felled, removed or disturbed in any way without the prior approval in writing by the planning authority.

Reason: To protect the existing trees and shrubs so that they continue to contribute to the environmental quality of the area and soften the impact of the development.

16. Prior to the commencement of any work on site, full details of the means of 24-hour supervision of the site shall be submitted and approved in writing by the Planning Authority. Those details shall include the type, number, location and field of vision of any cctv cameras; the means of monitoring the feeds from those cameras; and the detailed means of response to any emergency or disturbance within the site. Thereafter the management of the site shall be effected in accordance with the approved details.

Reason: To ensure the effective management of the site on a 24-hour basis in the interest of public safety and residential amenity.

17. Development shall not commence until details of the phasing of the development have been submitted to and approved in writing by the planning authority. Thereafter the development shall be implemented in accordance with the approved phasing scheme.

Reason: In order to ensure a properly programmed development.

ADDITIONAL NOTES:

The applicant is required to consult East Renfrewshire Council Protective Services regarding compliance with the provisions of the Health & Safety at Work Etc Act 1974 and the Food Safety Act 1990.

The applicant is requested to comply with the requirements of Scottish Environment Protection Agency (SEPA).

East Renfrewshire Council Roads Service should be consulted regarding a Road Opening Permit for service connections and footway crossover.

In addition to planning legislation, I would draw your attention to the provisions of the Nature Conservation (Scotland) Act 2004 and the Wildlife and Countryside Act 1981 with regard to the protection of Wildlife and, in particular, the needs to ensure that all works are preceded by a check for nesting birds. It is a criminal offence to intentionally or recklessly damage, destroy or otherwise interfere with any wild bird nest which is in use or being built or, which, at any other time, is habitually used by certain birds protected by special penalties. Where it is proposed to carry out works which will affect European Protected Species (including bats) or their shelter/ breeding places, checks should first be made by an appropriate bat surveyor. In the event a protected species would be affected a licence is required from the Scottish Government. Further information on these matters can be sought initially from Scottish Natural Heritage or Scottish Government Species Licensing Team, Countryside and Heritage Unit, Victoria Quay, Edinburgh.

ADDED VALUE:

Design, layout and/or external material improvements have been achieved during the processing of the application to ensure the proposal complies with the Council's Local Plan policies.

Conditions have been added that are necessary to control or enhance the development and to ensure the proposal complies with the Council's Local Development Plan policies.

BACKGROUND PAPERS:

Further information on background papers can be obtained from Mr Derek Scott on 0141 577 3861.

Ref. No.: 2020/0202/TP
(DESC)

DATE: 17th June 2021

DIRECTOR OF ENVIRONMENT

Finalised 17th June 2021 – AC(1)

Reference: 2020/0202/TP - Appendix 1

DEVELOPMENT PLAN:

Strategic Development Plan

This proposal raises no strategic issues in terms of the Glasgow and the Clyde Valley Strategic Development Plan and therefore the East Renfrewshire Local Plan is the relevant policy document

Adopted East Renfrewshire Local Development Plan

Policy D1

Detailed Guidance for all Development

Proposals for development should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. In some cases, where the criteria have not been met, a written justification will be required to assist with assessment.

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. The proposal should be of a size, scale, massing and density that is in keeping with the buildings in the locality and should respect local architecture, building form, design, and materials;
3. The amenity of neighbouring properties should not be adversely affected by unreasonably restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Planning Guidance;
4. The development should not impact adversely on landscape character or the green network, involve a significant loss of trees or other important landscape, greenspace or biodiversity features;
5. Developments should incorporate green infrastructure including access, landscaping,

greenspace, water management and Sustainable Urban Drainage Systems at the outset of the design process. Where appropriate, new tree or shrub planting should be incorporated using native species. The physical area of any development covered by impermeable surfaces should be kept to a minimum to assist with flood risk management. Further guidance is contained within the Green Network and Environmental Management Supplementary Planning Guidance;

6. Development should create safe and secure environments that reduce the scope for anti-social behaviour and fear of crime;
7. Developments must be designed to meet disability needs and include provision for disabled access within public areas;
8. The Council will not accept 'backland' development, that is, development without a road frontage;
9. Parking and access requirements of the Council should be met in all development and appropriate mitigation measures should be introduced to minimise the impact of new development. Development should take account of the principles set out in 'Designing Streets';
10. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the development;
11. Developments should include provision for the recycling, storage, collection and composting of waste materials;
12. Where possible, all waste material arising from construction of the development should be retained on-site for use as part of the new development;
13. Where applicable, new development should take into account the legacy of former mining activity;
14. Development should enhance the opportunity for and access to sustainable transportation, including provision for bus infrastructure, and particularly walking and cycle opportunities including cycle parking and provision of facilities such as showers/lockers, all where appropriate. The Council will not support development on railways solums or other development that would remove opportunities to enhance pedestrian and cycle access unless mitigation measures have been demonstrated;
15. The Council requires the submission of a design statement for national and major developments. Design statements must also be submitted in cases where a local development relates to a site within a conservation area or Category A listed building in line with Planning Advice Note 68: Design Statements.
16. Where applicable, developers should explore opportunities for the provision of digital infrastructure to new homes and business premises as an integral part of development.

Policy D3

Green Belt and Countryside Around Towns

Development in the green belt and countryside around towns as defined in the Proposals Map, will be strictly controlled and limited to that which is required and is appropriate for a rural location and which respects the character of the area.

Where planning permission is sought for development proposals, within the green belt or countryside around towns and these are related to agriculture, forestry, outdoor recreation, renewable energy and other uses appropriate to the rural area, the Council will consider them sympathetically subject to compliance with other relevant policies of the Plan. Any decision will, however, take into consideration the impact the proposals will have on the function of the green

belt and countryside around towns and the viability of important agricultural land. Development must be sympathetic in scale and design to the rural location and landscape.

Further detailed information and guidance is provided in the Rural Development Guidance Supplementary Planning Guidance.

Strategic Policy 2

Assessment of Development Proposals

Proposals for new development, other than smaller scale proposals (such as applications for single houses, householder or shop frontage alterations), will be assessed against relevant criteria below as well as Policy D1:

1. Application of a sequential approach which gives priority to the use of Brownfield sites within the urban area then to Greenfield land within the urban area and finally to land adjacent to the urban area. Sites within the green belt will only be considered where it has been demonstrated that a suitable site does not exist within the urban area;
2. Provision of a mix of house types, sizes and tenures to meet housing needs and accord with the Council's Local Housing Strategy and the Glasgow and Clyde Valley Strategic Housing Need and Demand Assessment;
3. Resulting positive community and economic benefits;
4. The impact on the landscape character as informed by the Glasgow and Clyde Valley and the East Renfrewshire Landscape Character Assessments, the character and amenity of communities, individual properties and existing land uses;
5. The impact on existing and planned infrastructure;
6. The impact upon existing community, leisure and educational facilities;
7. The transport impact of the development on both the trunk and local road network and the rail network, taking into account the need for a transport assessment and the scope for green transport and travel plans;
8. The impact on the built and natural environment, including the green belt and green network taking into account the need for an Environmental Impact Assessment and the requirement for proposals to provide a defensible green belt boundary and links to the green network;
9. The impact on air, soil, including peat and water quality and avoiding areas where development could be at significant risk from flooding and/or could increase flood risk elsewhere;
10. The potential for remedial or compensatory environmental measures including temporary greening;
11. The contribution to energy reduction and sustainable development.
12. The impact on health and well being;
13. The cumulative impact of the development;
14. The impact of proposals on other proposals or designations (including the Town and Neighbourhood Centres in Schedule 14) set out in the Local Development Plan;
15. The suitability of proposals when assessed against any relevant Adopted Supplementary Planning Guidance.

Proposed Local Development Plan 2

Policy D1

Placemaking and Design

Proposals for development within the urban and rural areas should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. Proposals will be assessed against the 6 qualities of a successful place as outlined in SPP, Designing Streets and the Placemaking and Design Supplementary Guidance.

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. The proposal should be appropriate to its location, be high quality and of a size, scale, height, massing and density that is in keeping with the buildings in the locality or appropriate to the existing building and should respect local architecture, building form and design;
3. Respect existing building lines and heights of the locality;
4. Create a well-defined structure of streets, public spaces and buildings;
5. Ensure the use of high quality sustainable and durable materials, colours and finishes that complement existing development and buildings in the locality;
6. Respond to and complement site topography and not impact adversely upon the green belt and landscape character, green networks, features of historic interest, landmarks, vistas, skylines and key gateways. Existing buildings and natural features of suitable quality, should be retained and sensitively integrated into proposals including greenspace, trees and hedgerows;
7. Boundary treatment and landscaping should create a distinctive edge and gateway to the development and reflect local character;
8. Promote permeable and legible places through a clear sustainable movement hierarchy favouring walking, then cycling, public transport, then the private car as forms of movement;
9. Demonstrate connectivity through the site and to surrounding spaces via a network of safe, direct, attractive and coherent walking and cycling routes. These must be suitable for all age groups, and levels of agility and mobility to allow for ease of movement from place to place;
10. Demonstrate that safe and functional pedestrian, cycle and vehicular access, and parking facilities and infrastructure, including for disabled and visitor parking, is provided in accordance with the Council's Roads Development Guide. Where appropriate, proposals will be required to provide secure and accessible shelters, lockers, showers and seating and be designed to meet the needs of all users. Cycle parking and facilities should be located in close proximity to the entrances of all buildings to provide convenience and choice for users;
11. Incorporate integrated and enhance existing green infrastructure assets, such as landscaping, trees and greenspace, water management and SUDs including access and prioritise links to the wider green network as an integral part of the design process from the outset, in accordance with Policies D4 - D6. New green infrastructure must be designed to protect and enhance the habitat and biodiversity of the area and demonstrate a net gain;
12. There will be a general presumption against all proposals that involve landraising. Where there is a justifiable reason for landraising, proposals must have regard to the scale and visual impact of the resultant changes to the local landscape and amenity. Proposals that adversely impact upon the visual and physical connections through the site and to the

- surrounding areas will be resisted;
13. Backland development should be avoided;
 14. Provide safe, secure and welcoming places with buildings and spaces, including open spaces, play areas and landscaping, designed and positioned to reduce the scope for anti-social behaviour and fear of crime, improve natural surveillance, passive overlooking, security and street activity;
 15. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by unreasonably restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Guidance;
 16. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the proposal;
 17. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by noise, dust, pollution and smell or poor air quality;
 18. Ensure buildings and spaces are future proof designed to be easily adaptable and flexible to respond to changing social, environmental, technological, digital and economic conditions;
 19. Incorporate provision for the recycling, storage, collection and composting of waste materials; and
 20. Incorporate the use of sustainable design and construction methods and materials in the layout and design to support a low carbon economy.

Proposals must meet the requirements of any development brief prepared by the Council for an allocated site.

Further detailed guidance and information will be set out in the Placemaking and Design Supplementary Guidance, Householder Design Supplementary Guidance and the Daylight and Sunlight Design Supplementary Guidance.

Policy D3

Green Belt and Countryside around Towns (CAT)

Development in the green belt and Countryside around Towns (CAT), shown on the Proposals Map, will be strictly controlled and limited to that which is required and is appropriate for a rural location. Proposals will require to demonstrate that they are appropriate in terms of scale, size, design, layout and materials, to their rural location and compatible with adjoining and neighbouring uses.

Proposals should be designed to complement the surrounding landscape ensuring that there are no adverse landscape or visual impacts, seek to ensure that the integrity of the landscape character and setting is maintained or enhanced as informed by the Council's Green Belt Landscape Character Assessment (LCA). Proposals should not be suburban in character or scale and should have no adverse impacts upon the amenity of the surrounding rural area.

Development within the green belt or countryside around towns, including changes of use or conversions of existing buildings, will be supported in principle where it is for agriculture; forestry; equestrian; countryside recreation and active travel; outdoor leisure and tourism, including

holiday accommodation; economic and farm diversification; and renewable energy and infrastructure such as minerals, digital communications infrastructure and electricity grid connections that have a site specific and operational need for a rural location, subject to compliance with other relevant policies of the Proposed Plan.

Proposals should make use of existing or replacement buildings whenever possible. Where it is demonstrated that this is not achievable and where a new building, structure or dwelling is proposed it should be commensurate with the functional requirement of the business, should be sited adjacent to other existing buildings and within the boundary of the established use. Any proposal that involves a business which requires a new building will also have to demonstrate that it is established and/or viable for a minimum period of 3 years at that location.

Further detailed guidance and information will be set out in the Rural Development and the Placemaking and Design Supplementary Guidance.

Strategic Policy 1

Development Strategy

Proposals will be required to meet the objectives of the Proposed Plan and contribute to the delivery of the Development Strategy in order to create sustainable, well designed, connected, healthy, safe and mixed communities and places. Proposals should be designed to promote the health and wellbeing benefits of the development for people of all ages, abilities and backgrounds and demonstrate economic, social and environmental benefits. Proposals should not result in a significant adverse loss of character or amenity to the surrounding area.

The Council's approach to development is as follows:

1. Regeneration, consolidation and environmental enhancement of the urban areas through the provision of an efficient and sustainable use of land, buildings and infrastructure that encourages the re-use of brownfield and vacant sites, in keeping with a sequential approach and in accordance with other relevant policies of the Proposed Plan;
2. Master planned approach to development at the following Strategic Development Opportunity locations:
 - a. Maidenhill/Malletsheugh, Newton Mearns (Policy M2.1);
 - b. Barrhead South - Springhill, Springfield, Lyoncross (Policy M2.2);
 - c. Barrhead North - Shanks/Glasgow Road, Barrhead (Policy M3);
3. Infill development within the rural settlements compatible with the character, amenity and settlement pattern;
4. Phased release of sites to make efficient use of existing infrastructure and ensure the coordinated delivery of new infrastructure and investment, including schools; green infrastructure; transport infrastructure; community and leisure facilities; and health and care facilities all in accordance with Strategic Policy 2. Proposals for windfall sites will be required to provide the required infrastructure resulting from development in accordance with Strategic Policy 2 and not prejudice the delivery of allocated sites. Where infrastructure constraints cannot be overcome, including any impacts of additional residential development upon education infrastructure, proposals will not be supported;
5. Implementation of City Deal strategic infrastructure projects set out in Strategic Policy 3 and Schedule 1 and other major infrastructure programmes;

6. Protection and enhancement of the green belt and landscape character and setting and the distinct identity of towns and villages in accordance with Policies D2 and D3;
7. Protection, creation and enhancement of an integrated multi-functional green network and connected green spaces within and around the urban areas which actively contribute to local amenity, recreation, active travel and biodiversity objectives in accordance with Policies D4 and D6;
8. Protection and enhancement of the built, historic and natural environment in accordance with Policies D7 and D14 to D20;
9. Provision of homes to meet the all tenure housing requirements of Clydeplan (Table 1) in accordance with Policies SG1, SG2 and SG4. The sites listed in Schedules 15 and 16 will provide a range and choice of housing sizes, types and tenures across the Council area to meet these requirements in accordance with the Strategic Housing Need and Demand Assessment and the Council's Local Housing Strategy;
10. Sustainable and inclusive economic growth and community benefits, including the creation of new employment opportunities through the provision of a range of sites and areas to provide a strong and diverse economy in both the urban and rural areas, in accordance with Policies SG5,SG6 and SG7;
11. Maintaining and enhancing the vitality and viability of the town and neighbourhood centres by adopting a town centre first approach that directs development and investment to town and neighbourhood centre locations in accordance with Policies SG10 and SG11; and
12. The contribution to energy reduction and sustainable development in accordance with Policies E1 and E2.

GOVERNMENT GUIDANCE:

Scottish Planning Policy on Rural Development in the pressurised areas easily accessible from Scotland's cities and main towns, where ongoing development pressures are likely to continue, it is important to protect against an unsustainable growth in car-based commuting and the suburbanisation of the countryside, particularly where there are environmental assets such as sensitive landscapes or good quality agricultural land. Plans should make provision for most new urban development to take place within, or in planned extensions to, existing settlements. In remote and fragile areas outwith defined small towns the emphasis should be on maintaining and growing communities by encouraging development that provides suitable sustainable economic activity, while preserving important environmental assets such as landscape and wildlife habitats that underpin continuing tourism visits and quality of place. In areas of intermediate accessibility and pressure for development, plans should be tailored to local circumstances, seeking to provide a sustainable network of settlements and a range of policies that provide for additional housing requirements, economic development, and the varying proposals that may come forward, while taking account of the overarching objectives and other elements of the plan.

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**DECISION NOTICE
AND
REASONS FOR REFUSAL**

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EAST RENFREWSHIRE COUNCIL

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
(AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(SCOTLAND) REGULATIONS 2013**

CONDITIONAL PLANNING APPROVALREF NO. **2020/0202/TP****Applicant:**

Mr Kenny Neison
27 Courthill Avenue
Cathcart
Glasgow
Scotland
G44 5AA

Agent:

Brian McGinlay
Basement Suite 27
50 Wellington Street
Glasgow
United Kingdom
G2 6HJ

With reference to your application registered on 18th January 2021 for the following development:-

Erection of cycle hub/hire centre incorporating cafe with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; change of use and alterations to dwellinghouse to form holiday letting apartments(Amended Plans)

at: Red House 438 Ayr Road Loganswell East Renfrewshire G77 6RY

The Council in exercise of its powers under the above Acts and Regulations now grant planning permission for the above development in accordance with the particulars given in the application and the plans listed below.

To comply with the provisions of Section 58 of the above Act, the development must be begun not later than the expiration of three years beginning with the date of this permission. Any condition(s) attached to this consent, with the reasons for imposing them as shown below.

The reason(s) why the Council made this decision are as follows:

1. The development is considered to generally comply with the development plan policy and where it does not fully comply there are material considerations to indicate the development should be approved as detailed in the Report of Handling.

The approval is subject to the following condition(s):-

1. The development hereby approved shall cease on 18th June 2026. At the end of the period of permission, the building(s) shall be removed and the land restored to its former condition.

Reason: To allow the Planning Authority to monitor the use of the site and to ensure that the proposal is viable and the use remains appropriate to the rural location.

2. Development shall not commence until samples of materials to be used on all external surfaces of the building and hard surfaces have been submitted to and approved in writing by the planning authority. Thereafter the development shall be implemented in accordance with the approved details.

Reason: To ensure the development is acceptable in appearance.

3. Development shall not commence until details and location of all walls (including retaining walls) and fences to be erected on the site have been submitted to and approved in writing by

the planning authority. Thereafter the development shall be implemented in accordance with the approved details.

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Reason: To ensure the development is acceptable in appearance.

4. Development shall not commence until detailed levels, diagrams and sections, showing the existing and proposed levels throughout the site and finished floor levels in relation to a fixed datum point have been submitted to and approved in writing by the planning authority. Thereafter the development shall be constructed in accordance with the approved levels, diagrams and sections.

Reason: To ensure that the levels are acceptable at this location.

5. Development shall not commence until a scheme of hard and soft landscaping works has been submitted to and approved in writing by the Planning Authority. Details of the scheme shall include (as appropriate):-

- i) Details of any earth mounding, hard landscaping, grass seeding and turfing;
- ii) A scheme of tree and shrub planting, incorporating details of the number, variety and size of trees and shrubs to be planted;
- iii) Details of the phasing of the landscaping works; and
- iv) Schedule of maintenance.

Thereafter the landscaping works shall be fully implemented as approved.

Reason: To ensure the implementation of a satisfactory scheme of landscaping to improve the environment quality of the development.

6. Visibility splays of metres by 2.5 metres by 120 metres in the primary direction and 2.5 metres by 100 metres in the secondary direction shall be provided at the junction of the new accesses with the existing road prior to the commencement of use hereby approved and thereafter maintained free from any obstructions exceeding a height of 1.05m above the adjacent road.

Reason: To enable drivers of vehicles leaving the site to have a clear view over a length of road sufficient to allow safe exit.

7. Prior to the commencement of any work on site, a swept path analysis, to demonstrate that the largest vehicle servicing the site can enter and exit in a forward gear, shall be submitted and approved in writing by the Planning Authority.

Reason: In the interest of public road safety.

8. The car-parking, as shown on approved plan reference L(--)/002 shall be completed, surfaced and delineated in all respects prior to the commencement of the use hereby approved.

Reason: To ensure that adequate car-parking is provided in the interest of public road safety.

9. There shall be no construction work or offloading of delivered materials at the development site outwith the hours of 0800 to 1900 Monday to Friday and 0800 to 1300 on Saturday with no working on Sunday or local or national public holidays unless minor and temporary amendments have been otherwise agreed in advance in writing by the planning authority. The starting up/warming up and shutting down of any construction machinery outwith these hours shall not be audible from the boundary of any noise sensitive property.

Reason: To prevent noise nuisance to the surrounding area.

10. Prior to commencement of any works on site, a comprehensive site investigation, carried out to the appropriate level, should be submitted to and accepted in writing by East Renfrewshire Council. This survey shall investigate all aspects of potential contamination, indicated by a Phase 1 Investigation (Desk-Study) of the site. If any contamination hazard is identified on the site, a site-specific risk assessment must be undertaken. Should any significant pollutant

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linkages be identified, a detailed remediation strategy must be developed. No works other than investigative works should be carried out on site prior to receipt of the Council's written acceptance of the remediation plan.

Reason: In the interests of public health and to protect users of the development and the wider environment from the effects of contamination.

11. Development shall not commence until exact details and specification of all ventilation and extraction systems to serve the premises, together with the proposed odour mitigation measures, have been submitted to and approved in writing by the planning authority. For the avoidance of doubt any noise from ventilation equipment or any other equipment associated with the premises must not exceed NR35 (as described in BS8233: 2014) as measured at any residential property during the hours of 0700 - 2300, or exceed NR25 between the hours of 2300 and 0700. Thereafter the approved details shall be fully implemented prior to the premises first opening and retained according to the approved details in perpetuity.

Reason: To protect adjacent residents from nuisance resulting from cooking odours.

12. A Waste Management Plan, detailing the storage and disposal of all waste from the site, shall be submitted and approved in writing by the Planning Authority. Thereafter, the premises shall be operated in accordance with the approved Waste Management Plan.

Reason: In the interest of environmental amenity.

13. The principles of Sustainable Urban Drainage Systems (SUDS) for the surface water regime shall be incorporated into the development. Development shall not commence until details of the surface water management and SUDS proposals have been submitted to and approved in writing by the planning authority. Thereafter the surface water management details shall fully be implemented as approved.

Reason: In the interests of sustainable development.

14. Development shall not commence until details of all external lighting (including details of the lighting units, the angle and intensity of illumination and hours of operation) have been submitted to and approved in writing by the planning authority. Thereafter the lighting shall be implemented as approved.

Reason: In order to ensure that the lighting is acceptable at this location and to protect the amenity of the surrounding area.

15. Existing trees and shrubs within the application site including trees and shrubs growing on the site's boundaries, shall not be felled, removed or disturbed in any way without the prior approval in writing by the planning authority.

Reason: To protect the existing trees and shrubs so that they continue to contribute to the environmental quality of the area and soften the impact of the development.

16. Prior to the commencement of any work on site, full details of the means of 24-hour supervision of the site shall be submitted and approved in writing by the Planning Authority. Those details shall include the type, number, location and field of vision of any CCTV cameras; the means of monitoring the feeds from those cameras; and the detailed means of response to any emergency or disturbance within the site. Thereafter the management of the site shall be effected in accordance with the approved details.

Reason: To ensure the effective management of the site on a 24-hour basis in the interest of public safety and residential amenity.

17. Development shall not commence until details of the phasing of the development have been submitted to and approved in writing by the planning authority. Thereafter the development shall be implemented in accordance with the approved phasing scheme.

Reason: In order to ensure a properly programmed development.

Dated 17th June 2021



Director of Environment
 East Renfrewshire Council
 2 Spiersbridge Way,
 Spiersbridge Business Park,
 Thornliebank,
 G46 8NG
 Tel. No. 0141 577 3001

The following drawings/plans have been approved

Plan Description	Drawing Number	Drawing Version	Date on Plan
Location Plan	L(--)001		
Block Plan Proposed	L(--)002		
Plans Proposed	L(--)003		
Plans Proposed	L(--)004	E	
Plans Proposed	L(--)050	G	
Plans Proposed	L(--)051	F	
Plans Proposed	L(--)052	B	
Elevations Proposed	L(--)250		
Elevations Proposed	L(--)310		
Plans Proposed	L(--)100	A	
Plans Proposed	L(--)120	A	
Plans Proposed	L(--)121	A	
Plans Proposed	L(--)122	A	
Plans Proposed	L(--)123	A	
Plans Proposed	L(--)124	A	
Plans Proposed	L(--)125	A	
Plans Proposed	L(--)150	A	
Elevations Proposed	L(--)300	A	

Notes

Planning Officials may monitor the site during the course of development to ensure compliance with the planning permission hereby granted.

It should be understood that this planning permission does not carry with it any approval which may be necessary under the Building (Scotland) Act 2003 or any other enactment.

No materials or skips should be placed on the footpath / road without the prior written consent of East Renfrewshire Council Roads and Transportation Service, 2 Spiersbridge Way, Spiersbridge Business Park, Thornliebank, East Renfrewshire, G46 8NG.

It is the applicants responsibility to obtain approval of neighbouring landowners should any part of the development encroach over the boundary or if entry is required during construction.

The applicant is required to comply with the European Council's Directive 92/43/EEC on the Conservation of Natural Habitats, the Wildlife and Countryside Act 1981 (as amended) and the Nature Conservation (Scotland) Act 2004 which provide full protection for certain plant and animal special and European Protected Species. It is illegal to capture, kill, disturb any such animal, damage or destroy breeding or nesting sites or eggs or deliberately or recklessly pick, collect, cut, uproot or destroy European Protected Species of wild plant. In addition, where it is proposed to carry out works which will affect European Protected Species or their shelter/breeding places, a licence is required from the Scottish Government. Further information on these matters can be sought at Scottish Government Species Licensing Team, Countryside and Heritage Unit, Victoria Quay, Edinburgh or from Scottish Natural Heritage.

Information on home and property crime prevention advice can be found at www.securedbydesign.com/aware.

The applicant is required to consult East Renfrewshire Council Protective Services regarding compliance with the provisions of the Health & Safety at Work Etc Act 1974 and the Food Safety Act 1990.

The applicant is requested to comply with the requirements of Scottish Environment Protection Agency (SEPA).

East Renfrewshire Council Roads Service should be consulted regarding a Road Opening Permit for service connections and footway crossover.

In addition to planning legislation, I would draw your attention to the provisions of the Nature Conservation (Scotland) Act 2004 and the Wildlife and Countryside Act 1981 with regard to the protection of Wildlife and, in particular, the needs to ensure that all works are preceded by a check for nesting birds. It is a criminal offence to intentionally or recklessly damage, destroy or otherwise interfere with any wild bird nest which is in use or being built or, which, at any other time, is habitually used by certain birds protected by special penalties. Where it is proposed to carry out works which will affect European Protected Species (including bats) or their shelter/ breeding places, checks should first be made by an appropriate bat surveyor. In the event a protected species would be affected a licence is required from the Scottish Government. Further information on these matters can be sought initially from Scottish Natural Heritage or Scottish Government Species Licensing Team, Countryside and Heritage Unit, Victoria Quay, Edinburgh.

GUIDANCE NOTES FOR 'LOCAL' DEVELOPMENTS
DETERMINED UNDER DELEGATED POWERS

NOTICES

Notification of Intention of Development

Once planning permission has been granted and you have decided when to start work on the development, it is a requirement that you inform the Council's Planning Service of that date. The Notice of Intention of Development form must be submitted before work starts and failure to do so would constitute a breach of planning control. This form is included in the decision pack and is also available to download from the Council's website at www.eastrenfrewshire.gov.uk.

Notification of Completion of Development

Once the development has been completed you must, as soon as practicable, submit a Notice of Completion of Development to the Council's Planning Service. Where a development is carried out in phases, you are required to submit a notice at the conclusion of each phase. This form is included in the decision pack and is also available to download from the Council's website.

OTHER INFORMATION

Variation of Planning Permissions

Applications may be varied provided there is not a substantial change to the development. Where there is a substantial change, a new planning application should be submitted.

To apply for a Variation of Planning Permission you must fill in a Non-Material Variation form and submit 2 sets of amended plans to the Council's Planning Service. A decision letter will be issued by the Council's Planning Service. The Non-Material Variation form is available from the Council's Planning Service at the contact details below.

Fulfilment of Conditions

Any conditions attached to your planning permission require to be complied with, which may involve discharging the terms of the conditions before the development commences. Failure to discharge the conditions before the development commences may affect the legality of your development.

To discharge the relevant conditions please complete the enclosed 'Approval of Conditions attached to Planning Permission' form and submit it and the relevant information to the Planning Service. Once submitted and considered you will receive a decision notice from the Council.

It should be noted that you can apply to discharge more than one condition at a time.

REVIEW BY EAST RENFREWSHIRE COUNCIL'S LOCAL REVIEW BODY

1. If the applicant is aggrieved by a decision to refuse permission (or by an approval subject to conditions), the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. A Notice of Review can be submitted online at www.eplanning.scotland.gov.uk. Please note that beyond the content of the appeal or review forms, **you cannot normally raise new matters** in support of an appeal or review, unless you can demonstrate that the matter could not have been raised before, or that its not being raised before is a consequence of exceptional circumstances. Following submission of the notice, you will receive an acknowledgement letter informing you of the date of the Local Review Body meeting or whether further information is required.
2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase

notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997. 87

CONTACT DETAILS

East Renfrewshire Council
Development Management Service
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG
General Inquiry lines 0141 577 3895 or 0141 577 3878
Email planning@eastrenfrewshire.gov.uk

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**NOTICE OF REVIEW
AND
STATEMENT OF REASONS**

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100199966-002

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	North Planning and Development Ltd		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	Graeme	Building Name:	Tay House, 2nd Floor
Last Name: *	Laing	Building Number:	300
Telephone Number: *	0141 212 2626	Address 1 (Street): *	Bath Street
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	Glasgow
Fax Number:	<input type="text"/>	Country: *	UK
		Postcode: *	G2 4JR
Email Address: *	graeme@northplan.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="Kenny"/>	Building Number:	<input type="text" value="27"/>
Last Name: *	<input type="text" value="Neison"/>	Address 1 (Street): *	<input type="text" value="Courthill Avenue"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text" value="Cathcart"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Glasgow"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="UK"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="G44 5AA"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="[REDACTED]"/>		

Site Address Details

Planning Authority:	<input type="text" value="East Renfrewshire Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="48 PAIDMYRE ROAD"/>
Address 2:	<input type="text" value="NEWTON MEARNES"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="GLASGOW"/>
Post Code:	<input type="text" value="G77 5AJ"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="655230"/>	Easting	<input type="text" value="253824"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Erection of cycle hub/hire centre incorporating cafe with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; change of use and alterations to dwellinghouse to form holiday letting apartments.

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Appeal against Condition 1 of Planning Permission 2020/0202/TP granted by East Renfrewshire Council. Please refer to enclosed grounds of appeal.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Please refer to enclosed document list.

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

2020/0202/TP

What date was the application submitted to the planning authority? *

18/01/2021

What date was the decision issued by the planning authority? *

18/06/2021

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Graeme Laing

Declaration Date: 02/08/2021

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DOCUMENT LIST

On behalf of Mr Kenny Neison

Appeal against Condition 1 of Planning Permission 2020/0202/TP by East Renfrewshire Council for:

Erection of cycle hub/hire centre incorporating café with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; change of use and alterations to dwellinghouse to form holiday letting apartments at Red House, 438 Ayr Road, Loganswell, G77 6RY

Document Reference	Description
NPD1	Grounds of Appeal
NPD1	Planning Application Forms
NPD2	Report of Handling
NPD3	Decision Notice
NPD4	Circular 4 1998
NPD5	Design and Access Statement
NPD6	Bothy Type 6 Technical Section
NPD7	Render Image South Approach
NPD8	Render Image Bothies
NPD9	Site Plan as Proposed
NPD10	Site Roof Plan as Proposed
NPD11	Area Plan as Proposed
NPD12	Cycle Hub Site Layout as Proposed
NPD13	Cycle Hub Roof Layout as Proposed
NPD14	Cycle Hub Ground Floor Plan as Proposed
NPD15	Red House Plans as Proposed
NPD16	Bothy Type 1
NPD17	Bothy Type 2
NPD18	Bothy Type 3
NPD19	Bothy Type 4
NPD20	Bothy Type 5
NPD21	Bothy Type 6
NPD22	Wash Block Drawings as Proposed
NPD23	Cycle Hub Site Elevation as Proposed
NPD24	Red House Elevations as Proposed
NPD25	Site Elevation as Proposed
NPD26	Site Sections as Proposed
NPD27	Site Location Plan
NPD28	Site Plan as Existing
NPD29	Site Roof Plan as Existing
NPD30	Area Plan as Existing
NPD31	Site Plan Downtakings
NPD32	Red House Plans as Existing
NPD33	Clan House Plans as Existing
NPD34	Stable Plans as Existing
NPD35	Clan House Sections as Existing
NPD36	Stable Sections as Existing
NPD37	Red House Elevations as Existing
NPD38	Stable Elevations as Existing
NPD39	Site Sections as Existing
NPD40	Business Plan

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Appeal Statement

Appeal against Condition 1 of Planning Permission 2020/0202/TP by East Renfrewshire Council for:

Erection of cycle hub/hire centre incorporating café with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; change of use and alterations to dwellinghouse to form holiday letting apartments at Red House, 438 Ayr Road, Loganswell, G77 6RY

Appeal on behalf of Mr Kenny Neison

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Quality Standards Control

The signatories below verify that this document has been prepared in accordance with our quality control requirements. These procedures do not affect the content and views expressed by the originator.

This document must only be treated as a draft unless it is has been signed by the Originators and approved by a Director.

DATE	ORIGINATORS	APPROVED
2 nd August 2021	Graeme Laing Director	David Campbell Director
		
	_____	_____

Limitations

This document has been prepared for the stated objective and should not be used for any other purpose without the prior written authority of North Planning & Development; we accept no responsibility or liability for the consequences of this document being used for a purpose other than for which it was commissioned.

EXECUTIVE SUMMARY

An appeal is being made to East Renfrewshire Council's Local Review Body by our client, Mr Kenny Neison, against Condition no.1 of planning permission 2020/0202/TP and by way of this appeal we are seeking the deletion of this condition.

Planning permission was granted under delegated powers on the 17th June 2021 for the following development:

“Erection of cycle hub/hire centre incorporating café with formation of car park, erection of 8 bothy buildings at rear, erection of wash block building, change of use and alterations to dwellinghouse to form holiday letting apartments at Red House, 438 Ayr Road, Loganswell, G77 6RY”

Planning permission was granted subject to 17 no. conditions and whilst the applicant/appellant has no objection to 16 of those conditions, our client is appealing against the imposition of Condition no.1 which has the effect of making the planning permission temporary for 5 years, after which the consented development must cease.

The development proposed and which has been consented is in line with planning policy, will re-activate a former tearoom as a facility to serve cyclists using the popular A77 cycle route, and which will support tourism, recreation, active travel and healthy lifestyles, and all in the East Renfrewshire countryside. The consented development involves our client making a significant investment in the Council area, with consequential economic benefits, including direct and indirect job creation together with the further promotion of the A77 cycle route. However, condition no.1 of the planning permission needs to be removed for the proposals to be implemented and for these various benefits to be realised.

Unfortunately, Condition no.1 renders the implementation of the development unviable and in effect nullifies the benefit of the planning permission. Consequently, our client's appeal seeks the deletion of the condition and through this appeal submission, it is demonstrated that the condition imposed is neither necessary or reasonable and does not meet the requirements of Scottish Government Planning Circular 4/1998: 'The Use of Conditions in Planning Permissions'.

1.0 INTRODUCTION

1.1 This Statement supports an appeal that is being made to East Renfrewshire Council's Local Review Body against Condition no.1 of planning permission 2020/0202/TP and by way of this appeal we are seeking the deletion of Condition no.1.

1.2 Planning permission was granted under delegated powers on the 17th June 2021 for the following development:

"Erection of cycle hub/hire centre incorporating café with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; change of use and alterations to dwellinghouse to form holiday letting apartments at Red House, 438 Ayr Road, Loganswell, G77 6RY"

1.3 The planning permission was granted subject to 17 conditions, and whilst the applicant welcomes the grant of planning permission, the effect of Condition no.1 is to render the proposed development unviable, effectively nullifying the benefit of the planning permission.

1.4 Condition no.1 establishes the following:

"The development hereby approved shall cease on 18th June 2026. At the end of the period of permission, the building(s) shall be removed and the land restored to its former condition.

Reason: To allow the Planning Authority to monitor the use of the site and to ensure that the proposal is viable and the use remains appropriate to the rural location"

1.5 This Statement demonstrates that Condition no.1 is unnecessary, unreasonable and does not meet the tests of planning conditions as required by Circular 4/1998, and so duly establishes the basis for the Local Review Body to agree the appeal and delete the condition.

2.0 THE APPEAL SITE

- 2.1 The site that is subject of this appeal accommodates the property known as the Red House, which is located approximately 1 km south of Newton Mearns at 438 Ayr Road, Loganswell. The Red House is a prominent and well-known local building, which is located immediately adjacent to and accessed from the A77 to the front, and with the M77 immediately to the rear.
- 2.2 The Design & Access Statement that accompanied the planning application explains that the Red House was originally constructed between 1898 and 1911 and is located at the former Loganswell Old Toll. Records confirm that over much of its 100+ years of history, the Red House has served as a stopping point for travellers, including drovers, on the Ayr Road/A77 route between Glasgow and Ayrshire. The photograph below is from the 1960's and shows the Red House in use as a tearoom.



- 2.3 Whilst the opening of the M77 in the early 2000's led to the A77/Ayr Road being de-trunked, with car, bus and HGV traffic reducing, this provided an opportunity for alterations to be carried out to the route, resulting in the formation of a fully segregated cycle lane, which has become a significant active travel asset, being extremely well used by cyclists, runners and walkers.

- 2.4 More recently the Red House has been used as a dwellinghouse and an interior design business which operated from the adjacent detached studio building, with this business use having been in place for approximately 20 years. Indeed, it is confirmed that commercial use has been in place here, for at least 15 years, by virtue of the planning permission which was granted in 2005 (ref. 2005/0528/TP) for the *'Erection of extension to existing Office'*.
- 2.5 The office use was operated by Clan Contract Interiors Limited, an interior design business, and our understanding is that the nature of the operation of that business is such that it can be deemed to fall within Class 2 (Financial and Professional Services) and/or Class 4 (Business) of the Use Classes Order.
- 2.6 If the use of the existing premises was accepted as a Class 2 (Financial and Professional services) use then it would be allowable to change to a Class 1 (Shop) under permitted development rights, without the need for planning permission. The Local Review Body will be aware that cafes and coffee shops are often accepted as Class 1 uses, as the primary elements are often for the sale of food and drink for consumption off the premises, with some limited sit-in as an ancillary element.
- 2.7 Alternatively, if the existing use was deemed to fall within Class 4 (Business) then it would be allowable to change to a Class 6 (Storage and Distribution) use under permitted development rights without the need to obtain planning permission. This helps to illustrate the types of commercial activities which are permitted to take place on the appeal site, without there being any need for planning permission and without any restriction or control.

3.0 THE PROPOSAL

- 3.1 The planning officers Report of Handing describes the proposals that now benefit from planning permission as:

“Planning permission is sought for the erection of cycle hub/hire centre incorporating cafe with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; and for the change of use and alterations to dwellinghouse to form holiday letting apartments. The existing outbuildings are to be removed. A set of photo-voltaic panels are proposed to be installed between the fifth and sixth bothy building towards the rear of the site.

The hire centre and cafe is proposed to be located in the west of the site on the site of the existing stable block. It is a single storey building, measures 24 metres by 15 metres and is arranged around a central open courtyard. It comprises a series of dual pitch roofs and is externally finished in corrugated roofing panels and white brick. As well as the cafe, it will include WCs and cycle storage. A new service access is proposed in front of the hire centre/cafe.

The car-park is proposed to be located immediately to the west of the existing dwelling. It is accessed via a new vehicular access from the A77.

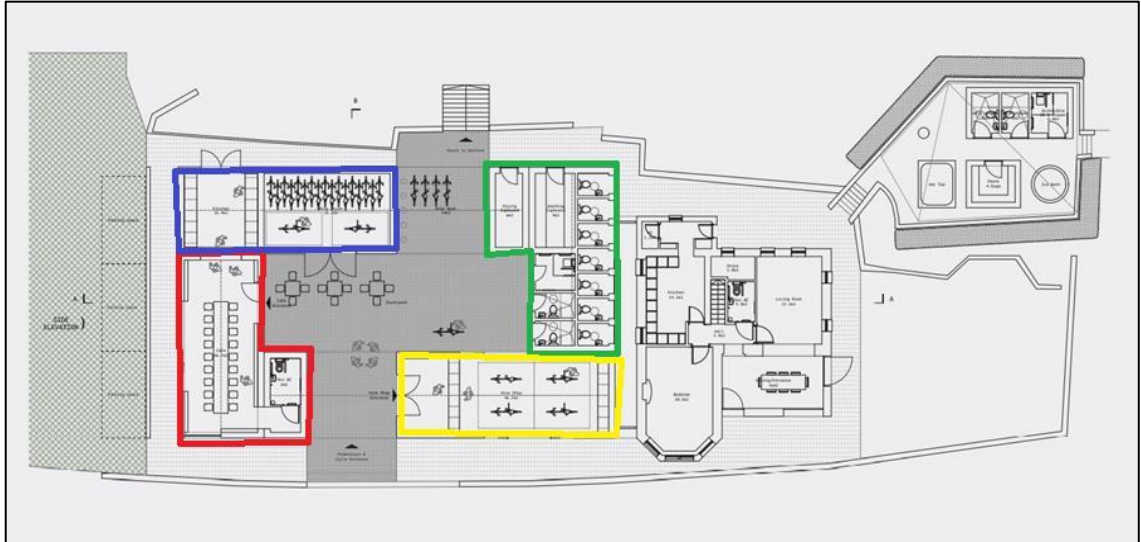
The change of use and alterations to the dwelling include the removal of the front conservatory and the erection of a flat-roofed front extension housing an entrance hall/dining area; and to permit its use as holiday let accommodation. The extension is proposed to be externally finished in red painted brick to match the existing.

The bothy buildings are proposed to be located to the rear of the hire centre and former dwelling, in the former garden area. They are of varying designs and sizes sleeping 1, 2, 4 and 10 persons. In some of the bothy designs the bed spaces are on an upper mezzanine level, accessed via a ladder. The bothies are connected to the hire centre/cafe via a series of paths. The former garden area is proposed to be landscaped with wild grass.

A WC/shower block, sauna, hot tub and ice bath are proposed to be located to the north-east of the existing house”

- 3.2 The Design and Access Statement that accompanied the planning application provides further detail of the proposals, and with particular regard to the cycle hub and café, it explains that this is comprised of four blocks, arranged in a pinwheel plan around a small, intimate courtyard.

- 3.3 The two blocks facing the front of the site will contain the cycle hire shop and the supporting café space while the two ancillary blocks to the rear will house the wash block and bike storage. The washblock is intended to be used by cyclists and people staying in the Bothies. To the far right is an additional wash block that contains a sauna, ice bath and hot tub. The plan below shows the cycle hire shop in yellow, the washblock in green, the bike storage area in blue and the café in red.



- 3.4 The plan also shows the former dwellinghouse (Red House) which is adjacent to the cycle hub and which would be altered and converted into a self-catering holiday apartment. The associated the WC/shower facilities, sauna, hot tub and ice bath are also shown to the north-east.
- 3.5 Together, all of these elements combine to form a carefully considered cycling hub, providing a series of complementary, interdependent and integrated facilities. Our client's submitted business plan demonstrates the viability of our client's business as a whole and the importance of providing all of the component parts, without these being the subject of unreasonable restrictions.

4.0 REPORT OF HANDLING AND COUNCIL DECISION

- 4.1 While our client very much welcomes the fact that planning permission was granted, the terms of Condition no.1 completely undermine the benefit of the planning permission and, in itself, the condition constrains and prejudices the viability of the proposals. As such, without the deletion of this condition, the consented development cannot proceed. Our client has no concerns with any of the other 16 no. planning conditions that are attached to the permission.
- 4.2 Before setting out our client's specific grounds of appeal (in part 5.0 of this Statement), which explain why Condition no.1 should be deleted, it is important to highlight the following key parts of the planning officers Report of Handling, which assesses the proposed development:

"The former trunk road has been narrowed and cycle lanes provided in each direction. It forms part of core path network as defined in the Local Development Plan"

"Although the wider area is generally rural in character, there is an existing dwelling immediately adjacent to the site to the south-west and a golf course lies opposite. Other significant developed structures in the vicinity are the M77 motorway and the A77 former trunk road"

"The application requires to be assessed against Strategic Policy 2 and Policies D1 and D3 of the adopted East Renfrewshire Local Development Plan"

"Given the nature of the proposed development and the emphasis on outdoor pursuits and leisure accommodation, it is considered that the application site, being a previously developed site in the rural area, is appropriate. The proposal would not therefore offend the sequential approach to site selection as set out in Strategic Policy 2"

"The proposal for cycle hub and accommodation bothies is considered to be an appropriate rural use in terms of Policy D3"

"It is located in close proximity to the network of core paths which support outdoor recreation and cycling in particular. Given its location is contained in an envelope between two major roads, the M77 and A77; there would be no significant impact of the function of the green belt or the viability of agricultural land. The landscape character at this location of the location is severely compromised by adjacent motorway and the proposal would not impact on the landscape setting"

"In terms of Policy D1, the proposed development is considered to be acceptable in appearance and would not detract from the visual amenity or character of the rural area."

"The proposal is therefore considered to comply with the terms Policy D1"

“In conclusion, the proposal complies with the terms of the adopted East Renfrewshire Local Development Plan. There are no material considerations that indicate the application should not be approved. It is therefore recommended that the application is approved subject to the conditions set out below”

- 4.3 The Report of Handling also confirms that there were no objections from consultees, including the Council’s Environmental Health and Roads Services, and that the visual impact of the development is acceptable; that no direct overlooking, additional overshadowing or impact on daylight will result; and that there will be no adverse noise impacts. It also comments on our client’s submitted Business Plan and at page 2 comments:

“A business plan and projected profit and loss accounts have been submitted that indicate the proposed business as a whole is viable”.

- 4.4 All of the above points demonstrate that the proposals are entirely acceptable, and these various considerations contributed towards planning permission being granted. However, the following comment is also in the Report of Handling:

“It is noted that the proposal includes a café which in itself would not be in keeping with the policies for the rural area. However as outlined above, the tourism and leisure facilities are acceptable in this location and the café, although a significant contribution to the income stream, could be acceptable as part of the overall proposal. It is therefore considered appropriate to condition the consent, in the first instance, for a temporary period of five year to ensure that the tourism and leisure facilities are viable and that the business overall can be established”

- 4.5 This statement will be interrogated further in the next part of this Statement (Part 5.0), particularly as the principle point of our client’s appeal relates to the imposition of a condition restricting the permission to five years. However, in the first instance we would highlight the fact that there is no substantiation or justification for the planning officer’s assertion that a café is inevitably not in keeping with the policies of the rural area.
- 4.6 The Local Review Body will be aware that there are numerous examples across East Renfrewshire Council where cafés are located in rural areas, forming part of wider over-arching uses. These include Caulders Garden Centre to the south of Newton Mearns, Whitelee Windfarm Visitor Centre, and at the Mearns Castle Golf Academy.
- 4.7 As far as we are able to ascertain, these café uses were judged to be ancillary or a component part of a mixed use development, and none are subject to the restrictions which have been imposed on our client as per Condition 1 of planning permission 2020/0202/TP. The café proposed at the Red House is no different to these other cafes, forming part of a complementary range of uses that make up the whole. In fact one could reasonably argue that the proposed café is far more important to the overall functioning of our client’s proposals, and unlike garden centres and golf ranges,

where café's are not a necessity to the core business, the proposed café will support the proposed bothies whilst also providing refreshments for cyclists. It is therefore an integral part of our client's cycling hub proposals and should not be separated out or made the subject of restrictions which make it unviable.

- 4.8 As such, we consider that our client's proposals should be treated in the same way as the aforementioned examples and not burdened by a restrictive, unnecessary and unreasonable condition. Our view is further supported by the fact that the imposition of Condition 1 is entirely at odds with the Report of Handling's comments, which confirm acceptance of our client's business plan and comments that the proposals as a whole are viable.

5.0 GROUNDS OF APPEAL

- 5.1 This appeal Statement concerns Condition no.1 of planning permission 2020/0202/TP, which establishes as follows:

“The development hereby approved shall cease on 18th June 2026. At the end of the period of permission, the building(s) shall be removed and the land restored to its former condition.

Reason: To allow the Planning Authority to monitor the use of the site and to ensure that the proposal is viable and the use remains appropriate to the rural location”

- 5.2 The appeal seeks the deletion of Condition no.1 as it renders our client's development unviable, critically undermines the benefit of the planning permission and is not in accordance with the requirements for planning conditions as set out in Scottish Government Circular 4/1998 ‘The Use Of Conditions In Planning Permissions’.
- 5.3 Circular 4/1998 ‘The Use Of Conditions In Planning Permissions’ establishes the following requirements when imposing conditions on a planning permission:

“Conditions imposed on a grant of planning permission can enable many development proposals to proceed where it would otherwise have been necessary to refuse planning permission. While the power to impose planning conditions is very wide, it needs to be exercised in a manner which is fair, reasonable and practicable. Planning conditions should only be imposed where they are:

- *necessary*
- *relevant to planning*
- *relevant to the development to be permitted*
- *enforceable*
- *precise*
- *reasonable in all other respects*

The Secretary of State attaches great importance to these criteria being met so that there is an effective basis for the control and regulation of development which does not place unreasonable or unjustified burdens on applicants and their successors in title”

5.4 The Circular requires conditions to meet all of these tests. The case for the deletion of Condition no.1 of 2020/0202/TP is primarily premised on the basis that it is neither 'necessary' nor 'reasonable in all other respects'. However, by association with failing these two tests, it could be extended that Condition no.1 also fails to meet the other requirements.

5.5 Circular 4/1998 also provides specific guidance on 'Reasons' for conditions and this is that:

"Reasons must be given for the imposition of every condition. It may be that more than one condition will be justified on the same basis, in which case it will be acceptable that such conditions be grouped together and justified by one reason. Reasons such as "to comply with the policies of the Council", "to secure the proper planning of the area" or "to maintain control over the development" are vague, and can suggest that the condition in question has no proper justification. The phrase "to protect amenity" can also be obscure and will often need amplification"

5.6 As established, for a planning condition to be acceptable and valid it must be in line and not be at odds within any of the above-mentioned six tests of conditions that are set out in the Circular, and the same applies to the associated reason for the condition. We will now consider Condition no.1 of planning permission 2020/0202/TP, and its associated reason, against each of these tests.

Necessary

5.7 Circular 4/1998 states that:

"In considering whether a particular condition is necessary, authorities should ask themselves whether planning permission would have to be refused if that condition were not to be imposed. If it would not, then the condition needs special and precise justification. Planning authorities should also avoid imposing conditions through anxiety to guard against every possible contingency, however remote"

5.8 In considering Condition no.1 against this first test it is particularly significant to note that the reason for the condition is 'To allow the Planning Authority to monitor the use of the site and to ensure that the proposal is viable and the use remains appropriate to the rural location'.

5.9 The first part of the reason refers to the Planning Authority monitoring the use of the site. However, the Council is entitled and obliged to monitor development and/or use in any circumstances and, as such, a planning condition is not 'necessary'.

5.10 The second part of the reason refers to the Planning Authority looking to 'ensure that the proposal is viable and the use remains appropriate to the rural location'. The planning officer's Report of Handling confirms that the proposal meets the requirements of Strategic Policy 2 and Policy D1, and that the cycle hub and accommodation bothies are an appropriate rural use in terms of Policy D3 and that 'the proposed development is considered to be acceptable in appearance and would not detract from the visual amenity or character of the rural area'.

- 5.11 In light of these conclusions, it must therefore surely follow that the approved development and use will be appropriate to the character of the site itself and the immediately surrounding area, which is impacted by the adjacent roads and nearby buildings and uses. As such, it was accepted by the Council's planning officer that the proposal will 'not detract *from the visual amenity or character of the rural area*', and so by association, we consider that a planning condition is not necessary to further review and assess that again later. Therefore, by implication the report of handling suggests that the Red House site itself is not regarded as being of typical rural character and therefore it is unclear why it is necessary or how the Council would consider if the use '*remains appropriate to the rural location*'.
- 5.12 As already set out, somewhat ironically, the condition itself renders the proposal unviable as the level of investment required to firstly implement the proposal and then subsequently restore the site to its former condition in less than 5 years' time are substantial and cannot be committed to without any certainty that the buildings and use can remain after the 5 year period.
- 5.13 Whilst the Report of Handling states the planning officer's view that '*a café which in itself would not be in keeping with the policies for the rural area*', it is not accepted that this is inevitably the case. Indeed, there are at least three examples in East Renfrewshire Council area of café uses sitting within buildings in the rural area (i.e. at the now Caulders Garden Centre to the south of Newton Mearns, at the Whitelee Windfarm Visitor Centre, and at the Mearns castle Golf Academy), and as far as we are able to ascertain the café uses at these locations were judged to be ancillary or a component part of a mixed use, and none of the planning permissions that apply to these were or are restricted in any way by a condition similar to condition no.1 of 2020/0202/TP. The café proposed at the Red House is the same as it is part of a range of complementary uses that make up the whole and, as such, this should be treated the same as the afore-mentioned examples and not burdened by a restrictive, unnecessary and unreasonable condition.
- 5.14 In addition, this part of the reason is also notable as it is implicit that for the use to 'remain' appropriate it was deemed to be appropriate when permission was granted. It having been established that the use is 'appropriate' it is neither necessary or reasonable for it to be required to cease and be re-assessed 5 years later.
- 5.15 In all of the above-mentioned respects, Condition no.1 does not meet the requirement for a condition to be 'necessary', and therefore it should be deleted.

Relevant to planning

- 5.16 It is not contested that Condition no.1 is, in itself, relevant to planning but rather that the condition is not necessary or reasonable.

Relevant to the development to be permitted

- 5.17 In order for a condition to be '*relevant to the development to be permitted*' Circular 4/1998 requires that it must be related to planning objectives and be justified by the nature of the development permitted or its effect on the surroundings. As we have established elsewhere in this Statement,

the planning officer's Report of Handling concludes that the proposals will not have an adverse on the character of the rural area and the proposals meet the requirements of the relevant planning policies. As the condition is neither 'necessary' or 'reasonable' it must follow that the condition does not fairly or reasonably relate to planning objectives and/or be justified by the nature of the development permitted or its effect on the surroundings.

- 5.18 On the basis of the above, it is judged that the condition does not meet the requirement for a condition to be 'relevant to the development to be permitted', and as such the condition should be deleted.

Enforceable

- 5.19 It is not contested that condition no.1 is enforceable, but rather that the condition is not necessary or reasonable.

Precise

- 5.20 Whilst is not contested that condition no.1 is precise, the associated reason for the condition is imprecise, particularly where reference is made to the Planning Authority looking to ensure that the proposal is viable and that the use remains appropriate to the rural location.
- 5.21 Notwithstanding the fact that Condition no.1 adversely impacts the viability of the consented development, it is not clear how viability would be judged by the Council, mindful that the planning permission does not oblige all of the consented elements to be in place before any one part can operate.
- 5.22 Furthermore, as referenced on several occasions throughout this Statement, the planning officer's Report of Handling establishes that the proposed use will not have an adverse impact on the character of the rural area. Consequently, we fail to understand why the condition seeks to afford the Council a further opportunity to re-assess the proposal when a clear view has already been arrived at. We also question also what the parameters of any such re-assessment would be.
- 5.23 On the basis of the above, the condition and the associated reason do not meet the requirement to be 'precise', and as such the condition should be agreed to be deleted.

Reasonable in all other respects

- 5.24 Circular 4/1998 states that:

"A condition can be ultra vires on the grounds of unreasonableness, even though it may be precisely worded and apparently within the powers available

A condition may be unreasonable because it is unduly restrictive. Although a condition may in principle impose a continuing restriction on the use of land (provided that there are good planning reasons for that restriction), such a condition should not be imposed if the restriction effectively nullifies the benefit of the permission. For example, it would normally be reasonable to restrict the hours

during which an industrial use may be carried on if the use of the premises outside these hours would affect the amenity of the neighbourhood. However, it would be unreasonable to do so to such an extent as to make it impossible for the occupier to run his business properly. If it appears that a permission could be given only subject to conditions that would be likely to be held unreasonable by the Courts, then planning permission should be refused altogether.

Even where a condition would not be so unreasonably restrictive as to be ultra vires, it may still be so onerous that as a matter of policy it should be avoided. For example, a condition which would put a severe limitation on the freedom of an owner to dispose of his property, or which would obviously make it difficult to finance the erection of the permitted building by borrowing on mortgage, should be avoided on these grounds. An unduly restrictive condition can never be made acceptable by offering the prospect of informal relaxation of its effect”

- 5.25 Condition no.1 requires the approved development to cease on (or by) the 18th June 2026 (i.e. 5 years from the date of the planning permission). This amounts to the permission being temporary, and is entirely unreasonable, not least because the permission allows for the demolition of some existing buildings, the erection of various new buildings, alterations to an existing building, and the use of the resulting buildings for various related purposes, all of which are proposed to be permanent elements and which have significant costs associated with carrying out the necessary works.
- 5.26 For the planning permission to allow all of these works to be carried out, with the significant associated costs, but to then require not only the use to cease but for the buildings that have been constructed and/or altered to be removed and the site restored to its former (i.e. current) condition is unduly restrictive and not reasonable or in line with Circular 4/1998.
- 5.27 Moreover, with a development end date of 18th June 2026, it is inevitable, that due to the time required to carry out the consented building works and for the use to become operational and then generate income, the actual operational period will be less than 5 years. Also, taken literally, Condition 1 requires existing buildings, that are to be demolished, to be put back in place, and for the alterations to the Red House to convert it to a self-catering apartment to be undone, in order to restore the site to its former condition.
- 5.28 Moreover, while Council officer’s have in recent correspondence indicated that a permanent approval would most likely be granted after a five year period, the Circular is very clear that ‘*An unduly restrictive condition can never be made acceptable by offering the prospect of informal relaxation of its effect”*. This further demonstrates that Condition 1 is contrary to the provisions of Circular 4/1998.

- 5.29 For these and the reasons set out elsewhere in this Statement, Condition no.1 renders the implementation of the approved development unviable and so effectively nullifies the benefit of the permission and/or make it impossible for our client to run their consented business properly. Circular 4/1998 clearly stipulates that conditions that have this effect are not reasonable and should not be imposed.

Conditions restricting the occupancy of buildings and land

- 5.30 Circular 4/1998 also includes advice about 'Conditions restricting the occupancy of buildings and land', including three factors that should be taken into account relative to Temporary Permissions.
- 5.31 The first factor set out in the Circular is that it will rarely be necessary to give a temporary permission to an applicant who wishes to carry out development which conforms with the provision of the development plan. Secondly, it establishes that it is undesirable to impose a condition requiring the demolition after a stated period of a building that is clearly intended to be permanent. Thirdly, the material considerations to which regard must be had in granting any permission are not limited or made different by a decision to make the permission a temporary one. Thus, the reason for granting a temporary permission can never be that a time-limit is necessary because of the effect of the development on the amenity of the area.
- 5.32 It has been established elsewhere in this Statement that the planning officer's Report of Handling concludes that the application proposals comply with the policies identified as relevant, namely Strategic Policy 2 and Policy D1, and that the cycle hub and accommodation bothies are an appropriate rural use in terms of Policy D3 and that *'the proposed development is considered to be acceptable in appearance and would not detract from the visual amenity or character of the rural area'*. These various conclusions result in the development conforming with the provisions of the development plan and this duly weighed in favour of planning permission being granted. In such circumstances, the Circular advises that it will *'rarely be necessary to give a temporary permission'*.
- 5.33 With regards to the second of the three factors to be considered, the application proposals are very clearly intended to be permanent, and no suggestion has been made at any point to the contrary. As such, Condition no.1 is at odds with the advice in the Circular which is that a condition requiring demolition after a stated period is undesirable if the building is clearly intended to be permanent.
- 5.34 The third factor for granting a temporary permission is that a time-limit can be judged to be necessary and imposed because of the effect of the development on the amenity of the area. The stated reason for Condition no.1 includes reference to the Planning Authority seeking to ensure that the use remains appropriate to the rural location and, as we have already established in order for it to 'remain' appropriate it must already be so, and so this element of the condition does not align with the third factor for temporary permission.

- 5.35 The Circular also goes on to say *‘that a temporary permission will normally only be appropriate either where the applicant himself proposes temporary development or when a trial run is needed in order to assess the effect of the development on the area’*. The applicant/appellant has not applied for a temporary development and whilst the reason does include reference to ensuring that the use remains appropriate to the rural location, we have established elsewhere that the use of the word ‘remains’, allied to the content of the Report of Handling, demonstrate that the use has been judged to be appropriate to the rural location. As such, a condition restricting the permission to a temporary period is not *‘needed in order to assess the effect of the development on the area’*.
- 5.36 The Circular does also allow for temporary permissions where the condition imposes a Trial Period in circumstances where an application is made for permanent permission for a use which may be a “bad neighbour” to existing uses nearby but there is insufficient evidence to enable the authority to be sure of its character or effect, and provided that such a permission would be reasonable having regard to the capital expenditure necessary to carry out the development. The Report of Handling for 2020/0202/TP confirms that there were no objections from consultees, including the Council’s Environmental Health and Roads Services, and there will be no adverse noise impacts. As such, allied to the fact that planning permission has been granted, it can be concluded that the development is not a “bad neighbour”. This is further reinforced by the fact that the reason for Condition no.1 does not make any reference to impact on existing uses and, as such, condition no.1 is not justified on that basis. Finally, the implementation of the proposals that are subject of this permission require significant capital expenditure, and in such circumstances the Circular advises against conditions that restrict permission to a temporary period.

6.0 CONCLUSIONS

- 6.1 This appeal statement sets out a clear and compelling case for the deletion of Condition no.1 of planning permission 2020/0202/TP as the condition renders the implementation of the consented development unviable, and in effect nullifies the benefit of the permission. For the reasons set out the condition is neither necessary nor reasonable and fails to meet the tests and requirements of Circular 4/1998.
- 6.2 The development consented is entirely in line with the Council's planning policies and will re-activate a former tearoom as a facility to serve cyclists using the A77 cycle route, and which will support tourism, recreation, active travel and healthy lifestyles, all in the East Renfrewshire countryside. The development also represents a significant investment in the area by our client and will create tangible economic benefits through direct and indirect job creation. However, Condition no.1 of planning permission 2020/0202/TP needs to be removed to enable these various benefits to be realised.
- 6.3 Taking the above matters into account, we respectfully request that the Council's Local Review Body upholds our client's appeal and agrees to the deletion of Condition no.1.



2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100246404-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Type of Application

What is this application for? Please select one of the following: *

- Application for planning permission (including changes of use and surface mineral working).
- Application for planning permission in principle.
- Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- Application for Approval of Matters specified in conditions.

Description of Proposal

Please describe the proposal including any change of use: * (Max 500 characters)

Erection of 8no. Bothies towards rear of Site (Class 7) Erection of Cycle Hub/Hire Centre (Class 1) and Cafe (Class 3) within new building on footprint of former Clan Building and Car Park. Refurbishment and extension of Redhouse into Holiday Let (Class 7). Existing Site Class is Class 9.

Is this a temporary permission? *

Yes No

If a change of use is to be included in the proposal has it already taken place?

Yes No

(Answer 'No' if there is no change of use.) *

Has the work already been started and/or completed? *

No Yes – Started Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	McGinlay Bell		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	Brian	Building Name:	Basement Suite 27
Last Name: *	McGinlay	Building Number:	50
Telephone Number: *	0141 202 0687	Address 1 (Street): *	Wellington Street
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	Glasgow
Fax Number:	<input type="text"/>	Country: *	United Kingdom
		Postcode: *	G2 6HJ
Email Address: *	info@mcginlaybell.com		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Mr	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	Kenny	Building Number:	27
Last Name: *	Neison	Address 1 (Street): *	Courthill Avenue
Company/Organisation	<input type="text"/>	Address 2:	Cathcart
Telephone Number: *	<input type="text"/>	Town/City: *	Glasgow
Extension Number:	<input type="text"/>	Country: *	Scotland
Mobile Number:	<input type="text"/>	Postcode: *	G44 5AA
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text"/>		

Site Address Details

Planning Authority:

East Renfrewshire Council

Full postal address of the site (including postcode where available):

Address 1:

RED HOUSE

Address 2:

438 AYR ROAD

Address 3:

LOGANSWELL

Address 4:

Address 5:

Town/City/Settlement:

GLASGOW

Post Code:

G77 6RY

Please identify/describe the location of the site or sites

Northing

652454

Easting

251534

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

Yes No

Pre-Application Discussion Details Cont.

In what format was the feedback given? *

Meeting Telephone Letter Email

Please provide a description of the feedback you were given and the name of the officer who provided this feedback. If a processing agreement [note 1] is currently in place or if you are currently discussing a processing agreement with the planning authority, please provide details of this. (This will help the authority to deal with this application more efficiently.) * (max 500 characters)

Telephone and emailed correspondence with Derek Scott. Advice relating to the Policies the application would be assessed against, initial feedback from Roads and Transportation.

Title:

Mr

Other title:

First Name:

Derek

Last Name:

Scott

Correspondence Reference Number:

PREAPP/2019/0376

Date (dd/mm/yyyy):

16/12/2019

Note 1. A Processing agreement involves setting out the key stages involved in determining a planning application, identifying what information is required and from whom and setting timescales for the delivery of various stages of the process.

Site Area

Please state the site area:

Please state the measurement type used:

Hectares (ha) Square Metres (sq.m)

Existing Use

Please describe the current or most recent use: * (Max 500 characters)

Access and Parking

Are you proposing a new altered vehicle access to or from a public road? *

Yes No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any change to public paths, public rights of way or affecting any public right of access? *

Yes No

If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?

How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *

Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).

Water Supply and Drainage Arrangements

Will your proposal require new or altered water supply or drainage arrangements? *

Yes No

Are you proposing to connect to the public drainage network (eg. to an existing sewer)? *

- Yes – connecting to public drainage network
 No – proposing to make private drainage arrangements
 Not Applicable – only arrangements for water supply required

Do your proposals make provision for sustainable drainage of surface water?? *
(e.g. SUDS arrangements) *

Yes No

Note:-

Please include details of SUDS arrangements on your plans

Selecting 'No' to the above question means that you could be in breach of Environmental legislation.

Are you proposing to connect to the public water supply network? *

- Yes
 No, using a private water supply
 No connection required

If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).

Assessment of Flood Risk

Is the site within an area of known risk of flooding? *

Yes No Don't Know

If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.

Do you think your proposal may increase the flood risk elsewhere? *

Yes No Don't Know

Trees

Are there any trees on or adjacent to the application site? *

Yes No

If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste (including recycling)? *

Yes No

If Yes or No, please provide further details: * (Max 500 characters)

Refer to 2018_019_L[--]002-Site Plan as Proposed. To rear of parking area.

Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? *

Yes No

All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? *

Yes No

All Types of Non Housing Development – Proposed New Floorspace Details

For planning permission in principle applications, if you are unaware of the exact proposed floorspace dimensions please provide an estimate where necessary and provide a fuller explanation in the 'Don't Know' text box below.

Please state the use type and proposed floorspace (or number of rooms if you are proposing a hotel or residential institution): *

Not in a Use Class

Gross (proposed) floorspace (In square meters, sq.m) or number of new (additional) Rooms (If class 7, 8 or 8a): *

382

If Class 1, please give details of internal floorspace:

Net trading spaces:

Non-trading space:

Total:

If Class 'Not in a use class' or 'Don't know' is selected, please give more details: (Max 500 characters)

Proposal consists of mixed use classes. Bothies - Class 7 Cycle Hub/Cafe - Class 1 and Class 3 Redhouse - Class 7 Total new proposed floor area 382m2 (GIA)

Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013) *

Yes No Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

Yes No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

Yes No

Is any of the land part of an agricultural holding? *

Yes No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: Brian McGinlay

On behalf of: Mr Kenny Neison

Date: 31/03/2020

Please tick here to certify this Certificate. *

Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? *

Yes No Not applicable to this application

b) If this is an application for planning permission or planning permission in principle where there is a crown interest in the land, have you provided a statement to that effect? *

Yes No Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? *

Yes No Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? *

Yes No Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? *

Yes No Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? *

Yes No Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- Site Layout Plan or Block plan.
- Elevations.
- Floor plans.
- Cross sections.
- Roof plan.
- Master Plan/Framework Plan.
- Landscape plan.
- Photographs and/or photomontages.
- Other.

If Other, please specify: * (Max 500 characters)

Provide copies of the following documents if applicable:

- | | |
|--|--|
| A copy of an Environmental Statement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Design Statement or Design and Access Statement. * | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A |
| A Flood Risk Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Drainage/SUDS layout. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Transport Assessment or Travel Plan | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Contaminated Land Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Habitat Survey. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Processing Agreement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |

Other Statements (please specify). (Max 500 characters)

Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mr Mark Bell
 Declaration Date: 31/03/2020

Payment Details



Created: 31/03/2020 18:34

REPORT OF HANDLING

Reference: 2020/0202/TP

Date Registered: 18th January 2021

Application Type: Full Planning Permission

This application is a Local Development

Ward: 5 -Newton Mearns South And Eaglesham

Co-ordinates: 251534/:652454

Applicant/Agent:

Applicant:

Mr Kenny Neison
27 Courthill Avenue
Cathcart
Glasgow
Scotland
G44 5AA

Agent:

Brian McGinlay
Basement Suite 27
50 Wellington Street
Glasgow
United Kingdom
G2 6HJ

Proposal:

Erection of cycle hub/hire centre incorporating cafe with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; change of use and alterations to dwellinghouse to form holiday letting apartments.

Location:

Red House
438 Ayr Road
Loganswell
East Renfrewshire
G77 6RY

CONSULTATIONS/COMMENTS:

East Renfrewshire Council Roads Service	No objection subject to conditions.
East Renfrewshire Council Environmental Health Service	No objection subject to conditions.
Transport Scotland Trunk Roads Network Management	No response at time of writing.
Scottish Water	No objection.
West Of Scotland Archaeology Service	No response at time of writing.
Glasgow Airport	No objection.
Glasgow Prestwick Airport	No objection.
NERL Safeguarding	No objection.

Civil Aviation Authority

No response at time of writing.

PUBLICITY:

24.04.2020

Evening Times

Expiry date 08.05.2020

SITE NOTICES: None.

SITE HISTORY:

2001/0372/TP

Erection of conservatory

Application
returned.

18.07.2001

REPRESENTATIONS: Two representations have been received, one objecting to the proposal and one generally in support, and can be summarised as follows:

The formation of the proposed access could impact on the safety of the existing cycleway. Inconsiderate car-parking and parking of delivery vehicles could impede the use of the existing cycleway.

Public road safety.

Inadequate car-parking.

Impact on the character of the area.

Damage to adjacent property.

Concerns about the use of a septic tank.

Visual impact.

Odours from cooking and refuse.

Overlooking/impact on privacy.

Noise impact.

Anti-social behaviour.

DEVELOPMENT PLAN & GOVERNMENT GUIDANCE: See Appendix 1

SUPPORTING REPORTS:

Design and Access Statement – The statement provides a detailed description of the proposal and states that it will help boost tourism in East Renfrewshire and encourage interest in outdoor pursuits.

Business Plan – A business plan and projected profit and loss accounts have been submitted that indicate the proposed business as a whole is viable.

ASSESSMENT:

The application site comprises a detached one and a half storey dwelling and its curtilage and lies to the south of Newton Mearns within the countryside around towns (CAT) as defined within the adopted East Renfrewshire Local Development Plan. The site lies immediately adjacent to and is accessed via the A77 former trunk road. The site slopes upwards from the A77 towards the M77 which lies to the rear. The south-west boundary of the site is characterised by established hedges. The former trunk road has been narrowed and cycle lanes provided in each direction. It forms part of core path network as defined in the Local Development Plan. Although the wider area is generally rural in character, there is an existing dwelling immediately adjacent to the site to the south-west and a golf course lies opposite. Other significant developed structures in the vicinity are the M77 motorway and the A77 former trunk road.

The curtilage is extensive and is presently laid out as garden ground. It measures approximately 100 metres by 50 metres across its greatest dimensions with two outbuildings of note. A one and a half storey building housing a garage and office space lies immediately to the south-west of the dwelling. Adjacent to the south-west boundary lies a flat roofed stable block. The existing dwelling is externally finished in red painted brick.

Planning permission is sought for the erection of cycle hub/hire centre incorporating cafe with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; and for the change of use and alterations to dwellinghouse to form holiday letting apartments. The existing outbuildings are to be removed. A set of photo-voltaic panels are proposed to be installed between the fifth and sixth bothy building towards the rear of the site.

The hire centre and cafe is proposed to be located in the west of the site on the site of the existing stable block. It is a single storey building, measures 24 metres by 15 metres and is arranged around a central open courtyard. It comprises a series of dual pitch roofs and is externally finished in corrugated roofing panels and white brick. As well as the cafe, it will include WCs and cycle storage. A new service access is proposed in front of the hire centre/cafe.

The car-park is proposed to be located immediately to the west of the existing dwelling. It is accessed via a new vehicular access from the A77.

The change of use and alterations to the dwelling include the removal of the front conservatory and the erection of a flat-roofed front extension housing an entrance hall/dining area; and to permit its use as holiday let accommodation. The extension is proposed to be externally finished in red painted brick to match the existing.

The bothy buildings are proposed to be located to the rear of the hire centre and former dwelling, in the former garden area. They are of varying designs and sizes sleeping 1, 2, 4 and 10 persons. In some of the bothy designs the bed spaces are on an upper mezzanine level, accessed via a ladder. The bothies are connected to the hire centre/cafe via a series of paths. The former garden area is proposed to be landscaped with wild grass.

A WC/shower block, sauna, hot tub and ice bath are proposed to be located to the north-east of the existing house.

The applicant's agent has confirmed that there is no proposal to have a 24 hour in-person management provision on site. Guests will be able to check in using the café before it closes if required but will otherwise have access to their accommodation using booking codes sent to their phones. The agent has confirmed that there will be 24 hour cctv supervision of the site for emergency and security purposes.

The application requires to be assessed against Strategic Policy 2 and Policies D1 and D3 of the adopted East Renfrewshire Local Development Plan.

Strategic Policy 2 states that the Council will apply a sequential approach to development giving priority to brownfield sites within the urban area, then to greenfield land within the urban area and finally to land adjacent to the urban area. It then states that sites within the rural area will only be considered where there are no other suitable alternative sites within the urban area.

Policy D1 requires that all development should not result in a significant loss of character or amenity to the surrounding area and that the Council's requirements in terms of access and car-parking are met.

Policy D3 relates to development in the greenbelt and countryside around towns (CAT). It states that development in the CAT will be strictly controlled and limited to that which is appropriate for a rural location and which respects the character of the area. It states that proposals related to outdoor recreation will be considered sympathetically subject to compliance with other relevant policies of the Local Development Plan. The adopted Supplementary Planning Guidance: Rural Development (SPG), which supports and forms part of Policy D3, is also relevant. The SPG provides guidance on what constitutes acceptable development in rural areas and is supportive of proposals for outdoor leisure facilities. It states that proposals for new or extended outdoor leisure facilities will be considered favourably where it can be clearly demonstrated that:

- The emphasis is on outdoor pursuits, compatible with the rural area and there are no suitable sites within the urban area;
- Any ancillary buildings or other works, such as access and lighting are required to serve the activity and do not prejudice the rural character and local environment.

Given the nature of the proposed development and the emphasis on outdoor pursuits and leisure accommodation, it is considered that the application site, being a previously developed site in the rural area, is appropriate. The proposal would not therefore offend the sequential approach to site selection as set out in Strategic Policy 2.

The following assessment is made in terms of Policy D3 and the supporting SPG: The proposal for cycle hub and accommodation bothies is considered to be an appropriate rural use in terms of Policy D3. It is located in close proximity to the network of core paths which support outdoor recreation and cycling in particular. Given its location is contained in an envelope between two major roads, the M77 and A77; there would be no significant impact of the function of the green belt or the viability of agricultural land. The landscape character at this location of the location is severely compromised by adjacent motorway and the proposal would not impact on the landscape setting. The ancillary buildings and photo-voltaic panels are related to the purpose of outdoor recreation. The proposal therefore raises no conflict with the terms of Policy D3 or the SPG.

It is noted that the proposal includes a café which in itself would not be in keeping with the policies for the rural area. However as outlined above, the tourism and leisure facilities are acceptable in this location and the café, although a significant contribution to the income stream, could be acceptable as part of the overall proposal. It is therefore considered appropriate to condition the consent, in the first instance, for a temporary period of five year to ensure that the tourism and leisure facilities are viable and that the business overall can be established.

In terms of Policy D1, the proposed development is considered to be acceptable in appearance and would not detract from the visual amenity or character of the rural area. Whilst the site is elevated to the rear and would be visible to some degree from the adjacent road and surrounding countryside, the visual impact is considered to be acceptable given the scale and character of the proposed buildings and structures. Given the design of the proposals there would be no direct overlooking from any of the buildings/chalets towards the adjacent residential property to the south-west and the proposal would not give rise to any significant additional overshadowing or impact on daylight. The Environmental Health Service has not objected to the proposal in terms of noise disturbance from either vehicles accessing the site or from patrons and has recommended conditions be attached to any planning permission granted, among other things, to ensure the installation of a suitable ventilation system to prevent odour nuisance to adjacent properties. Whilst the agent has confirmed the use of 24 hour cctv supervision, it is considered reasonable to require further details of this in terms of the number and location of cameras and the means of monitoring the camera feeds. This will help ensure the effective management of the site during the night and will ensure the amenity of the adjacent dwelling is protected. This can be secured by condition. It is acknowledged that the proposed accommodation pods will be

adjacent to potential noise sources of both the M77 and A77. However the accommodation is not for permanent residency with the occupiers of the site likely to be short term. It is therefore considered that any impact on their amenity will be transitory. The Roads Service has indicated it has no objection to the proposal in terms of public road safety, access arrangements and car-parking and has not cited any issues with regard to the use of the existing cycle lane. The proposal is therefore considered to comply with the terms Policy D1.

The Proposed Local Development Plan 2 is a material consideration and with regard to this planning application, the relevant policies are considered to be D1 and D3. The aforementioned policies largely reflect the adopted Local Development Plan policies. Consequently, for reasons stated above, it is considered that the proposed works generally accord with the relevant policies in the Proposed Local Development Plan.

The following comments are made on the points of representation not specifically addressed above: The responsibility to ensure that no damage is caused to the adjacent property, including to the trees or existing services, falls upon the developer; the Environmental Health Service has indicated that a noise impact assessment is not required for the bothies as they are not permanent residencies and has indicated that it has no objection to the proposal subject to conditions that can be included on any planning permission granted. Such conditions can include details of the extraction system and waste disposal/waste management. It is the responsibility of the site operator to ensure that the site is managed in a way that does not give rise to environmental nuisance to the adjacent property. Whilst a building containing WCs is located adjacent to the west boundary with the adjacent property, this building is considered to be acceptable in appearance. Again, it is the responsibility of the site operator to ensure that the site is operated in a manner that does not cause an environmental nuisance. The applicant has indicated that site will be connected to the public drainage system. Anti-social behaviour would be a matter for the Police to address.

In conclusion, the proposal complies with the terms of the adopted East Renfrewshire Local Development Plan. There are no material considerations that indicate the application should not be approved. It is therefore recommended that the application is approved subject to the conditions set out below.

RECOMMENDATION: Approve Subject to Conditions

PLANNING OBLIGATIONS: None.

CONDITIONS:

1. The development hereby approved shall cease on 18th June 2026. At the end of the period of permission, the building(s) shall be removed and the land restored to its former condition.

Reason: To allow the Planning Authority to monitor the use of the site and to ensure that the proposal is viable and the use remains appropriate to the rural location.

2. Development shall not commence until samples of materials to be used on all external surfaces of the building and hard surfaces have been submitted to and approved in writing by the planning authority. Thereafter the development shall be implemented in accordance with the approved details.

Reason: To ensure the development is acceptable in appearance.

3. Development shall not commence until details and location of all walls (including retaining walls) and fences to be erected on the site have been submitted to and approved in writing by the planning authority. Thereafter the development shall be implemented in accordance with the approved details.

Reason: To ensure the development is acceptable in appearance.

4. Development shall not commence until detailed levels, diagrams and sections, showing the existing and proposed levels throughout the site and finished floor levels in relation to a fixed datum point have been submitted to and approved in writing by the planning authority. Thereafter the development shall be constructed in accordance with the approved levels, diagrams and sections.

Reason: To ensure that the levels are acceptable at this location.

5. Development shall not commence until a scheme of hard and soft landscaping works has been submitted to and approved in writing by the Planning Authority. Details of the scheme shall include (as appropriate):-

- i) Details of any earth mounding, hard landscaping, grass seeding and turfing;
- ii) A scheme of tree and shrub planting, incorporating details of the number, variety and size of trees and shrubs to be planted;
- iii) Details of the phasing of the landscaping works; and
- iv) Schedule of maintenance.

Thereafter the landscaping works shall be fully implemented as approved.

Reason: To ensure the implementation of a satisfactory scheme of landscaping to improve the environment quality of the development.

6. Visibility splays of metres by 2.5 metres by 120 metres in the primary direction and 2.5 metres by 100 metres in the secondary direction shall be provided at the junction of the new accesses with the existing road prior to the commencement of use hereby approved and thereafter maintained free from any obstructions exceeding a height of 1.05m above the adjacent road.

Reason: To enable drivers of vehicles leaving the site to have a clear view over a length of road sufficient to allow safe exit.

7. Prior to the commencement of any work on site, a swept path analysis, to demonstrate that the largest vehicle servicing the site can enter and exit in a forward gear, shall be submitted and approved in writing by the Planning Authority.

Reason: In the interest of public road safety.

8. The car-parking, as shown on approved plan reference L(--)-002 shall be completed, surfaced and delineated in all respects prior to the commencement of the use hereby approved.

Reason: To ensure that adequate car-parking is provided in the interest of public road safety.

9. There shall be no construction work or offloading of delivered materials at the development site outwith the hours of 0800 to 1900 Monday to Friday and 0800 to

1300 on Saturday with no working on Sunday or local or national public holidays unless minor and temporary amendments have been otherwise agreed in advance in writing by the planning authority. The starting up/warming up and shutting down of any construction machinery outwith these hours shall not be audible from the boundary of any noise sensitive property.

Reason: To prevent noise nuisance to the surrounding area.

10. Prior to commencement of any works on site, a comprehensive site investigation, carried out to the appropriate level, should be submitted to and accepted in writing by East Renfrewshire Council. This survey shall investigate all aspects of potential contamination, indicated by a Phase 1 Investigation (Desk-Study) of the site. If any contamination hazard is identified on the site, a site-specific risk assessment must be undertaken. Should any significant pollutant linkages be identified, a detailed remediation strategy must be developed. No works other than investigative works should be carried out on site prior to receipt of the Council's written acceptance of the remediation plan.

Reason: In the interests of public health and to protect users of the development and the wider environment from the effects of contamination.

11. Development shall not commence until exact details and specification of all ventilation and extraction systems to serve the premises, together with the proposed odour mitigation measures, have been submitted to and approved in writing by the planning authority. For the avoidance of doubt any noise from ventilation equipment or any other equipment associated with the premises must not exceed NR35 (as described in BS8233: 2014) as measured at any residential property during the hours of 0700 - 2300, or exceed NR25 between the hours of 2300 and 0700. Thereafter the approved details shall be fully implemented prior to the premises first opening and retained according to the approved details in perpetuity.

Reason: To protect adjacent residents from nuisance resulting from cooking odours.

12. A Waste Management Plan, detailing the storage and disposal of all waste from the site, shall be submitted and approved in writing by the Planning Authority. Thereafter, the premises shall be operated in accordance with the approved Waste Management Plan.

Reason: In the interest of environmental amenity.

13. The principles of Sustainable Urban Drainage Systems (SUDS) for the surface water regime shall be incorporated into the development. Development shall not commence until details of the surface water management and SUDS proposals have been submitted to and approved in writing by the planning authority. Thereafter the surface water management details shall fully be implemented as approved.

Reason: In the interests of sustainable development.

14. Development shall not commence until details of all external lighting (including details of the lighting units, the angle and intensity of illumination and hours of operation) have been submitted to and approved in writing by the planning authority. Thereafter the lighting shall be implemented as approved.

Reason: In order to ensure that the lighting is acceptable at this location and to protect the amenity of the surrounding area.

15. Existing trees and shrubs within the application site including trees and shrubs growing on the site's boundaries, shall not be felled, removed or disturbed in any way without the prior approval in writing by the planning authority.

Reason: To protect the existing trees and shrubs so that they continue to contribute to the environmental quality of the area and soften the impact of the development.

16. Prior to the commencement of any work on site, full details of the means of 24-hour supervision of the site shall be submitted and approved in writing by the Planning Authority. Those details shall include the type, number, location and field of vision of any cctv cameras; the means of monitoring the feeds from those cameras; and the detailed means of response to any emergency or disturbance within the site. Thereafter the management of the site shall be effected in accordance with the approved details.

Reason: To ensure the effective management of the site on a 24-hour basis in the interest of public safety and residential amenity.

17. Development shall not commence until details of the phasing of the development have been submitted to and approved in writing by the planning authority. Thereafter the development shall be implemented in accordance with the approved phasing scheme.

Reason: In order to ensure a properly programmed development.

ADDITIONAL NOTES:

The applicant is required to consult East Renfrewshire Council Protective Services regarding compliance with the provisions of the Health & Safety at Work Etc Act 1974 and the Food Safety Act 1990.

The applicant is requested to comply with the requirements of Scottish Environment Protection Agency (SEPA).

East Renfrewshire Council Roads Service should be consulted regarding a Road Opening Permit for service connections and footway crossover.

In addition to planning legislation, I would draw your attention to the provisions of the Nature Conservation (Scotland) Act 2004 and the Wildlife and Countryside Act 1981 with regard to the protection of Wildlife and, in particular, the needs to ensure that all works are preceded by a check for nesting birds. It is a criminal offence to intentionally or recklessly damage, destroy or otherwise interfere with any wild bird nest which is in use or being built or, which, at any other time, is habitually used by certain birds protected by special penalties. Where it is proposed to carry out works which will affect European Protected Species (including bats) or their shelter/ breeding places, checks should first be made by an appropriate bat surveyor. In the event a protected species would be affected a licence is required from the Scottish Government. Further information on these matters can be sought initially from Scottish Natural Heritage or Scottish Government Species Licensing Team, Countryside and Heritage Unit, Victoria Quay, Edinburgh.

ADDED VALUE:

Design, layout and/or external material improvements have been achieved during the processing of the application to ensure the proposal complies with the Council's Local Plan policies.

Conditions have been added that are necessary to control or enhance the development and to ensure the proposal complies with the Council's Local Development Plan policies.

BACKGROUND PAPERS:

Further information on background papers can be obtained from Mr Derek Scott on 0141 577 3861.

Ref. No.: 2020/0202/TP
(DESC)

DATE: 17th June 2021

DIRECTOR OF ENVIRONMENT

Finalised 17th June 2021 – AC(1)

Reference: 2020/0202/TP - Appendix 1

DEVELOPMENT PLAN:

Strategic Development Plan

This proposal raises no strategic issues in terms of the Glasgow and the Clyde Valley Strategic Development Plan and therefore the East Renfrewshire Local Plan is the relevant policy document

Adopted East Renfrewshire Local Development Plan

Policy D1

Detailed Guidance for all Development

Proposals for development should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. In some cases, where the criteria have not been met, a written justification will be required to assist with assessment.

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. The proposal should be of a size, scale, massing and density that is in keeping with the buildings in the locality and should respect local architecture, building form, design, and materials;
3. The amenity of neighbouring properties should not be adversely affected by unreasonably restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Planning Guidance;
4. The development should not impact adversely on landscape character or the green network, involve a significant loss of trees or other important landscape, greenspace or biodiversity features;
5. Developments should incorporate green infrastructure including access, landscaping,

greenspace, water management and Sustainable Urban Drainage Systems at the outset of the design process. Where appropriate, new tree or shrub planting should be incorporated using native species. The physical area of any development covered by impermeable surfaces should be kept to a minimum to assist with flood risk management. Further guidance is contained within the Green Network and Environmental Management Supplementary Planning Guidance;

6. Development should create safe and secure environments that reduce the scope for anti-social behaviour and fear of crime;
7. Developments must be designed to meet disability needs and include provision for disabled access within public areas;
8. The Council will not accept 'backland' development, that is, development without a road frontage;
9. Parking and access requirements of the Council should be met in all development and appropriate mitigation measures should be introduced to minimise the impact of new development. Development should take account of the principles set out in 'Designing Streets';
10. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the development;
11. Developments should include provision for the recycling, storage, collection and composting of waste materials;
12. Where possible, all waste material arising from construction of the development should be retained on-site for use as part of the new development;
13. Where applicable, new development should take into account the legacy of former mining activity;
14. Development should enhance the opportunity for and access to sustainable transportation, including provision for bus infrastructure, and particularly walking and cycle opportunities including cycle parking and provision of facilities such as showers/lockers, all where appropriate. The Council will not support development on railways solums or other development that would remove opportunities to enhance pedestrian and cycle access unless mitigation measures have been demonstrated;
15. The Council requires the submission of a design statement for national and major developments. Design statements must also be submitted in cases where a local development relates to a site within a conservation area or Category A listed building in line with Planning Advice Note 68: Design Statements.
16. Where applicable, developers should explore opportunities for the provision of digital infrastructure to new homes and business premises as an integral part of development.

Policy D3

Green Belt and Countryside Around Towns

Development in the green belt and countryside around towns as defined in the Proposals Map, will be strictly controlled and limited to that which is required and is appropriate for a rural location and which respects the character of the area.

Where planning permission is sought for development proposals, within the green belt or countryside around towns and these are related to agriculture, forestry, outdoor recreation, renewable energy and other uses appropriate to the rural area, the Council will consider them sympathetically subject to compliance with other relevant policies of the Plan. Any decision will, however, take into consideration the impact the proposals will have on the function of the green

belt and countryside around towns and the viability of important agricultural land. Development must be sympathetic in scale and design to the rural location and landscape.

Further detailed information and guidance is provided in the Rural Development Guidance Supplementary Planning Guidance.

Strategic Policy 2

Assessment of Development Proposals

Proposals for new development, other than smaller scale proposals (such as applications for single houses, householder or shop frontage alterations), will be assessed against relevant criteria below as well as Policy D1:

1. Application of a sequential approach which gives priority to the use of Brownfield sites within the urban area then to Greenfield land within the urban area and finally to land adjacent to the urban area. Sites within the green belt will only be considered where it has been demonstrated that a suitable site does not exist within the urban area;
2. Provision of a mix of house types, sizes and tenures to meet housing needs and accord with the Council's Local Housing Strategy and the Glasgow and Clyde Valley Strategic Housing Need and Demand Assessment;
3. Resulting positive community and economic benefits;
4. The impact on the landscape character as informed by the Glasgow and Clyde Valley and the East Renfrewshire Landscape Character Assessments, the character and amenity of communities, individual properties and existing land uses;
5. The impact on existing and planned infrastructure;
6. The impact upon existing community, leisure and educational facilities;
7. The transport impact of the development on both the trunk and local road network and the rail network, taking into account the need for a transport assessment and the scope for green transport and travel plans;
8. The impact on the built and natural environment, including the green belt and green network taking into account the need for an Environmental Impact Assessment and the requirement for proposals to provide a defensible green belt boundary and links to the green network;
9. The impact on air, soil, including peat and water quality and avoiding areas where development could be at significant risk from flooding and/or could increase flood risk elsewhere;
10. The potential for remedial or compensatory environmental measures including temporary greening;
11. The contribution to energy reduction and sustainable development.
12. The impact on health and well being;
13. The cumulative impact of the development;
14. The impact of proposals on other proposals or designations (including the Town and Neighbourhood Centres in Schedule 14) set out in the Local Development Plan;
15. The suitability of proposals when assessed against any relevant Adopted Supplementary Planning Guidance.

Proposed Local Development Plan 2

Policy D1

Placemaking and Design

Proposals for development within the urban and rural areas should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. Proposals will be assessed against the 6 qualities of a successful place as outlined in SPP, Designing Streets and the Placemaking and Design Supplementary Guidance.

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. The proposal should be appropriate to its location, be high quality and of a size, scale, height, massing and density that is in keeping with the buildings in the locality or appropriate to the existing building and should respect local architecture, building form and design;
3. Respect existing building lines and heights of the locality;
4. Create a well-defined structure of streets, public spaces and buildings;
5. Ensure the use of high quality sustainable and durable materials, colours and finishes that complement existing development and buildings in the locality;
6. Respond to and complement site topography and not impact adversely upon the green belt and landscape character, green networks, features of historic interest, landmarks, vistas, skylines and key gateways. Existing buildings and natural features of suitable quality, should be retained and sensitively integrated into proposals including greenspace, trees and hedgerows;
7. Boundary treatment and landscaping should create a distinctive edge and gateway to the development and reflect local character;
8. Promote permeable and legible places through a clear sustainable movement hierarchy favouring walking, then cycling, public transport, then the private car as forms of movement;
9. Demonstrate connectivity through the site and to surrounding spaces via a network of safe, direct, attractive and coherent walking and cycling routes. These must be suitable for all age groups, and levels of agility and mobility to allow for ease of movement from place to place;
10. Demonstrate that safe and functional pedestrian, cycle and vehicular access, and parking facilities and infrastructure, including for disabled and visitor parking, is provided in accordance with the Council's Roads Development Guide. Where appropriate, proposals will be required to provide secure and accessible shelters, lockers, showers and seating and be designed to meet the needs of all users. Cycle parking and facilities should be located in close proximity to the entrances of all buildings to provide convenience and choice for users;
11. Incorporate integrated and enhance existing green infrastructure assets, such as landscaping, trees and greenspace, water management and SUDs including access and prioritise links to the wider green network as an integral part of the design process from the outset, in accordance with Policies D4 - D6. New green infrastructure must be designed to protect and enhance the habitat and biodiversity of the area and demonstrate a net gain;
12. There will be a general presumption against all proposals that involve landraising. Where there is a justifiable reason for landraising, proposals must have regard to the scale and visual impact of the resultant changes to the local landscape and amenity. Proposals that adversely impact upon the visual and physical connections through the site and to the

- surrounding areas will be resisted;
13. Backland development should be avoided;
 14. Provide safe, secure and welcoming places with buildings and spaces, including open spaces, play areas and landscaping, designed and positioned to reduce the scope for anti-social behaviour and fear of crime, improve natural surveillance, passive overlooking, security and street activity;
 15. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by unreasonably restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Guidance;
 16. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the proposal;
 17. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by noise, dust, pollution and smell or poor air quality;
 18. Ensure buildings and spaces are future proof designed to be easily adaptable and flexible to respond to changing social, environmental, technological, digital and economic conditions;
 19. Incorporate provision for the recycling, storage, collection and composting of waste materials; and
 20. Incorporate the use of sustainable design and construction methods and materials in the layout and design to support a low carbon economy.

Proposals must meet the requirements of any development brief prepared by the Council for an allocated site.

Further detailed guidance and information will be set out in the Placemaking and Design Supplementary Guidance, Householder Design Supplementary Guidance and the Daylight and Sunlight Design Supplementary Guidance.

Policy D3

Green Belt and Countryside around Towns (CAT)

Development in the green belt and Countryside around Towns (CAT), shown on the Proposals Map, will be strictly controlled and limited to that which is required and is appropriate for a rural location. Proposals will require to demonstrate that they are appropriate in terms of scale, size, design, layout and materials, to their rural location and compatible with adjoining and neighbouring uses.

Proposals should be designed to complement the surrounding landscape ensuring that there are no adverse landscape or visual impacts, seek to ensure that the integrity of the landscape character and setting is maintained or enhanced as informed by the Council's Green Belt Landscape Character Assessment (LCA). Proposals should not be suburban in character or scale and should have no adverse impacts upon the amenity of the surrounding rural area.

Development within the green belt or countryside around towns, including changes of use or conversions of existing buildings, will be supported in principle where it is for agriculture; forestry; equestrian; countryside recreation and active travel; outdoor leisure and tourism, including

holiday accommodation; economic and farm diversification; and renewable energy and infrastructure such as minerals, digital communications infrastructure and electricity grid connections that have a site specific and operational need for a rural location, subject to compliance with other relevant policies of the Proposed Plan.

Proposals should make use of existing or replacement buildings whenever possible. Where it is demonstrated that this is not achievable and where a new building, structure or dwelling is proposed it should be commensurate with the functional requirement of the business, should be sited adjacent to other existing buildings and within the boundary of the established use. Any proposal that involves a business which requires a new building will also have to demonstrate that it is established and/or viable for a minimum period of 3 years at that location.

Further detailed guidance and information will be set out in the Rural Development and the Placemaking and Design Supplementary Guidance.

Strategic Policy 1

Development Strategy

Proposals will be required to meet the objectives of the Proposed Plan and contribute to the delivery of the Development Strategy in order to create sustainable, well designed, connected, healthy, safe and mixed communities and places. Proposals should be designed to promote the health and wellbeing benefits of the development for people of all ages, abilities and backgrounds and demonstrate economic, social and environmental benefits. Proposals should not result in a significant adverse loss of character or amenity to the surrounding area.

The Council's approach to development is as follows:

1. Regeneration, consolidation and environmental enhancement of the urban areas through the provision of an efficient and sustainable use of land, buildings and infrastructure that encourages the re-use of brownfield and vacant sites, in keeping with a sequential approach and in accordance with other relevant policies of the Proposed Plan;
2. Master planned approach to development at the following Strategic Development Opportunity locations:
 - a. Maidenhill/Malletsheugh, Newton Mearns (Policy M2.1);
 - b. Barrhead South - Springhill, Springfield, Lyoncross (Policy M2.2);
 - c. Barrhead North - Shanks/Glasgow Road, Barrhead (Policy M3);
3. Infill development within the rural settlements compatible with the character, amenity and settlement pattern;
4. Phased release of sites to make efficient use of existing infrastructure and ensure the coordinated delivery of new infrastructure and investment, including schools; green infrastructure; transport infrastructure; community and leisure facilities; and health and care facilities all in accordance with Strategic Policy 2. Proposals for windfall sites will be required to provide the required infrastructure resulting from development in accordance with Strategic Policy 2 and not prejudice the delivery of allocated sites. Where infrastructure constraints cannot be overcome, including any impacts of additional residential development upon education infrastructure, proposals will not be supported;
5. Implementation of City Deal strategic infrastructure projects set out in Strategic Policy 3 and Schedule 1 and other major infrastructure programmes;

6. Protection and enhancement of the green belt and landscape character and setting and the distinct identity of towns and villages in accordance with Policies D2 and D3;
7. Protection, creation and enhancement of an integrated multi-functional green network and connected green spaces within and around the urban areas which actively contribute to local amenity, recreation, active travel and biodiversity objectives in accordance with Policies D4 and D6;
8. Protection and enhancement of the built, historic and natural environment in accordance with Policies D7 and D14 to D20;
9. Provision of homes to meet the all tenure housing requirements of Clydeplan (Table 1) in accordance with Policies SG1, SG2 and SG4. The sites listed in Schedules 15 and 16 will provide a range and choice of housing sizes, types and tenures across the Council area to meet these requirements in accordance with the Strategic Housing Need and Demand Assessment and the Council's Local Housing Strategy;
10. Sustainable and inclusive economic growth and community benefits, including the creation of new employment opportunities through the provision of a range of sites and areas to provide a strong and diverse economy in both the urban and rural areas, in accordance with Policies SG5,SG6 and SG7;
11. Maintaining and enhancing the vitality and viability of the town and neighbourhood centres by adopting a town centre first approach that directs development and investment to town and neighbourhood centre locations in accordance with Policies SG10 and SG11; and
12. The contribution to energy reduction and sustainable development in accordance with Policies E1 and E2.

GOVERNMENT GUIDANCE:

Scottish Planning Policy on Rural Development in the pressurised areas easily accessible from Scotland's cities and main towns, where ongoing development pressures are likely to continue, it is important to protect against an unsustainable growth in car-based commuting and the suburbanisation of the countryside, particularly where there are environmental assets such as sensitive landscapes or good quality agricultural land. Plans should make provision for most new urban development to take place within, or in planned extensions to, existing settlements. In remote and fragile areas outwith defined small towns the emphasis should be on maintaining and growing communities by encouraging development that provides suitable sustainable economic activity, while preserving important environmental assets such as landscape and wildlife habitats that underpin continuing tourism visits and quality of place. In areas of intermediate accessibility and pressure for development, plans should be tailored to local circumstances, seeking to provide a sustainable network of settlements and a range of policies that provide for additional housing requirements, economic development, and the varying proposals that may come forward, while taking account of the overarching objectives and other elements of the plan.

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EAST RENFREWSHIRE COUNCIL

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
(AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(SCOTLAND) REGULATIONS 2013**

CONDITIONAL PLANNING APPROVALREF NO. **2020/0202/TP****Applicant:**

Mr Kenny Neison
27 Courthill Avenue
Cathcart
Glasgow
Scotland
G44 5AA

Agent:

Brian McGinlay
Basement Suite 27
50 Wellington Street
Glasgow
United Kingdom
G2 6HJ

With reference to your application registered on 18th January 2021 for the following development:-

Erection of cycle hub/hire centre incorporating cafe with formation of car park; erection of 8 bothy buildings at rear; erection of wash block building; change of use and alterations to dwellinghouse to form holiday letting apartments(Amended Plans)

at: Red House 438 Ayr Road Loganswell East Renfrewshire G77 6RY

The Council in exercise of its powers under the above Acts and Regulations now grant planning permission for the above development in accordance with the particulars given in the application and the plans listed below.

To comply with the provisions of Section 58 of the above Act, the development must be begun not later than the expiration of three years beginning with the date of this permission. Any condition(s) attached to this consent, with the reasons for imposing them as shown below.

The reason(s) why the Council made this decision are as follows:

1. The development is considered to generally comply with the development plan policy and where it does not fully comply there are material considerations to indicate the development should be approved as detailed in the Report of Handling.

The approval is subject to the following condition(s):-

1. The development hereby approved shall cease on 18th June 2026. At the end of the period of permission, the building(s) shall be removed and the land restored to its former condition.

Reason: To allow the Planning Authority to monitor the use of the site and to ensure that the proposal is viable and the use remains appropriate to the rural location.

2. Development shall not commence until samples of materials to be used on all external surfaces of the building and hard surfaces have been submitted to and approved in writing by the planning authority. Thereafter the development shall be implemented in accordance with the approved details.

Reason: To ensure the development is acceptable in appearance.

3. Development shall not commence until details and location of all walls (including retaining walls) and fences to be erected on the site have been submitted to and approved in writing by

the planning authority. Thereafter the development shall be implemented in accordance with the approved details.

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Reason: To ensure the development is acceptable in appearance.

4. Development shall not commence until detailed levels, diagrams and sections, showing the existing and proposed levels throughout the site and finished floor levels in relation to a fixed datum point have been submitted to and approved in writing by the planning authority. Thereafter the development shall be constructed in accordance with the approved levels, diagrams and sections.

Reason: To ensure that the levels are acceptable at this location.

5. Development shall not commence until a scheme of hard and soft landscaping works has been submitted to and approved in writing by the Planning Authority. Details of the scheme shall include (as appropriate):-

- i) Details of any earth mounding, hard landscaping, grass seeding and turfing;
- ii) A scheme of tree and shrub planting, incorporating details of the number, variety and size of trees and shrubs to be planted;
- iii) Details of the phasing of the landscaping works; and
- iv) Schedule of maintenance.

Thereafter the landscaping works shall be fully implemented as approved.

Reason: To ensure the implementation of a satisfactory scheme of landscaping to improve the environment quality of the development.

6. Visibility splays of metres by 2.5 metres by 120 metres in the primary direction and 2.5 metres by 100 metres in the secondary direction shall be provided at the junction of the new accesses with the existing road prior to the commencement of use hereby approved and thereafter maintained free from any obstructions exceeding a height of 1.05m above the adjacent road.

Reason: To enable drivers of vehicles leaving the site to have a clear view over a length of road sufficient to allow safe exit.

7. Prior to the commencement of any work on site, a swept path analysis, to demonstrate that the largest vehicle servicing the site can enter and exit in a forward gear, shall be submitted and approved in writing by the Planning Authority.

Reason: In the interest of public road safety.

8. The car-parking, as shown on approved plan reference L(--)/002 shall be completed, surfaced and delineated in all respects prior to the commencement of the use hereby approved.

Reason: To ensure that adequate car-parking is provided in the interest of public road safety.

9. There shall be no construction work or offloading of delivered materials at the development site outwith the hours of 0800 to 1900 Monday to Friday and 0800 to 1300 on Saturday with no working on Sunday or local or national public holidays unless minor and temporary amendments have been otherwise agreed in advance in writing by the planning authority. The starting up/warming up and shutting down of any construction machinery outwith these hours shall not be audible from the boundary of any noise sensitive property.

Reason: To prevent noise nuisance to the surrounding area.

10. Prior to commencement of any works on site, a comprehensive site investigation, carried out to the appropriate level, should be submitted to and accepted in writing by East Renfrewshire Council. This survey shall investigate all aspects of potential contamination, indicated by a Phase 1 Investigation (Desk-Study) of the site. If any contamination hazard is identified on the site, a site-specific risk assessment must be undertaken. Should any significant pollutant

linkages be identified, a detailed remediation strategy must be developed. No works other than investigative works should be carried out on site prior to receipt of the Council's written acceptance of the remediation plan.

Reason: In the interests of public health and to protect users of the development and the wider environment from the effects of contamination.

11. Development shall not commence until exact details and specification of all ventilation and extraction systems to serve the premises, together with the proposed odour mitigation measures, have been submitted to and approved in writing by the planning authority. For the avoidance of doubt any noise from ventilation equipment or any other equipment associated with the premises must not exceed NR35 (as described in BS8233: 2014) as measured at any residential property during the hours of 0700 - 2300, or exceed NR25 between the hours of 2300 and 0700. Thereafter the approved details shall be fully implemented prior to the premises first opening and retained according to the approved details in perpetuity.

Reason: To protect adjacent residents from nuisance resulting from cooking odours.

12. A Waste Management Plan, detailing the storage and disposal of all waste from the site, shall be submitted and approved in writing by the Planning Authority. Thereafter, the premises shall be operated in accordance with the approved Waste Management Plan.

Reason: In the interest of environmental amenity.

13. The principles of Sustainable Urban Drainage Systems (SUDS) for the surface water regime shall be incorporated into the development. Development shall not commence until details of the surface water management and SUDS proposals have been submitted to and approved in writing by the planning authority. Thereafter the surface water management details shall fully be implemented as approved.

Reason: In the interests of sustainable development.

14. Development shall not commence until details of all external lighting (including details of the lighting units, the angle and intensity of illumination and hours of operation) have been submitted to and approved in writing by the planning authority. Thereafter the lighting shall be implemented as approved.

Reason: In order to ensure that the lighting is acceptable at this location and to protect the amenity of the surrounding area.

15. Existing trees and shrubs within the application site including trees and shrubs growing on the site's boundaries, shall not be felled, removed or disturbed in any way without the prior approval in writing by the planning authority.

Reason: To protect the existing trees and shrubs so that they continue to contribute to the environmental quality of the area and soften the impact of the development.

16. Prior to the commencement of any work on site, full details of the means of 24-hour supervision of the site shall be submitted and approved in writing by the Planning Authority. Those details shall include the type, number, location and field of vision of any CCTV cameras; the means of monitoring the feeds from those cameras; and the detailed means of response to any emergency or disturbance within the site. Thereafter the management of the site shall be effected in accordance with the approved details.

Reason: To ensure the effective management of the site on a 24-hour basis in the interest of public safety and residential amenity.

17. Development shall not commence until details of the phasing of the development have been submitted to and approved in writing by the planning authority. Thereafter the development shall be implemented in accordance with the approved phasing scheme.

Reason: In order to ensure a properly programmed development.

Dated 17th June 2021



Director of Environment
 East Renfrewshire Council
 2 Spiersbridge Way,
 Spiersbridge Business Park,
 Thornliebank,
 G46 8NG
 Tel. No. 0141 577 3001

The following drawings/plans have been approved

Plan Description	Drawing Number	Drawing Version	Date on Plan
Location Plan	L(--)001		
Block Plan Proposed	L(--)002		
Plans Proposed	L(--)003		
Plans Proposed	L(--)004	E	
Plans Proposed	L(--)050	G	
Plans Proposed	L(--)051	F	
Plans Proposed	L(--)052	B	
Elevations Proposed	L(--)250		
Elevations Proposed	L(--)310		
Plans Proposed	L(--)100	A	
Plans Proposed	L(--)120	A	
Plans Proposed	L(--)121	A	
Plans Proposed	L(--)122	A	
Plans Proposed	L(--)123	A	
Plans Proposed	L(--)124	A	
Plans Proposed	L(--)125	A	
Plans Proposed	L(--)150	A	
Elevations Proposed	L(--)300	A	

Notes

Planning Officials may monitor the site during the course of development to ensure compliance with the planning permission hereby granted.

It should be understood that this planning permission does not carry with it any approval which may be necessary under the Building (Scotland) Act 2003 or any other enactment.

No materials or skips should be placed on the footpath / road without the prior written consent of East Renfrewshire Council Roads and Transportation Service, 2 Spiersbridge Way, Spiersbridge Business Park, Thornliebank, East Renfrewshire, G46 8NG.

It is the applicants responsibility to obtain approval of neighbouring landowners should any part of the development encroach over the boundary or if entry is required during construction.

The applicant is required to comply with the European Council's Directive 92/43/EEC on the Conservation of Natural Habitats, the Wildlife and Countryside Act 1981 (as amended) and the Nature Conservation (Scotland) Act 2004 which provide full protection for certain plant and animal special and European Protected Species. It is illegal to capture, kill, disturb any such animal, damage or destroy breeding or nesting sites or eggs or deliberately or recklessly pick, collect, cut, uproot or destroy European Protected Species of wild plant. In addition, where it is proposed to carry out works which will affect European Protected Species or their shelter/breeding places, a licence is required from the Scottish Government. Further information on these matters can be sought at Scottish Government Species Licensing Team, Countryside and Heritage Unit, Victoria Quay, Edinburgh or from Scottish Natural Heritage.

Information on home and property crime prevention advice can be found at www.securedbydesign.com/aware.

The applicant is required to consult East Renfrewshire Council Protective Services regarding compliance with the provisions of the Health & Safety at Work Etc Act 1974 and the Food Safety Act 1990.

The applicant is requested to comply with the requirements of Scottish Environment Protection Agency (SEPA).

East Renfrewshire Council Roads Service should be consulted regarding a Road Opening Permit for service connections and footway crossover.

In addition to planning legislation, I would draw your attention to the provisions of the Nature Conservation (Scotland) Act 2004 and the Wildlife and Countryside Act 1981 with regard to the protection of Wildlife and, in particular, the needs to ensure that all works are preceded by a check for nesting birds. It is a criminal offence to intentionally or recklessly damage, destroy or otherwise interfere with any wild bird nest which is in use or being built or, which, at any other time, is habitually used by certain birds protected by special penalties. Where it is proposed to carry out works which will affect European Protected Species (including bats) or their shelter/ breeding places, checks should first be made by an appropriate bat surveyor. In the event a protected species would be affected a licence is required from the Scottish Government. Further information on these matters can be sought initially from Scottish Natural Heritage or Scottish Government Species Licensing Team, Countryside and Heritage Unit, Victoria Quay, Edinburgh.

GUIDANCE NOTES FOR 'LOCAL' DEVELOPMENTS
DETERMINED UNDER DELEGATED POWERS

NOTICES

Notification of Intention of Development

Once planning permission has been granted and you have decided when to start work on the development, it is a requirement that you inform the Council's Planning Service of that date. The Notice of Intention of Development form must be submitted before work starts and failure to do so would constitute a breach of planning control. This form is included in the decision pack and is also available to download from the Council's website at www.eastrenfrewshire.gov.uk.

Notification of Completion of Development

Once the development has been completed you must, as soon as practicable, submit a Notice of Completion of Development to the Council's Planning Service. Where a development is carried out in phases, you are required to submit a notice at the conclusion of each phase. This form is included in the decision pack and is also available to download from the Council's website.

OTHER INFORMATION

Variation of Planning Permissions

Applications may be varied provided there is not a substantial change to the development. Where there is a substantial change, a new planning application should be submitted.

To apply for a Variation of Planning Permission you must fill in a Non-Material Variation form and submit 2 sets of amended plans to the Council's Planning Service. A decision letter will be issued by the Council's Planning Service. The Non-Material Variation form is available from the Council's Planning Service at the contact details below.

Fulfilment of Conditions

Any conditions attached to your planning permission require to be complied with, which may involve discharging the terms of the conditions before the development commences. Failure to discharge the conditions before the development commences may affect the legality of your development.

To discharge the relevant conditions please complete the enclosed 'Approval of Conditions attached to Planning Permission' form and submit it and the relevant information to the Planning Service. Once submitted and considered you will receive a decision notice from the Council.

It should be noted that you can apply to discharge more than one condition at a time.

REVIEW BY EAST RENFREWSHIRE COUNCIL'S LOCAL REVIEW BODY

1. If the applicant is aggrieved by a decision to refuse permission (or by an approval subject to conditions), the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. A Notice of Review can be submitted online at www.eplanning.scotland.gov.uk. Please note that beyond the content of the appeal or review forms, **you cannot normally raise new matters** in support of an appeal or review, unless you can demonstrate that the matter could not have been raised before, or that its not being raised before is a consequence of exceptional circumstances. Following submission of the notice, you will receive an acknowledgement letter informing you of the date of the Local Review Body meeting or whether further information is required.
2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase

notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997. 151

CONTACT DETAILS

East Renfrewshire Council
Development Management Service
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG
General Inquiry lines 0141 577 3895 or 0141 577 3878
Email planning@eastrenfrewshire.gov.uk

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PUBLICATION - ADVICE AND GUIDANCE

Planning Circular 4/1998: the use of conditions in planning permissions

Published: 27 Feb 1998

Directorate: [Local Government and Communities Directorate](#)

Part of: [Building, planning and design](#)

Planning Circular 4/1998: the use of conditions in planning permissions. This circular supersedes SDD No. 18/1986 (except Appendices A and B).

This document is part of a collection

Circular 4/1998

The use of conditions in planning permissions.

This Circular supersedes SDD No. 18/1986 (except Appendices A and B)

The Chief Executive Local Authorities Copy to: The Director of Planning Our ref: PGC/3/13 27 February 1998

Contents

Circular

1. This Circular and the accompanying Annex sets out Government policy on the use of conditions in planning permissions. It updates and revises the guidance in SDD Circular 18/1986, which (except for Appendices A and B - see paragraph 11 below) is now cancelled, to take account of:

- new legislation, in particular the consolidation of the Planning Acts;
- Court decisions, which are referred to at relevant sections of the Annex;
- additional topics, such as Environmental Assessment and Nature Conservation; and
- good planning practice in the use of conditions.

General policy

2. Conditions imposed on a grant of planning permission can enable many development proposals to proceed where it would otherwise have been necessary to refuse planning permission. While the power to impose planning conditions is very wide, it needs to be exercised in a manner which is fair, reasonable and practicable. Planning conditions should only be imposed where they are:

- necessary
- relevant to planning
- relevant to the development to be permitted
- enforceable
- precise
- reasonable in all other respects.

The Secretary of State attaches great importance to these criteria being met so that there is an effective basis for the control and regulation of development which does not place unreasonable or unjustified burdens on applicants and their successors in title.

3. Planning conditions must not, however, be applied slavishly or unthinkingly; a clear and precise reason for a condition must be given. While the use of standard conditions can be important to the efficient operation of the development control process, such conditions should not be applied simply as a matter of routine. Conditions should be used to achieve a specific end, not to cover every eventuality.

4. It is essential that the operation of the planning system should command public confidence. The sensitive use of conditions can improve the effectiveness of development control and enhance that confidence. Conditions imposed in an unreasonable way, so that it proves impracticable or inexpedient to enforce them, will damage such confidence and should be avoided.

5. The Annex to the Circular sets out the policy in greater detail.

Development plans

6. Where appropriate, development plans should specify the policies which the authority propose to implement regularly by means of planning conditions. Where applicants for planning permission are aware of such policies, they are more likely to incorporate appropriate details in their submissions, thus reducing the risk of delay in determining the applications and possibly avoiding the need to impose a specific condition.

Appeals

7. Paragraph 19 of AnnexA to SODD Circular 13/1997 states that, in the case of planning inquiries, the statement submitted by the planning authority should include a list of conditions that it would wish to see imposed on any approval which may be given. A similar practice, which some authorities already follow, is also appropriate to cases proceeding by way of written submissions. The Secretary of State expects Reporters will be vigilant in ensuring that conditions imposed meet the criteria in paragraph 2 above and the detailed policy set out in the Annex.

Breach of condition notices

8. Since July 1992, planning authorities have been able to ensure compliance with many planning conditions by serving a breach of condition notice. Guidance about this type of notice is given in SOEnD Circular 36/1992. If a valid breach of condition notice is contravened, the resulting offence is open to summary prosecution. But the prosecution's case must always be proved on the criminal standard of proof ("beyond reasonable doubt"). Consequently, if the breach of condition notice procedure is to operate effectively, planning conditions must be formulated precisely. In the event of prosecution, Courts will then have no doubt about exactly what is required in order to comply with the terms of a planning condition.

Specialist subjects

9. This Circular does not include specific advice on the use of planning conditions for specialist subjects such as minerals workings or for developments relating to waste management.

Manpower and financial considerations

10. This Circular brings up to date existing advice, and should therefore have no effect on local government manpower or expenditure.

Model conditions

11. The Secretary of State is of the view that detailed guidance on model conditions should be provided. Further work with local authority representatives in this area will be undertaken and a list of model conditions will be issued in due course. This Circular should be read with the forthcoming guidance on model conditions. Until the new list of model conditions is published, authorities should continue to refer to these in AppendicesA and B of SDD Circular 18/1986.

Enquiries and further copies

12. Enquiries about the content of this Circular should be addressed to Mr Stephen Bruce

Annex A: The use of conditions in planning permissions

Powers

Summary of powers

1. Conditions on planning permissions may be imposed only within the statutory powers available. Advice on these powers is given below. This advice is intended to be a guide, and it must be stressed that it is not definitive. An authoritative statement of the law can only be made by the Courts. The principal powers are in sections 37 and 41 of the Town and Country Planning (Scotland) Act 1997 (referred to below as "the Act"). Sections 58 and 59 of the Act require the imposition of time-limiting conditions on most grants of planning permission (see paragraphs 45 to 52 below). Powers to impose conditions are also conferred on the Secretary of State or Reporters by sections 46, 48 and 133 and Schedule 4 of the Act. Unless the permission otherwise provides, planning permission runs with the land and conditions imposed on the grant of planning permission will bind successors in title.

General power

2. Section 37(1) of the Act enables the planning authority to grant planning permission "either unconditionally or subject to such conditions as they think fit". The power to impose conditions is not, however, as wide as it appears, and must be interpreted in the light of Court decisions.

Powers for conditions on land outside application site and temporary permissions

3. Section 41(1) amplifies the general power in section 37(1) in two ways. It makes clear that the planning authority may impose conditions regulating the development or use of land under the control of the applicant even if it is outside the site which is the subject of the application. (The Courts have held that the question whether land is under the control of an applicant is a matter to be determined according to the facts of the particular case. It is only necessary to have such control over the land as is required to enable the developer to comply with the condition.) The section also makes clear that the planning authority may grant planning permission for a specified period only.

Power to vary or remove the effect of conditions

4. Section 33 of the Act provides, among other things, for planning applications to be made in respect of development which has been carried out without planning permission and for applications for planning permission to authorise development which has been carried out without complying with some planning condition to which it was subject. Special consideration may need to be given to conditions imposed on planning permissions granted under section 33. For example, the standard time-limiting condition will not be appropriate where development has

5. Section 42 of the Act provides for applications for planning permission to develop land without complying with conditions previously imposed on a planning permission. The planning authority can grant such permission unconditionally or subject to different conditions, or they can refuse the application if they decide that the original condition(s) should continue. The original planning permission will continue to subsist whatever the outcome of the application under section 42. This section will not apply if the period within which the development could begin, as specified in the previous condition, has expired without the development having begun.*

Other considerations

Policy and other considerations

6. The limits of the enabling powers are not the only constraints on the use of conditions. Conditions should normally be consistent with national planning policies, as expressed in Government Circulars, National Planning Policy Guidelines (NPPGs) and other published material. They should also normally be consistent with the provisions of development plans and other policies of planning authorities. However, where a certain kind of condition is specifically endorsed by a development plan policy it is still necessary to consider whether it is justified in the particular circumstances of the proposed development. In general, conditions which duplicate the effect of other legislation should not be imposed (see paragraphs 19-22).

Practice

Role of pre-application discussions

7. Even before an application is made, informal discussions between the applicant and the planning authority can be very helpful. They can allow the applicant to formulate the details of a project so as to take full account of the requirements of the authority and assist the authority in making sure that those requirements are reasonable in the light of the development proposed. Discussion can also reduce the need for conditions, enable the authority to explore the possible terms of conditions which remain necessary and ensure that these are tailored to the circumstances of the case.

"Standard Conditions"

8. Lists of standard or model conditions can be of great benefit. They can improve consistency of decisions, make effective use of staff resources and increase the speed of processing of planning applications. They may also, however, encourage the use of conditions as a matter of routine, without the careful assessment of the need for a condition which every applicant should be able to expect. Slavish or uncritical application of conditions is wholly inappropriate. Lists of standard conditions can usefully be made available locally, so that developers can take account of possible conditions at an early stage in drawing up their proposals. Such lists should contain a warning that they are not comprehensive and that conditions will always be devised or adapted where appropriate to suite the particular circumstances of a case.

9. It is for the planning authority, in the first instance, to judge on the facts of the case whether a particular development proposal should be approved subject to planning conditions. By virtue of Article 22(1)(a) of The Town and Country Planning (General Development Procedure) (Scotland) Order 1992, an authority deciding to grant permission subject to conditions must state the reasons for their decision. Where a planning authority, by virtue of Article 15 of the General Development Procedure Order, has consulted other bodies in respect of a planning application and is disposed to grant planning permission subject to a condition suggested to them by another body, the authority should ensure that the body has provided clear reasons for suggesting the imposition of the condition. Such conditions should only be imposed where they will meet clear land use planning objectives; as stated in paragraph 6 above conditions should not be used to duplicate controls available under other legislation. Reasons must be given for the imposition of every condition. It may be that more than one condition will be justified on the same basis, in which case it will be acceptable that such conditions be grouped together and justified by one reason. Reasons such as "to comply with the policies of the Council", "to secure the proper planning of the area" or "to maintain control over the development" are vague, and can suggest that the condition in question has no proper justification. The phrase "to protect amenity" can also be obscure and will often need amplification. If the reasons for the imposition of conditions are clearly explained, developers will be better able to understand the need for them and to comply with them in spirit as well as in letter. The likelihood of proper and acceptable conditions being challenged on appeal, so that development proposals are held up, will also be diminished.

Notes for information

10. Sometimes planning authorities will wish to give guidance to an applicant for outline planning permission as to the kind of details of reserved matters which they would find acceptable. A planning authority may also wish to draw the attention of an applicant to other statutory consents (eg listed building or road construction consent) which must be obtained before development can commence. This should not be done by imposing a condition: instead a note may be appended to the planning permission. A note may also be desirable to draw the attention of the applicant to his or her right to make an application to vary or remove a condition under section 42 of the Act, or indeed for other purposes.

Planning agreements

11. Problems posed by a development proposal may be solved either by imposing a condition on the planning permission or by concluding a planning agreement under section 75 of the Act or under other powers. The Secretary of State's policy on planning agreements is set out in SODD Circular 12/1996. This makes it clear that the planning authority should normally seek to regulate a development by a condition rather than through an agreement, since the imposition of restrictions by means of an agreement deprives the developer of the opportunity of seeking to have the restrictions varied or removed by an application or appeal under Part III of the Act if they are subsequently seen as being inappropriate or too onerous. Planning authorities should note that if a certain restriction is contrary to the advice contained in this Circular it is likely to be objectionable regardless of whether it is suggested that it should be implemented by a condition or an agreement. It is ultra vires to impose a condition in a planning permission requiring an applicant to enter into an agreement. Nor should conditions imposed on a grant of planning permission be duplicated in a planning agreement.

Six tests for conditions

12. On a number of occasions the Courts have laid down the general criteria for the validity of planning conditions. In addition to satisfying the Courts' criteria for validity, conditions should not be imposed unless they are both necessary and effective, and do not place unjustifiable burdens on applicants. As a matter of policy, conditions should only be imposed where they are:

- necessary
- relevant to planning
- relevant to the development to be permitted
- enforceable
- precise, and
- reasonable in all other respects

Test: need for a condition

13. In considering whether a particular condition is necessary, authorities should ask themselves whether planning permission would have to be refused if that condition were not to be imposed. If it would not, then the condition needs special and precise justification. Planning authorities should also avoid imposing conditions through anxiety to guard against every possible contingency, however remote. The argument that a condition will do no harm is no justification for its imposition; as a matter of policy a condition ought not to be imposed unless there is a definite need for it. The same principles, of course, must be applied in dealing with applications for the removal of a condition under section 33 or 42 of the Act; a condition should not be retained unless there are sound and clear-cut reasons for doing so.

14. In some cases a condition will clearly be unnecessary, such as where it would repeat provisions in another condition imposed on the same permission. In other cases the lack of need may be less obvious and it may help to ask whether it would be considered expedient to enforce against a breach- if not, then the condition may well be unnecessary.

15. Conditions should be tailored to tackle specific problems, rather than impose unjustified controls. In so far as a condition is wider in its scope than is necessary to achieve the desired objective, it will fail the test of need. For example, where an extension to a dwellinghouse in a particular direction would be unacceptable, a condition on the permission for its erection should specify that, and not simply remove all rights to extend the building. Permissions should not, however, be overloaded with conditions. It might be appropriate, for example, to impose on a permission in a conservation or other sensitive area a requirement that all external details and materials should be in complete accordance with the approved plans and specifications, rather than recite a long list of architectural details one by one.

Completion of development

the problem they are designed to solve. If what is really wanted is simply to ensure that some particular feature or features of the development are actually provided or are finished in a certain way, specific conditions to this end are far preferable to a general requirement.

17. The absence of a specific condition does not prevent enforcement action being taken against development which differs materially from the approved design. However, it may well be easier for planning authorities to enforce compliance with a condition that has been breached, than to enforce on the basis of a material variation from the approved plans or description of development. Where an application includes information, for example on likely hours of working, which significantly influence the planning decision, it may be appropriate to include a specific condition to ensure compliance with the restrictions.

Test: Relevance to planning

18. A condition which has no relevance to planning is ultra vires. A condition that the first occupants of dwellings must be drawn from the local authority's housing waiting list, for example, would be improper because it was meant to meet the ends of the local authority as housing authority and was not imposed for planning reasons. Although a condition can quite properly require the provision of open space to serve the approved development (as part of a housing estate, for example) it would be ultra vires if it required the open space to be dedicated to the public. Other conditions affecting land ownership (requiring, for example, that the land shall not be disposed of except as a whole) where there was no planning justification for such a constraint would similarly be ultra vires.

Other planning controls

19. Some matters are the subject of specific control elsewhere in planning legislation, for example advertisement control, listed building consent or tree preservation. If these controls are relevant to the development the planning authority should normally rely on them and not impose conditions on a grant of planning permission to achieve the purposes of a separate system of control (but on Trees note paragraphs 77 and 78 below).

Non-planning controls

20. Other matters are subject to control under separate legislation, yet are also of concern to the planning system. A condition which duplicates the effect of other controls will normally be unnecessary and one whose requirements conflict with those of other controls will be ultra vires because it is unreasonable. For example, a planning condition would not normally be appropriate to control the level of emissions from a proposed development where they are subject to pollution control legislation. However, such a condition may be needed to address the impact of the emissions to the extent that they might have land-use implications and/or are not controlled by the appropriate pollution control authority. (For further advice on this subject, see Planning Advice Note 51 Planning and Environmental Protection.) A condition cannot be justified on the grounds that the planning authority is not the body responsible for exercising a concurrent control and, therefore, cannot ensure it will be exercised properly. Nor can a condition be justified on the grounds that a concurrent control is not permanent but is subject to expiry and renewal (as, for example, with certain licences). Even where a condition does not actually duplicate or conflict with another control, differences in requirements can cause confusion and it will be desirable as far as

21. Where other controls are also available, a condition may, however, be needed when the considerations material to the exercise of the two systems of control are substantially different, since it might be unwise in these circumstances to rely on the alternative control being exercised in the manner or to the degree needed to secure planning objectives. Conditions may also be needed to deal with circumstances for which a concurrent control is unavailable. A further case where conditions may be justified will be where they can prevent development being carried out in a manner which would be likely to give rise to onerous requirements under other powers at a later stage (eg to ensure adequate arrangements for the disposal of sewage and thus avoid subsequent intervention under the Sewerage (Scotland) Act 1968).

22. As a matter of policy, conditions should not be imposed in order to avoid compensation payments under other legislation (although such a condition would not be ultra vires if it could be justified on planning grounds). Although conditions which have the effect of restricting for planning purposes the activities in respect of which planning permission is granted may reasonably be imposed without any liability for compensation arising under planning legislation, great care should be taken with conditions which would have the effect of removing future liability for compensation which might arise under other legislation. For example, a condition requiring sound-proofing measures may be appropriate to a permission for residential development near a major road where noise levels are high. But it will be inappropriate to impose such a condition with the aim of removing the roads authority's liability to install soundproofing when proposals for major road improvement are implemented. A condition of this sort is not relevant to the existing planning circumstances, but looks to future circumstances in respect of which other legislation provides compensation for those affected.

Test: relevance to the development to be permitted

23. Unless a condition fairly and reasonably relates to the development to be permitted, it will be ultra vires.

24. It is not, therefore, sufficient that a condition is related to planning objectives: it must also be justified by the nature of the development permitted or its effect on the surroundings. For example, if planning permission is being granted for the alteration of a factory building, it would be wrong to impose conditions requiring additional parking facilities to be provided for an existing factory simply to meet a need that already exists. It would similarly be wrong to require the improvement of the appearance or layout of an adjoining site simply because it is untidy or congested. Despite the desirability of these objectives in planning terms, the need for the action would not be created by the new development. On the other hand, it is proper for conditions to secure satisfactory access or parking facilities, for example, which are genuinely required by the users of a proposed development. Conditions can also be proper where the need for them arises out of the effects of the development rather than its own features; for example, where a permission will result in intensification of industrial use of a site, a condition may be necessary requiring additional sound-insulation in the existing factory buildings. It may even be justifiable to require by condition that an existing building be demolished- perhaps where to have both would result in the site being over-intensively developed.

Test: ability to enforce

25. A condition should not be imposed if it cannot be enforced. It is often useful to consider what

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2018_019 Redhouse Cycle Hub & Bothies

Planning - Design & Access Statement
31.03.2020

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2018_019 - Redhouse

This Report was Prepared for:

East Renfrewshire Council

By:

McGinlay Bell

Redhouse

Design and Access Statement

Revision:

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Prepared By:

Ross Cameron/Brian McGinlay

Issue Date:

31 March 2020

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Checked By:

RC.....

Approved By:

BM.....

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 - 6.2 Change of Use
 - 6.3 Access and Parking
- 7.0 Construction
 - 7.1 Construction Section
 - 7.2 CLT references
 - 7.3 Off Site Construction
 - 7.4 Power, Energy and Ventilation
- A.1 Appendix
 - A Drawings

1. Introduction

1.1 Executive Summary

This Report is intended to explain and illustrate the planning application for the erection of a cycle hub, café and bothies at The Redhouse, Ayr Road. The road was a former major arterial route connecting Glasgow and Kilmarnock. Following the construction of the M77 the route has become part of a wider network of cycle routes.

The following design information has been prepared by McGinlay Bell architects in collaboration with the client, Kenny Neison.

Pre App Reference Number - PREAPP/2019/0376

Client

Mr + Mrs Neison

Architect

McGinlay Bell
Baltic Chambers
50 Wellington St
Glasgow
G2 6HJ

1. Introduction

1.2 Architect

McGinlay Bell is a Glasgow-based architectural practice established by Brian McGinlay and Mark Bell in late 2015. The work of the practice has been informed by a strong research and analytical focus on the design process that aspires to create contemporary, familiar and appropriate architecture.



1. Introduction

1.3 Design Team

To date McGinlay Bell have coordinated their efforts with various consultants in relation to structure, environmental performance, and modular construction. This ensures that the proposed scheme is feasible on an architectural and technical level.

Client

Mr + Mrs Neison

Architect

McGinlay Bell

Modular Consultant

Modular Building Consultants

Quantity Surveyor

3C Construction Cost Consultants

Structural Engineer

Design Engineering Workshop

M&E Engineer

Atelier Ten

McGinlay Bell

Design
Engineering
Workshop

 MODULAR
BUILDING
CONSULTANTS



 atelier ten

2. Project Values

2.1 Introduction

The Bothy & Cycle hub project embraces activity and the outdoors but can also be considered as a rural retreat. A place where it is possible to step back from the grid and the city in order to recharge and reconnect with nature.

A 'Bothy' in its most traditional sense is a place of shelter from the Scottish elements. In line with this notion, the proposed bothies would be simple, rugged and raw in nature, but contemporary in finishes, construction and form. These would be aimed at individuals seeking a short weekend away centred around physical outdoor activities such as hill walking, cycling and trail running etc.

In addition to the Bothies, a Cycle Hub and Cafe is also proposed given the close proximity to the cycle route in front of the site. This would consist of a place to hire bikes, with a large section being electric, time trial and other forms of bikes that not as readily available. Part of the cycle hub will be dedicated to repairing and charging bikes. A washhouse is also included as amenity for cyclists.

The site is located on the A77 approximately two and half miles south of Newton Mears. It was the former main arterial road linking Glasgow to Kilmarnock. However since the construction of the M77 which runs parallel, the road has become a secondary route.

2. Project Values



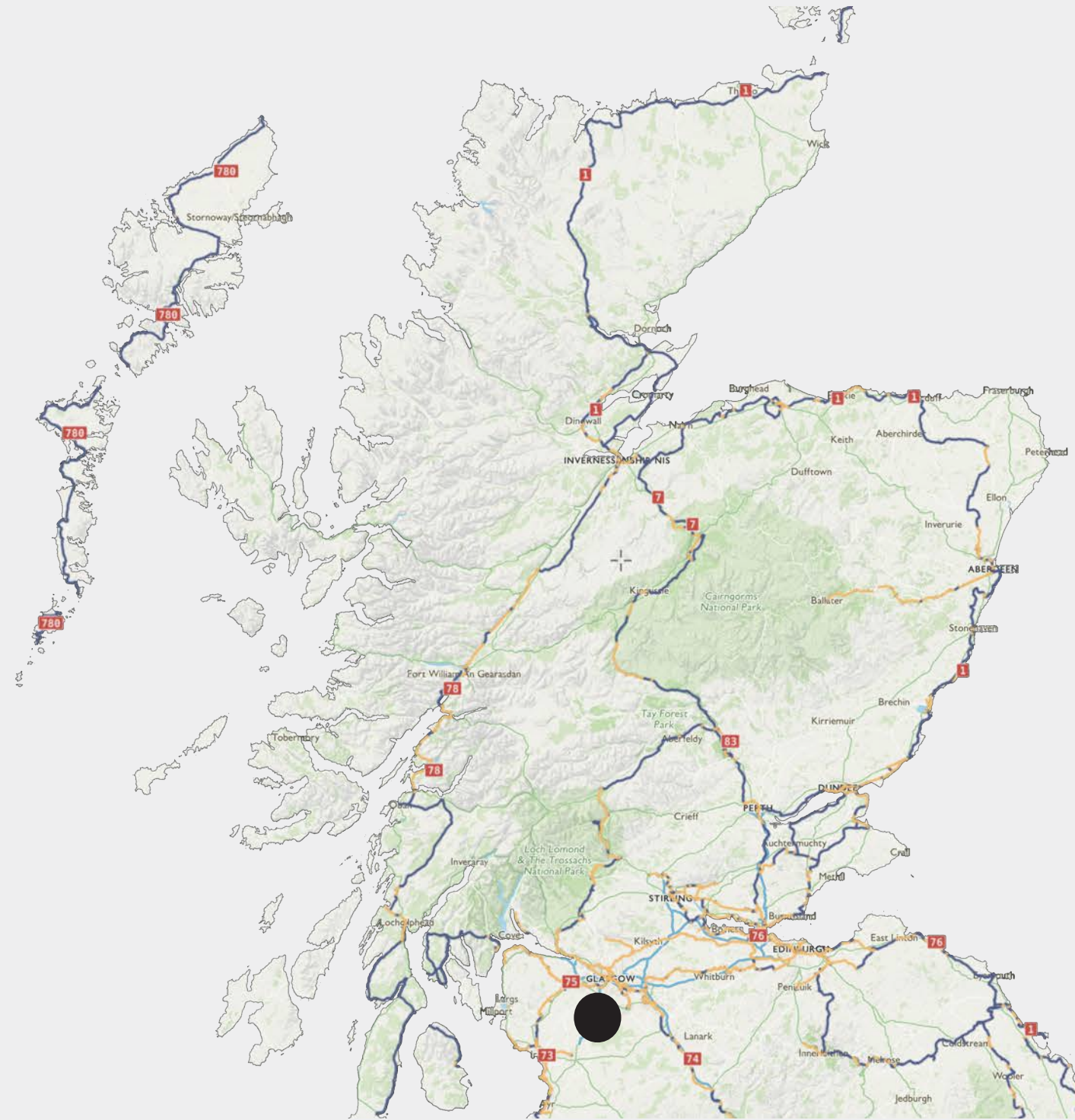
2. Project Values

2.1 Cycling



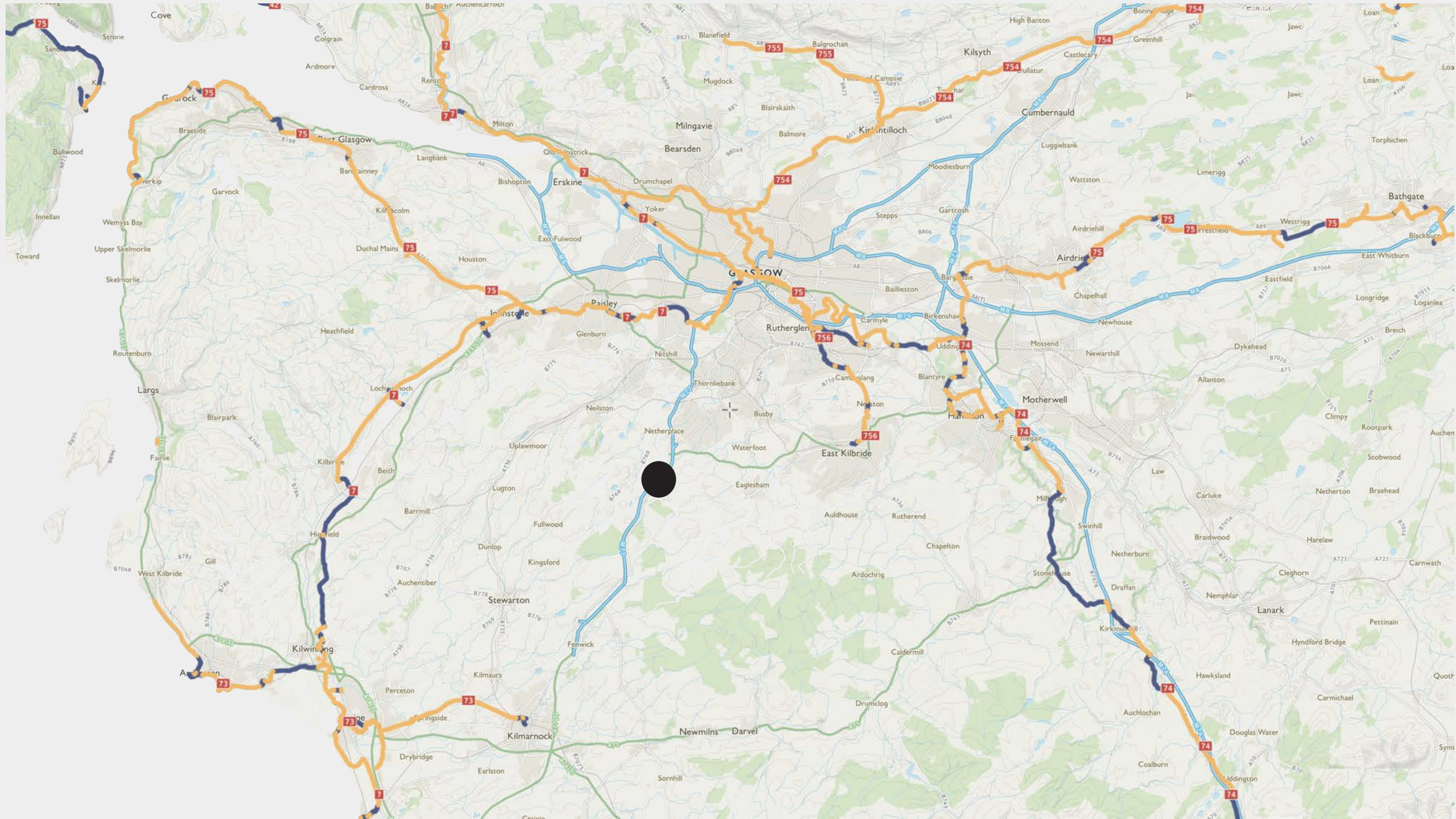
2. Project Values

2.2 Cycle Network Scotland



2. Project Values

2.2 Cycle Network Scotland



2. Core Values

2.3 Bothy Network Scotland

The tradition of the Bothy has a long-standing history in Scotland with the word itself originating from the Gaelic 'Bothan' meaning 'Cottage' or 'Shed'.

The Bothy was initially a small hut provided by landlords to crofters and farmers as a rudimentary form of shelter in the highlands. During the 20th Century, as rural farming decreased, and leisure activities increased, the function of the Bothy changed to be an open shelter for hill walkers to use.

The Mountain Bothies Association was established in 1965 to bring Bothies under a single umbrella of care, upkeep and advertisement.

The proposed Bothies at the Redhouse would be a further evolution of the typology, whilst still retaining the basic idea of a rugged, shell like place for a short stay. However, given the location of the site is next to a cycle route, as opposed to a walking route, the intended users of the Bothies would be cyclists and other outdoor enthusiasts for a reasonable fee.

The following pages have several old and new examples of the Bothy.

2. Core Values

2.3 Bothy Network Scotland



2. Core Values

2.3 Bothy Network Scotland

bothy project

A network of small-scale, off-grid art residency spaces in distinct and diverse locations around Scotland. Bothy Project offers opportunities to stay, work and study in simple shelters designed to optimise exposure to their unique settings.



Sweeney's Bothy



Inshriach Bothy



Pig Rock Bothy

2. Core Values

2.3 Bothy Network Scotland
BrockLoch Farm Bothies



2. Core Values

2.3 Bothy Network Scotland
Hermits Castle - Achmelvich



2. Core Values

2.4 Tourism in East Renfrewshire

As stated by East Renfrewshire council, tourism and eco-tourism are growing markets.

'Eco Tourism, the Promotion of Health and Fitness and an increased interest in the environment are seen as huge growth areas for the industry' East Renfrewshire Economic Development Plan

Its location in proximity to Glasgow whilst also being 'rural' makes it an ideal location for a short stay for people seeking an outdoor style short holiday.

Through the proposed development of a cycle centric hub and associated accommodation it will enable tourists both local and global to experience what East Renfrewshire has to offer in terms of cycling and other outdoor activities.



3. Architectural References

3.1 Farm Buildings

The model of farmsteads and barns is a strong reference for the project. Traditionally farm buildings have evolved in a close and symbiotic relationship with the countryside and farm buildings, barns and other structures sit in naturally sheltered positions and commonly in a formation that partially encloses courtyards or other outdoor spaces.

Typically, these are not single building, but rather a collection of structures that have expanded over time in a semi-organic fashion. As a result, they often have a variety of forms, shapes and functions. But when viewed as a whole the variety of buildings relate to each other as a totality whilst being distinct and identifiable as individuals.

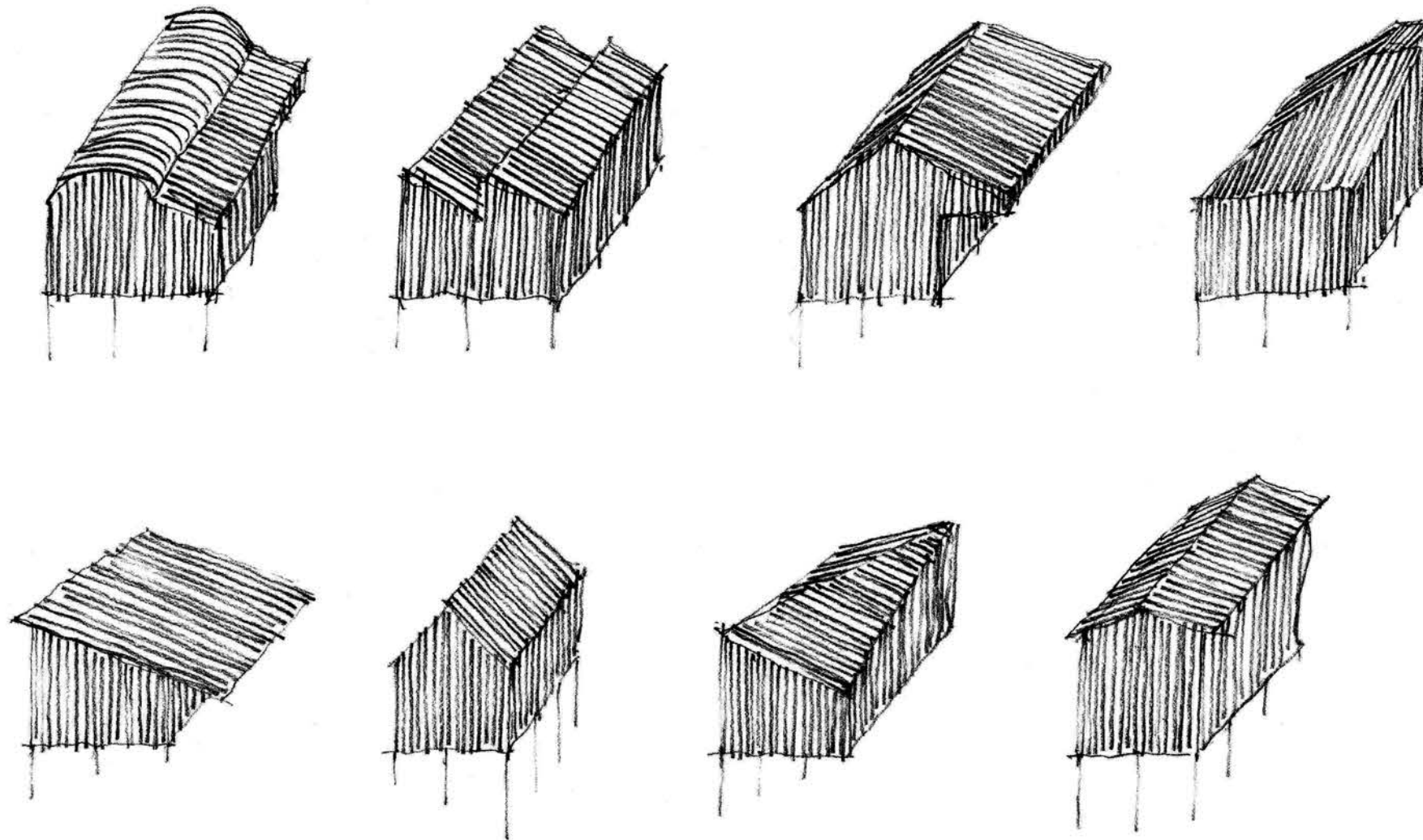
3. Architectural References

3.1 Farm Buildings



3. References

3.1 Farm Buildings



Farm ensemble.

3. References

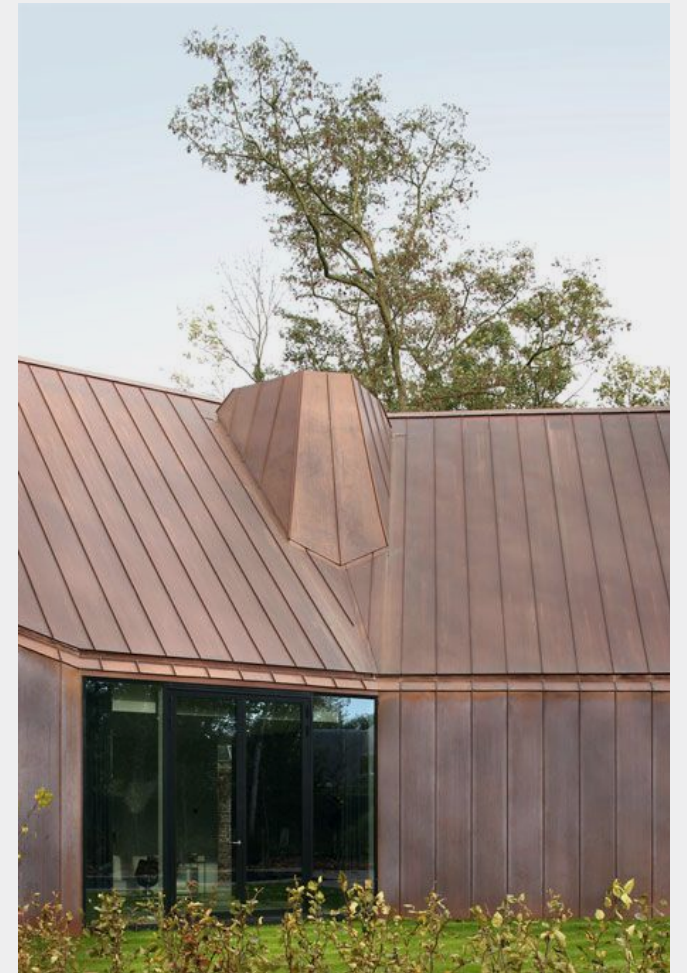
3.2 Ideas



- Form
- Materiality
- Pavilion
- Retreats
- Landscape

3. References

3.2 Ideas



- Form
- Shelter
- Terraces
- Scale
- Openings

3. References

3.2 Ideas



- Materiality
- Colour
- Comfort
- Retreat
- Inhabited Space

3. References

3.2 Ideas



- Materiality
- Landscape
- Colour
- Comfort
- Retreat
- Inhabited Space

3. References

3.2 Ideas



- Materiality
- Landscape
- Colour
- Comfort
- Retreat
- Inhabited Space

3. References

3.2 Ideas



- Materiality
- Landscape
- Light touch Foundation

3. References

3.2 Ideas



- Materiality
- Landscape
- Retreat
- Inhabited Space

3. References

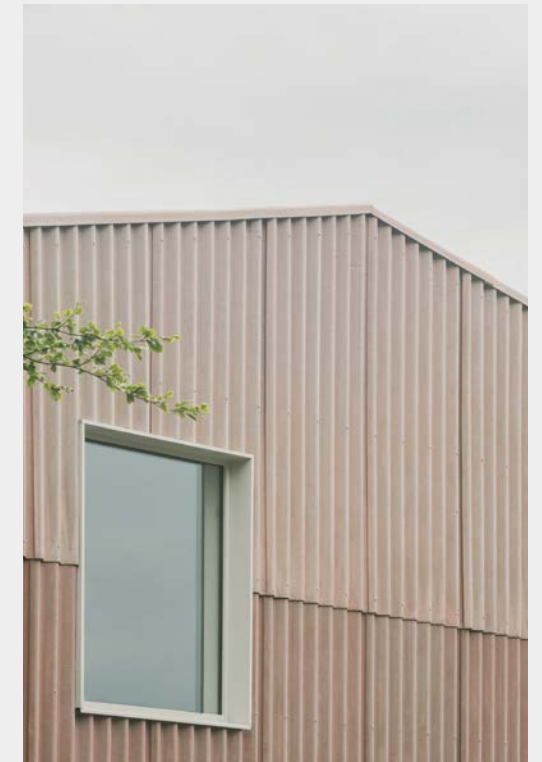
3.2 Ideas



- Materiality
- Threshold
- Boundary
- Retreat
- Landscape

3. References

3.2 Ideas



- Materiality
- Landscape
- Threshold
- Comfort
- Retreat
- Robust

4. The Redhouse



4. The Redhouse

4.1 Historic Maps & Photographs

From an analysis of historic maps, it can be seen that the Redhouse was originally constructed some time between 1898 and 1911 making it just over 100 years old.

The adjacent site over the road was formally an old quarry and school in the mid 19th century. In the late 1930s Eastwood Golf Course moved from Giffnock to Muirshield until its closure in 2019.

The M77 was then constructed in 1977 which sits just behind the site.

4. The Redhouse

4.1 Historic Maps & Photographs



1863



1898

4. The Redhouse

4.1 Historic Maps & Photographs



1911



2020

4. The Redhouse

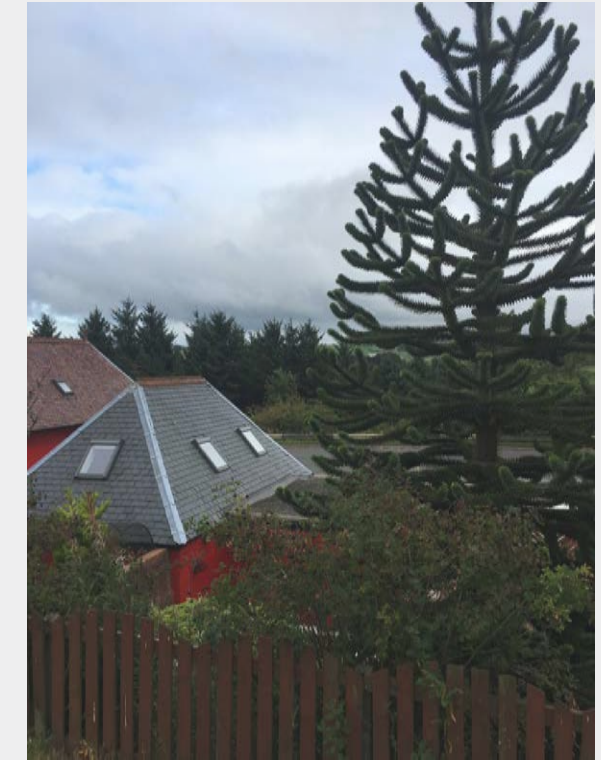
4.1 Historic Maps & Photographs



'Over the years in and around Newton Mearns' 1960's
Image copyright of National Library of Scotland

4. The Redhouse

4.2 Existing House



4. The Redhouse

4.2 Existing House



4. The Redhouse

4.2 Existing Site



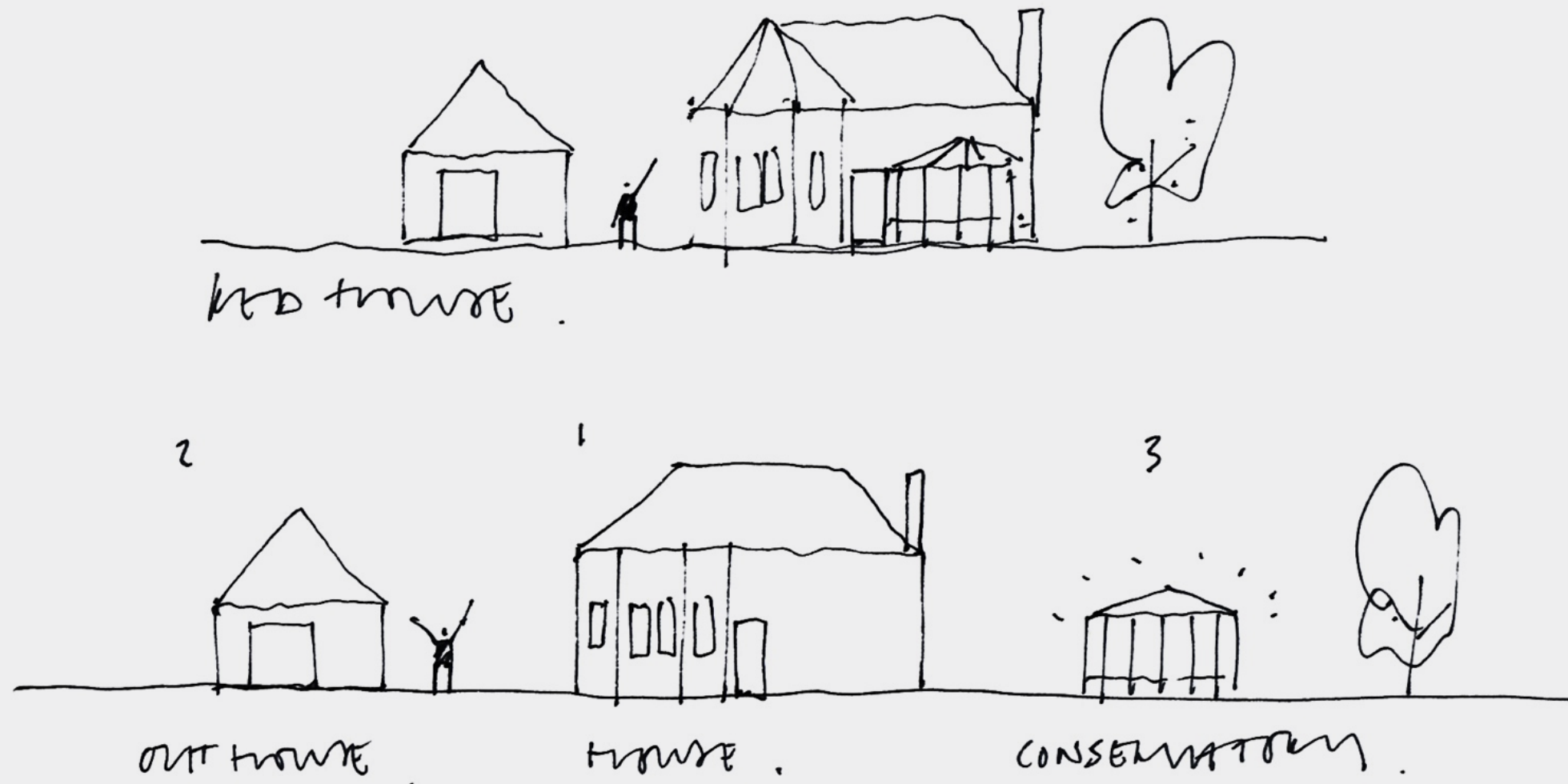
4. The Redhouse

4.2 Existing Site



4. The Redhouse

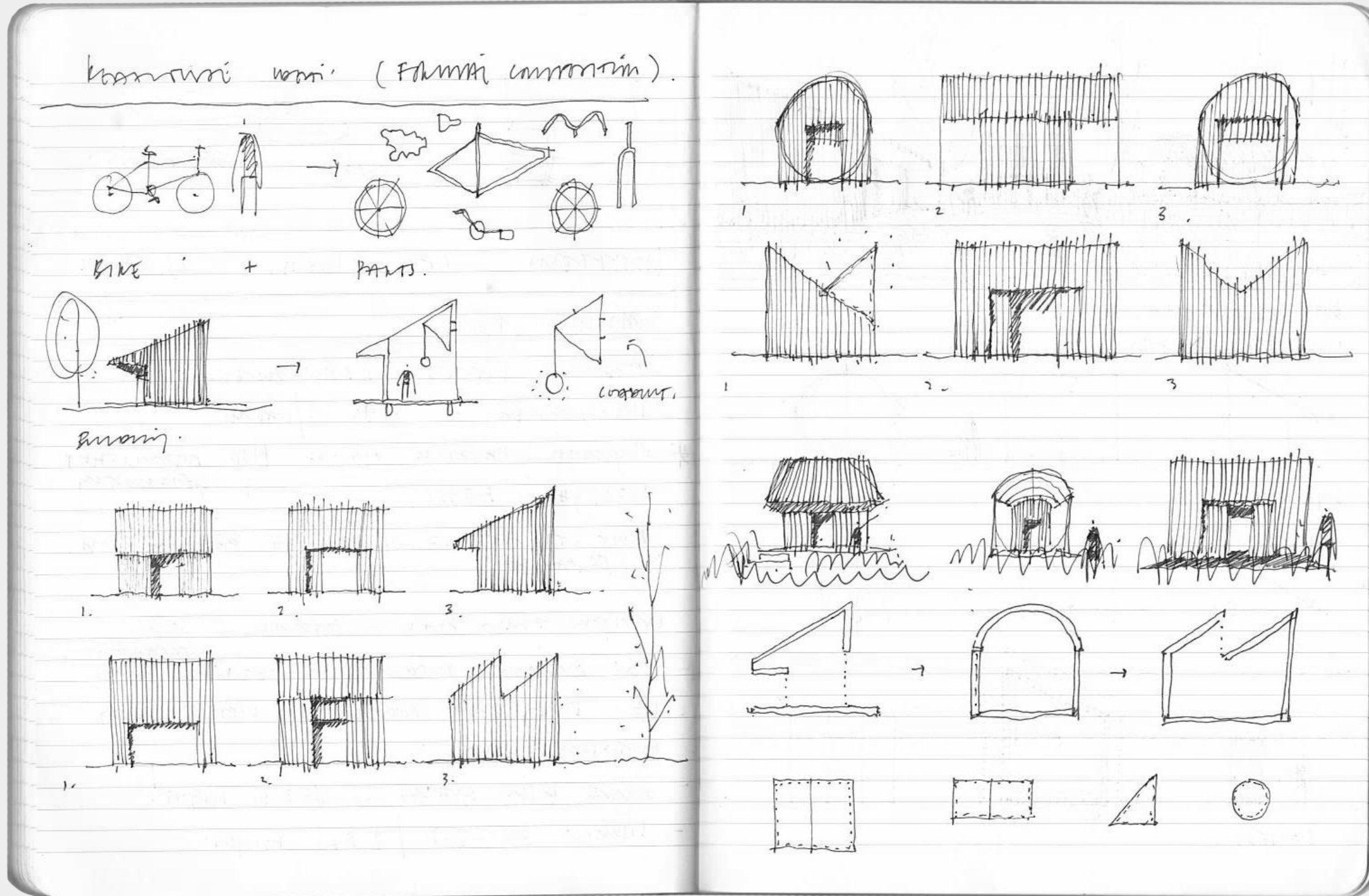
4.2 Existing Site



- Kit of Parts
- House / Out-House / Conservatory

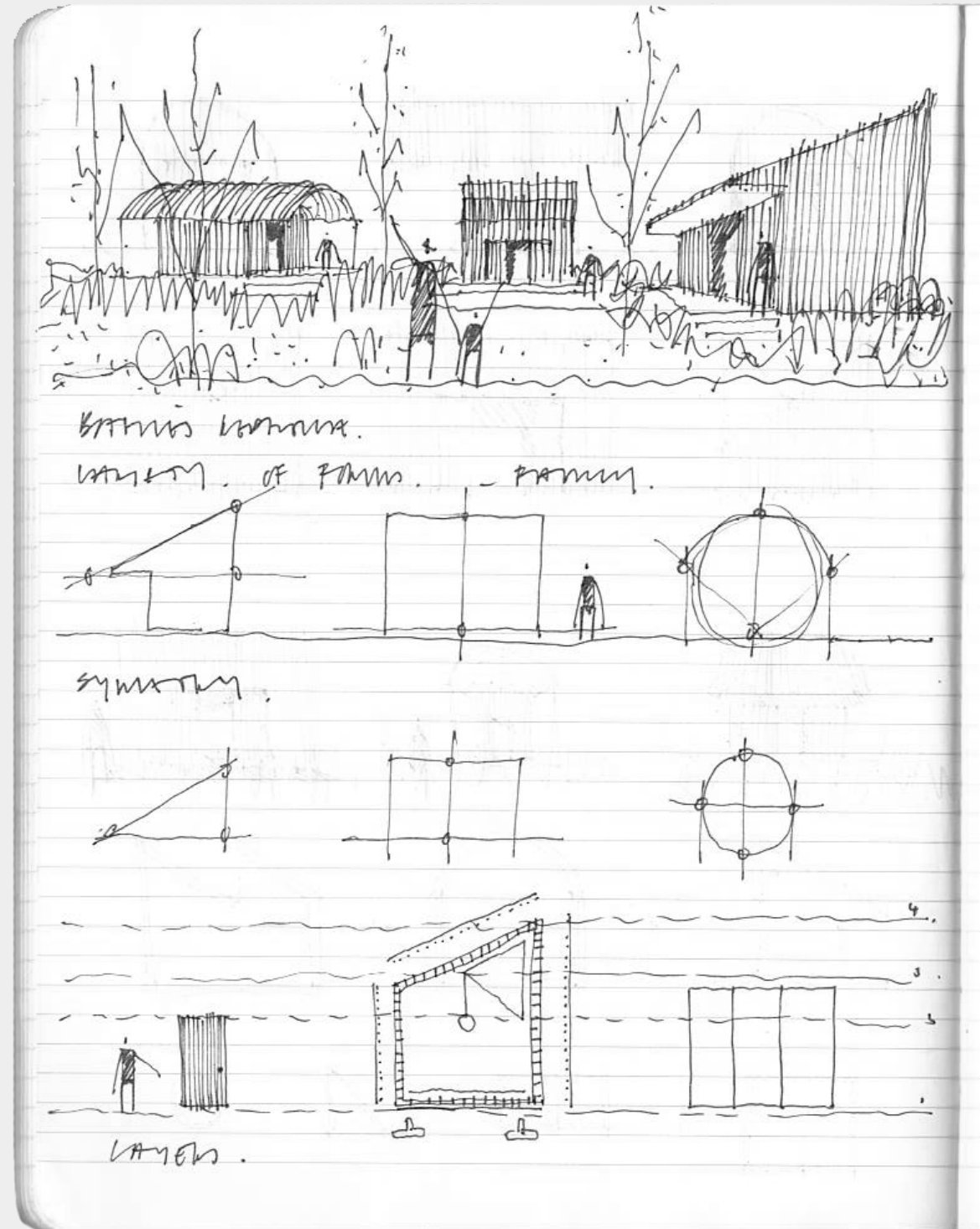
5. Proposal

5.1 Sketches



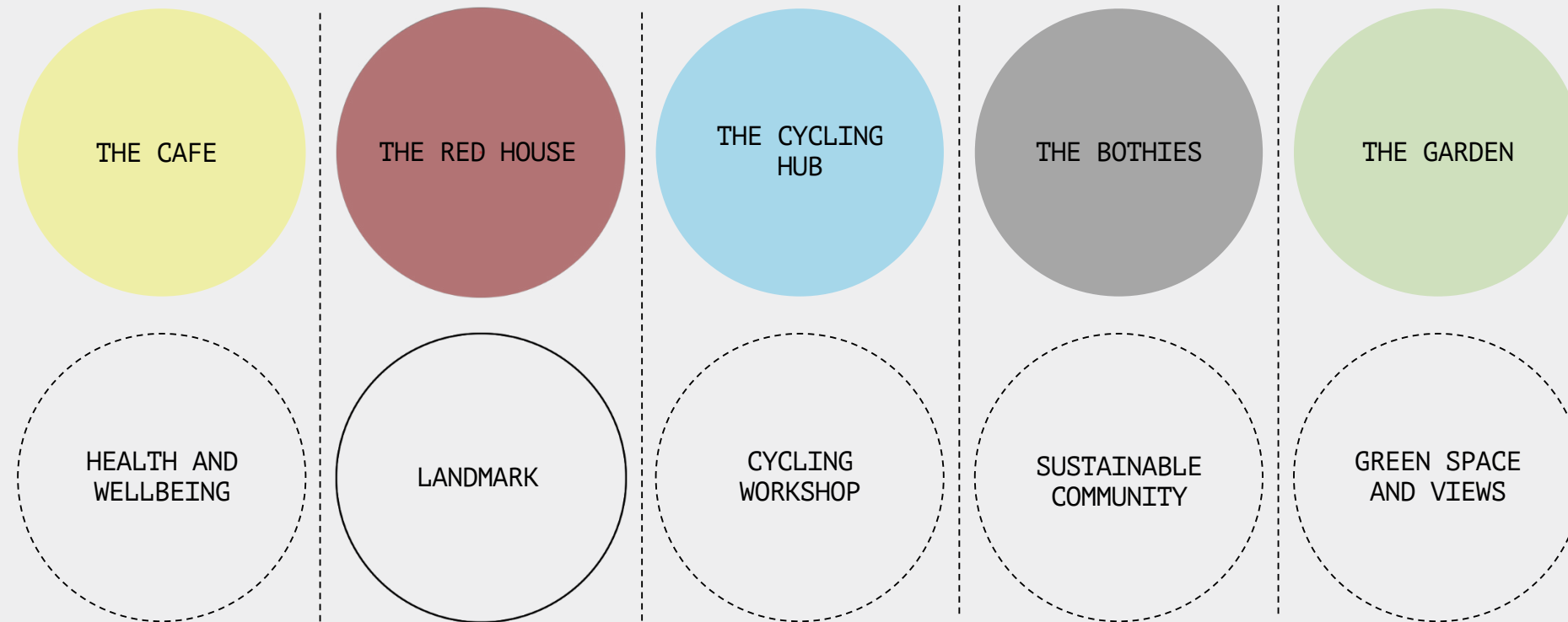
5. Proposal

5.1 Sketches



5. Proposal

5.2 Components

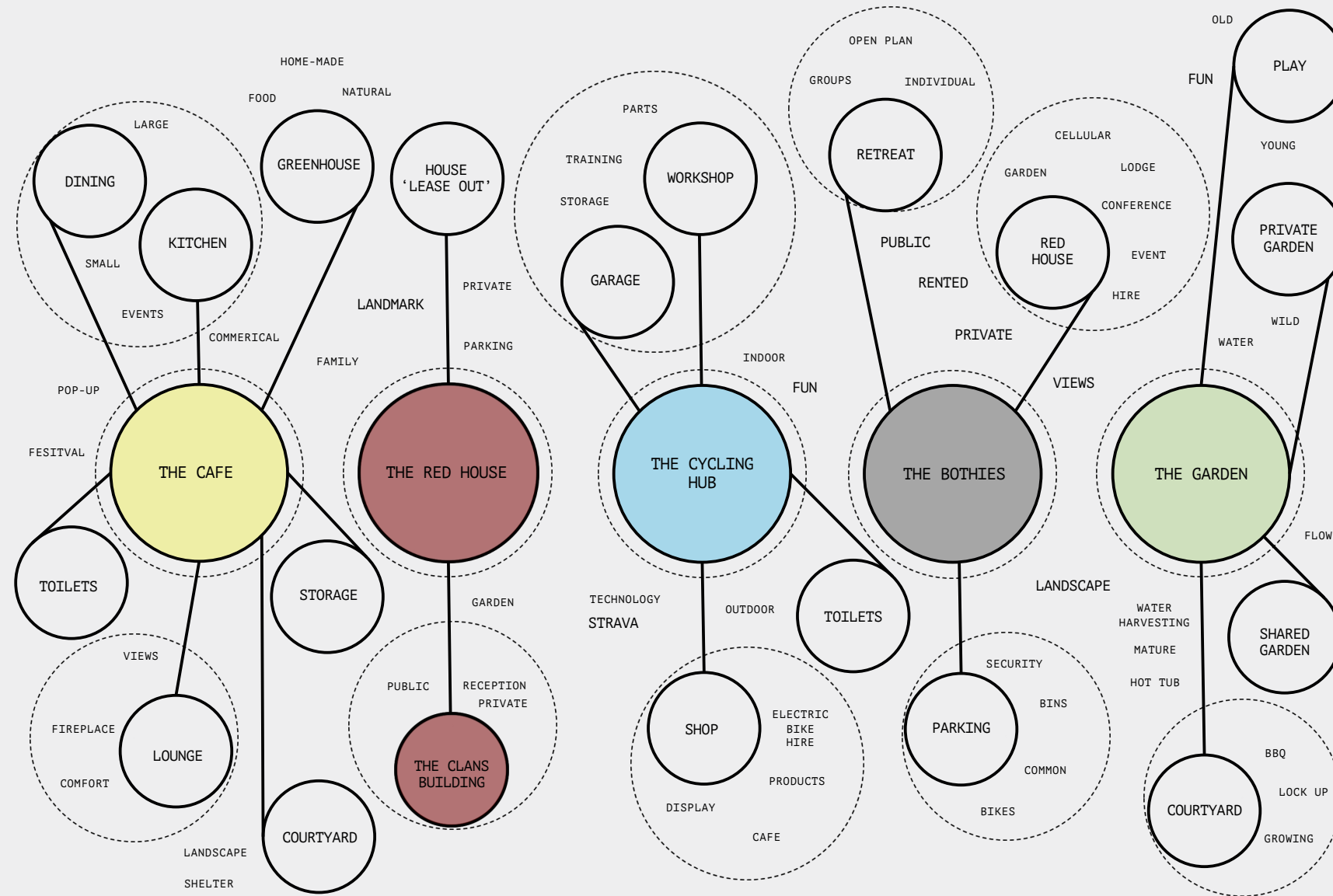


Programme

The Programme splits into 4 sections, the Red house, The Café, The Cycling Hub and the Bothies. Each of which can essentially operate independently. However, when in use the sum of the parts come together and allow cross-over between users.

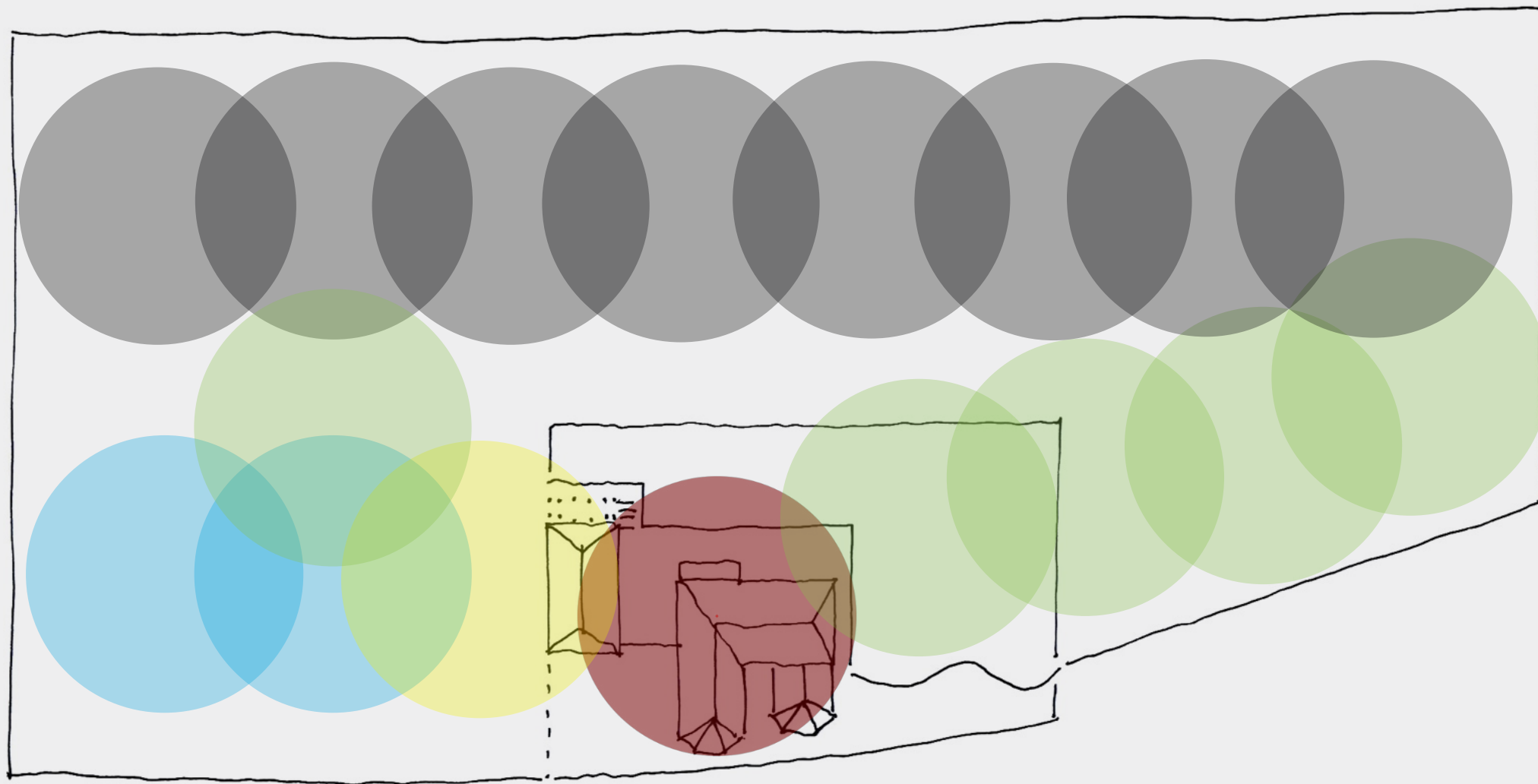
5. Proposal

5.2 Components



5. Proposal

5.3 Site Layout



Site Arrangement

The Cycle hub and Café are placed to the front of the site for close connection with the cycle path immediately in front of the site. The following series of diagrams explain the logic behind the site arrangement

5. Proposal

5.3 Site Layout



5. Proposal

5.3 Site Layout

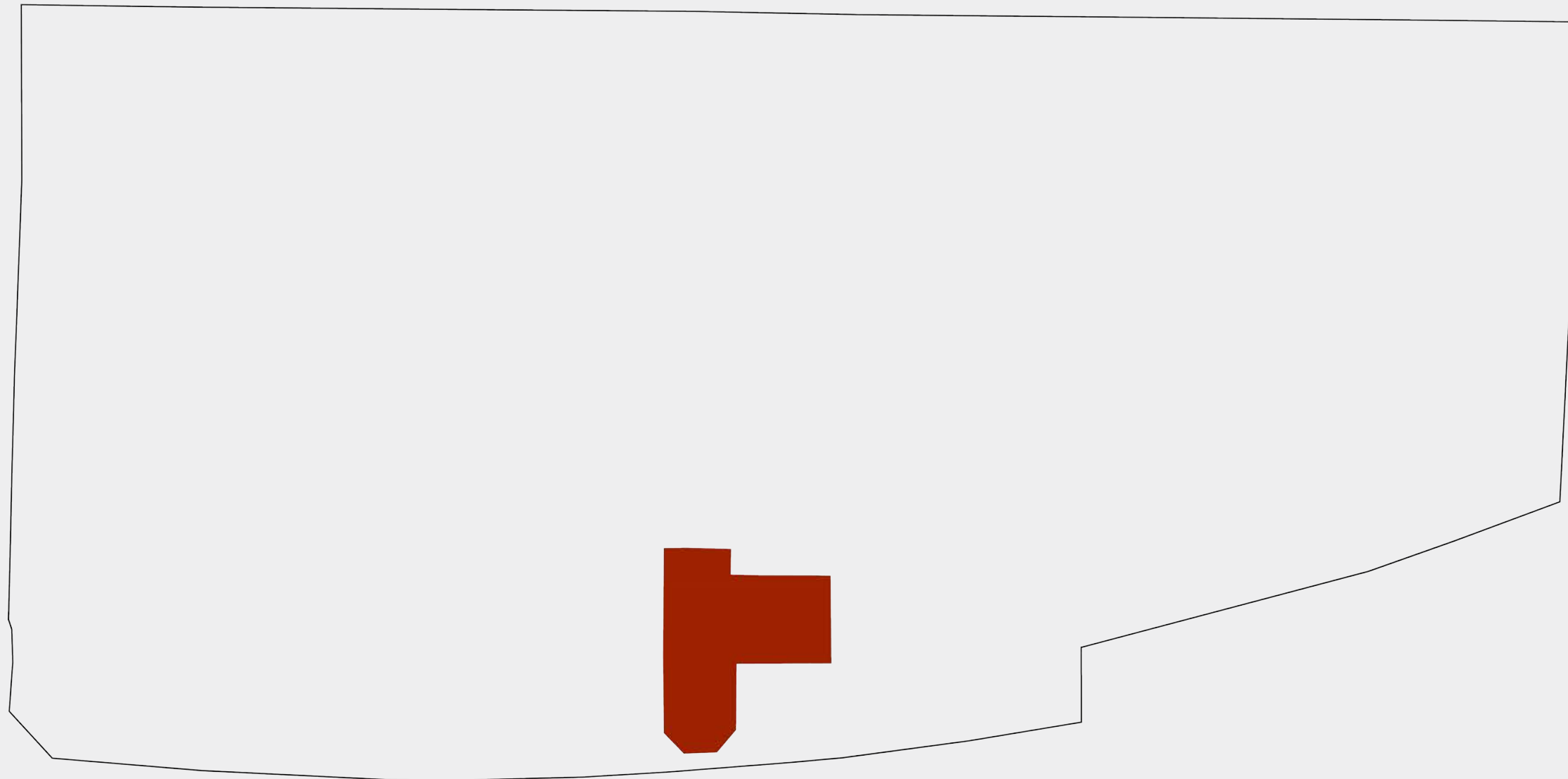


Contours

The site. Flat to the front with a steep grassy slope to the back.

5. Proposal

5.3 Site Layout

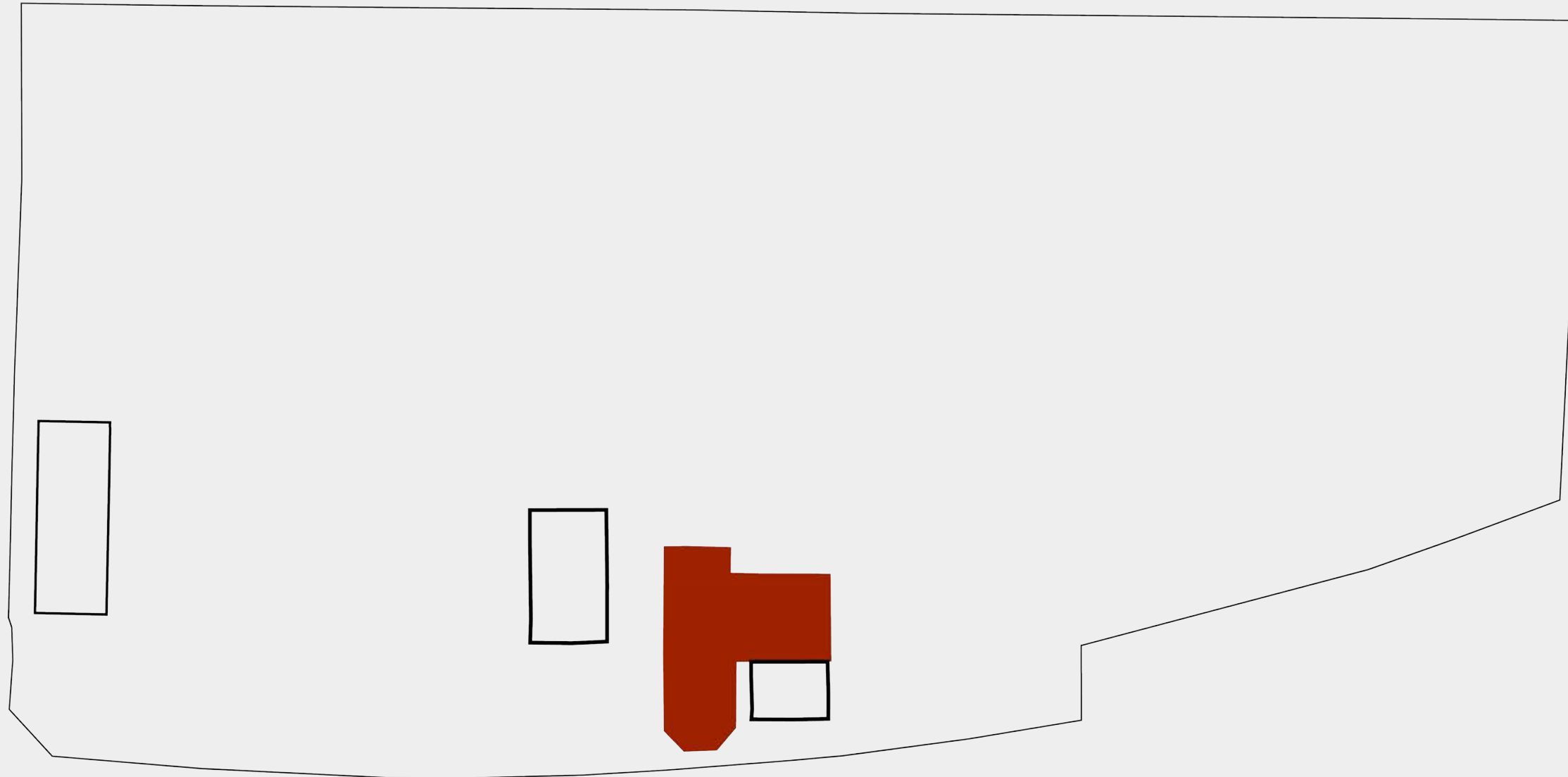


Existing Buildings

The Redhouse

5. Proposal

5.3 Site Layout

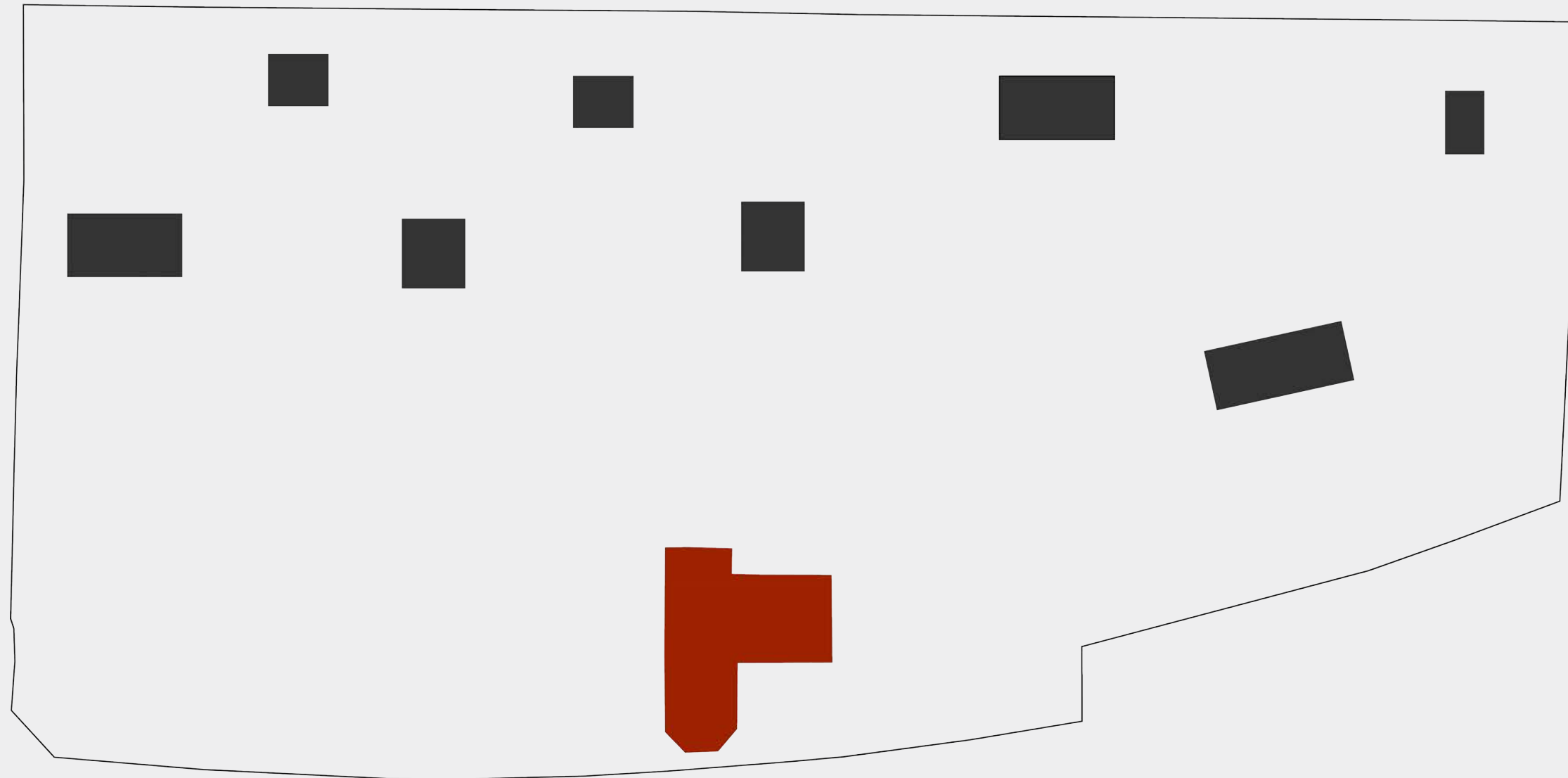


Downtakings

The Existing stable, Clan house and Redhouse extension are removed to allow for the new development without compromise.

5. Proposal

5.3 Site Layout

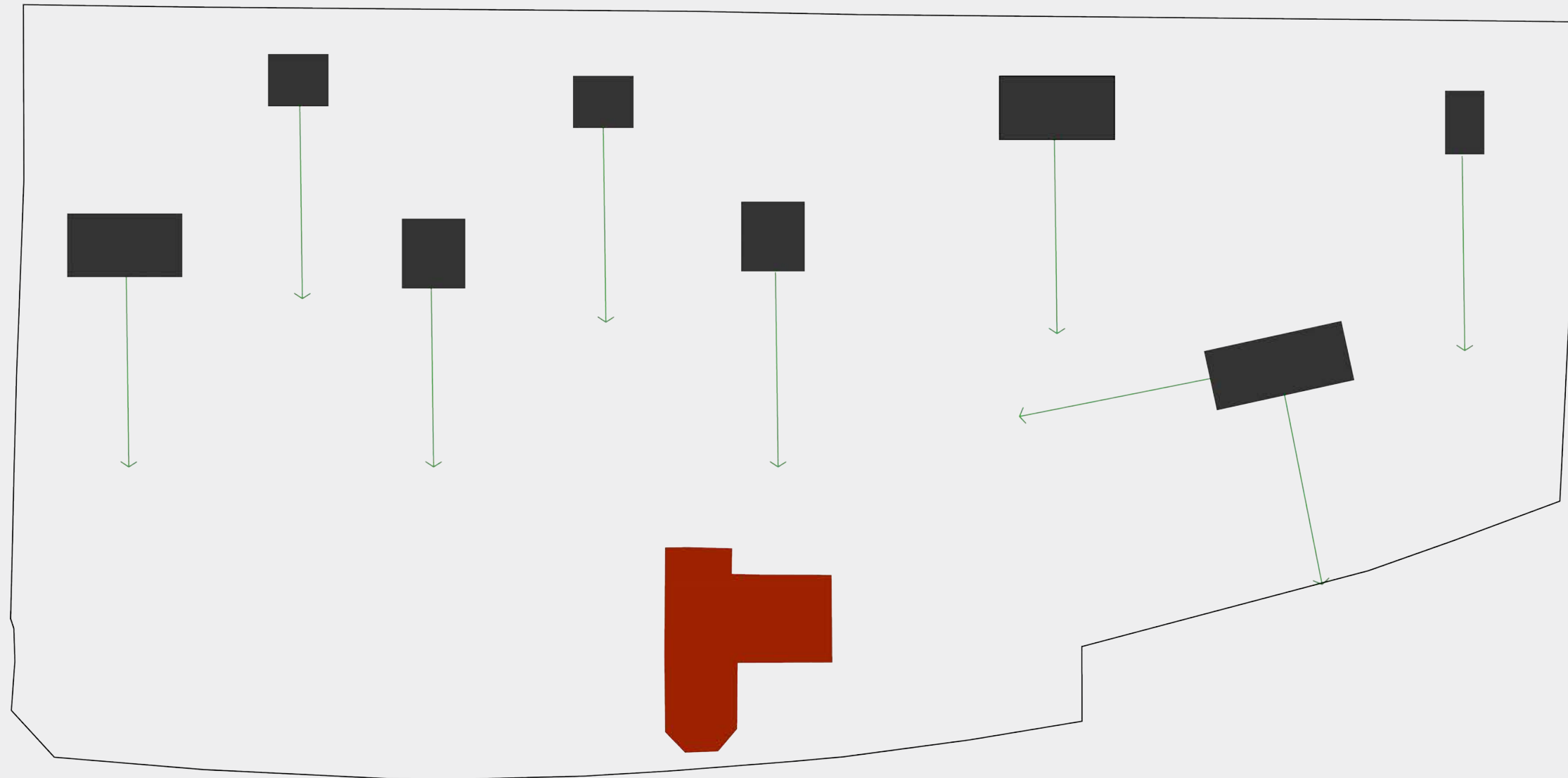


Bothies

The bothies are placed to the back of the site for privacy and views

5. Proposal

5.3 Site Layout

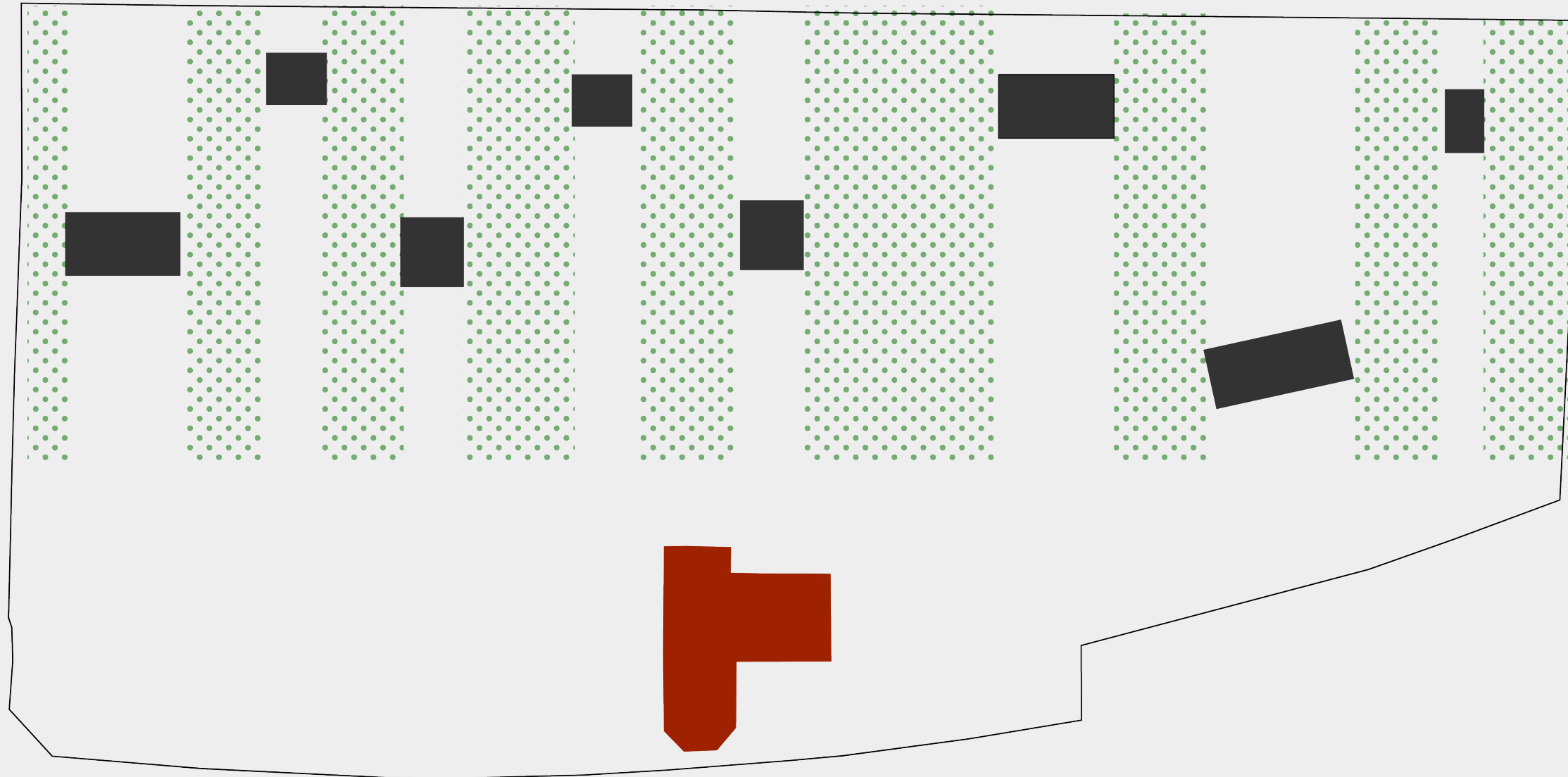


Bothies

The arrangement allows for views from each bothy

5. Proposal

5.3 Site Layout

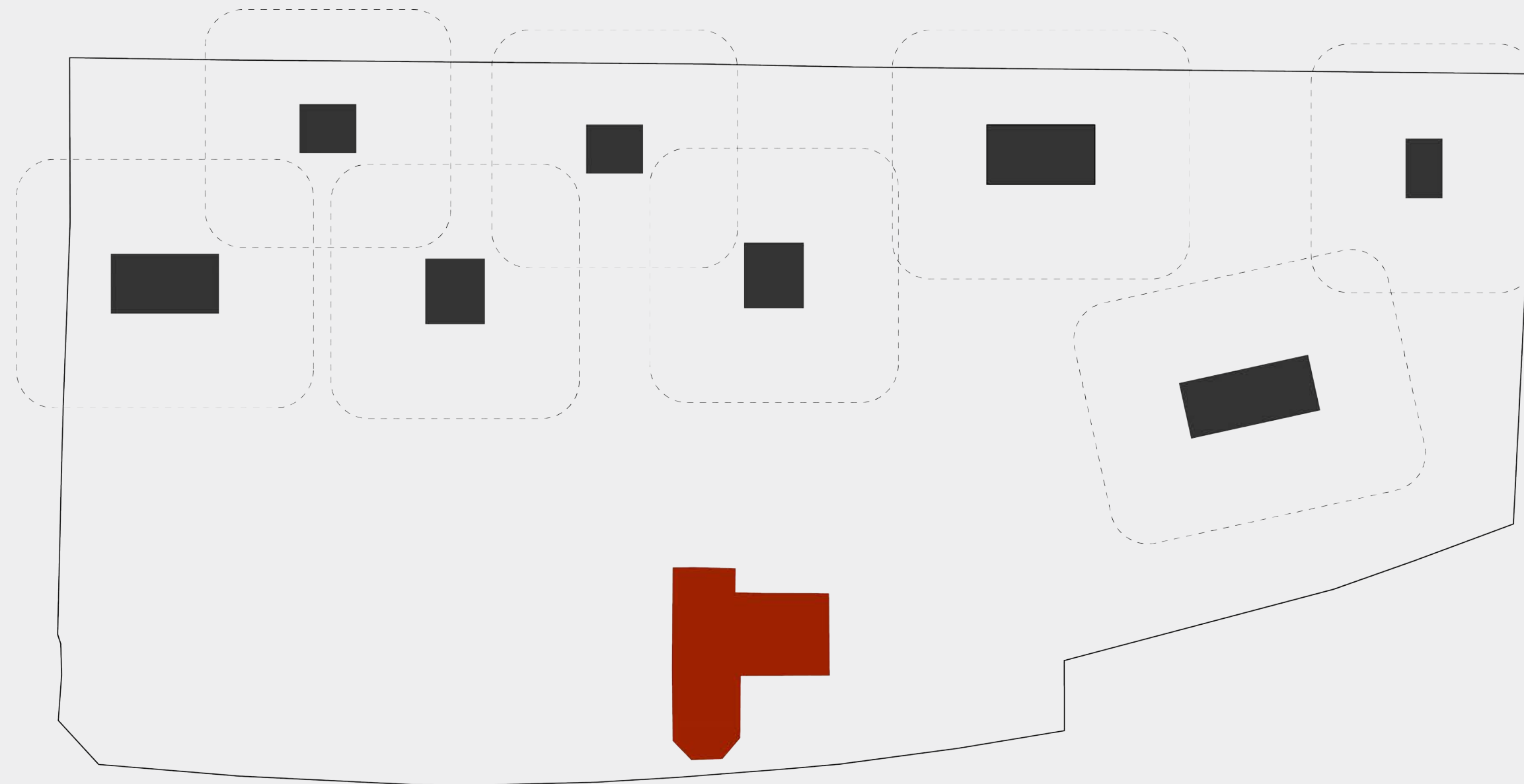


Bothies

Green space between each bothy allows for outdoor space and a distinct silhouette when looking up the hill

5. Proposal

5.3 Site Layout

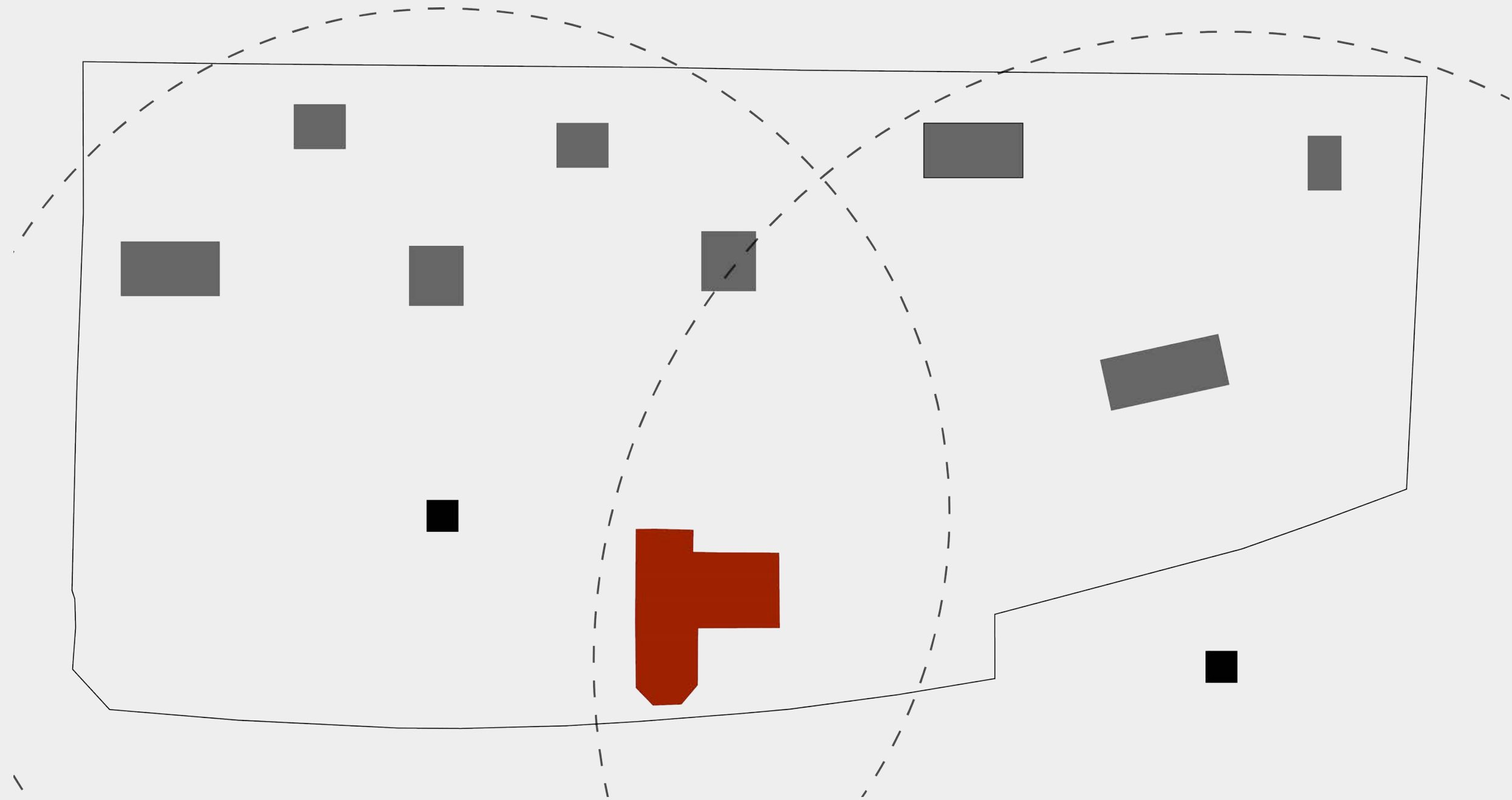


Bothies

Approximately 6m spacing is allowed between each bothy to prevent overlooking

5. Proposal

5.3 Site Layout

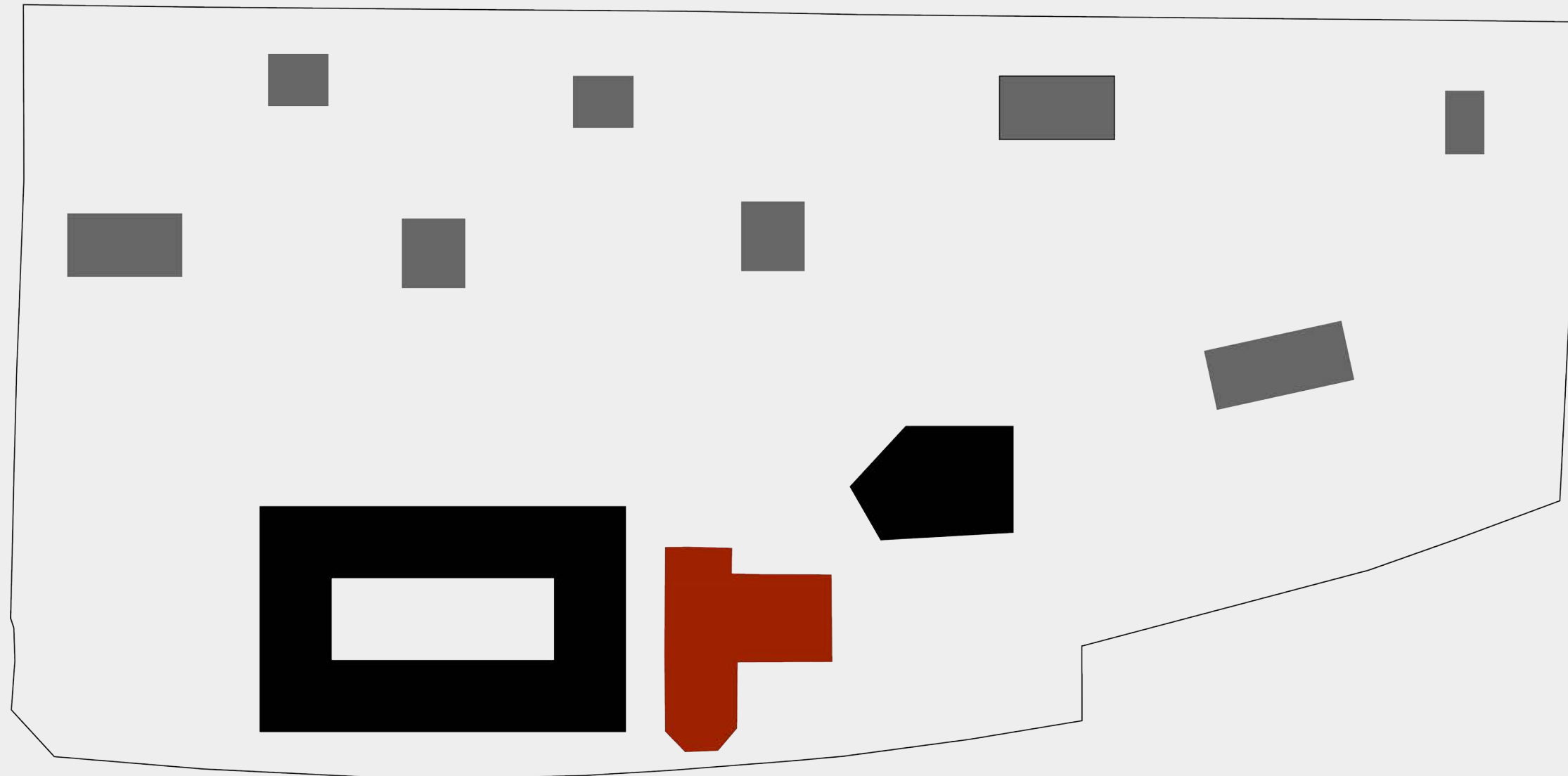


Bothy Installation

A 40m & 50m crane lift the bothies into place when delivered to site

5. Proposal

5.3 Site Layout

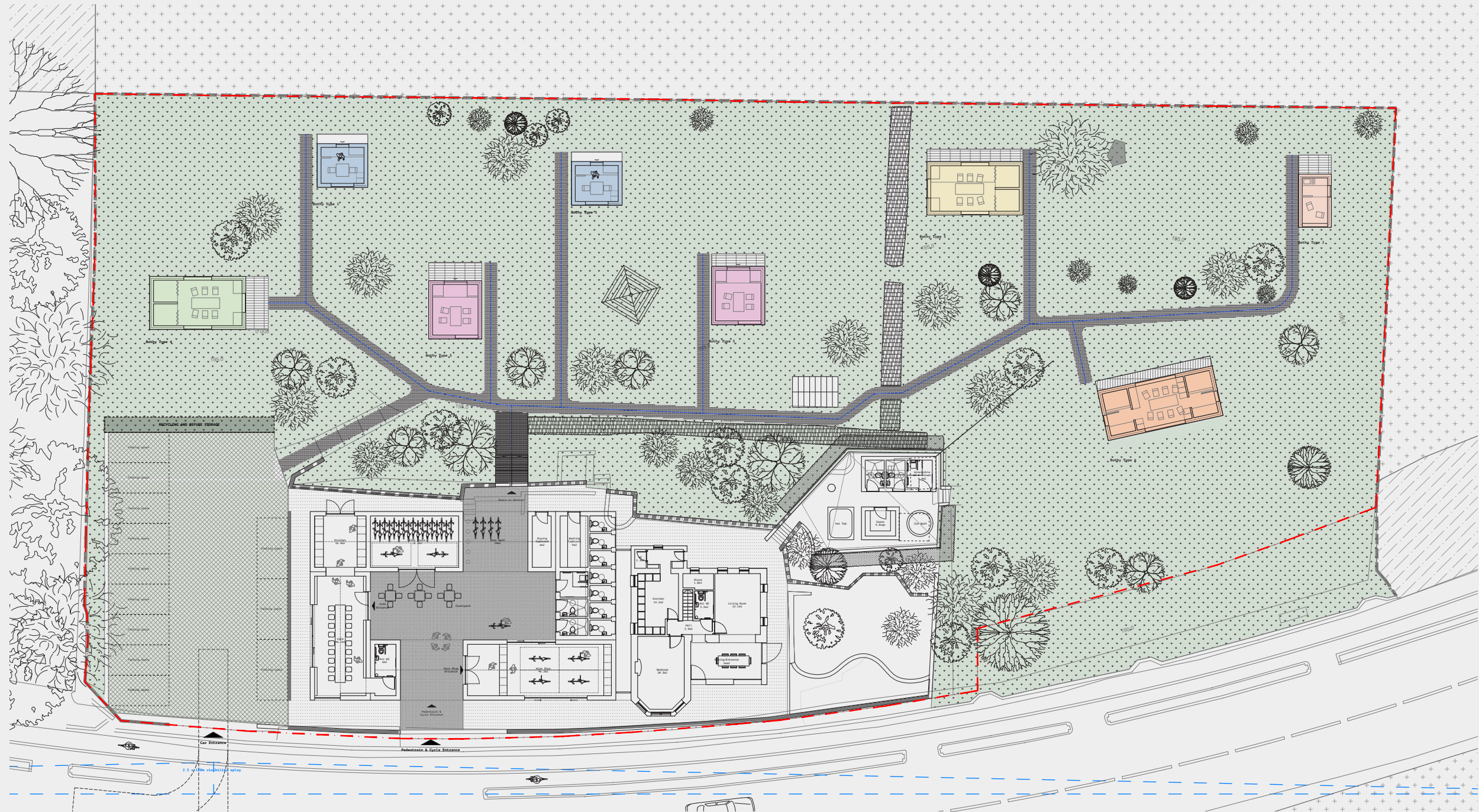


Cycle hub & Wash house

The Cycle hub and a supplementary washhouse are placed around the Redhouse

5. Proposal

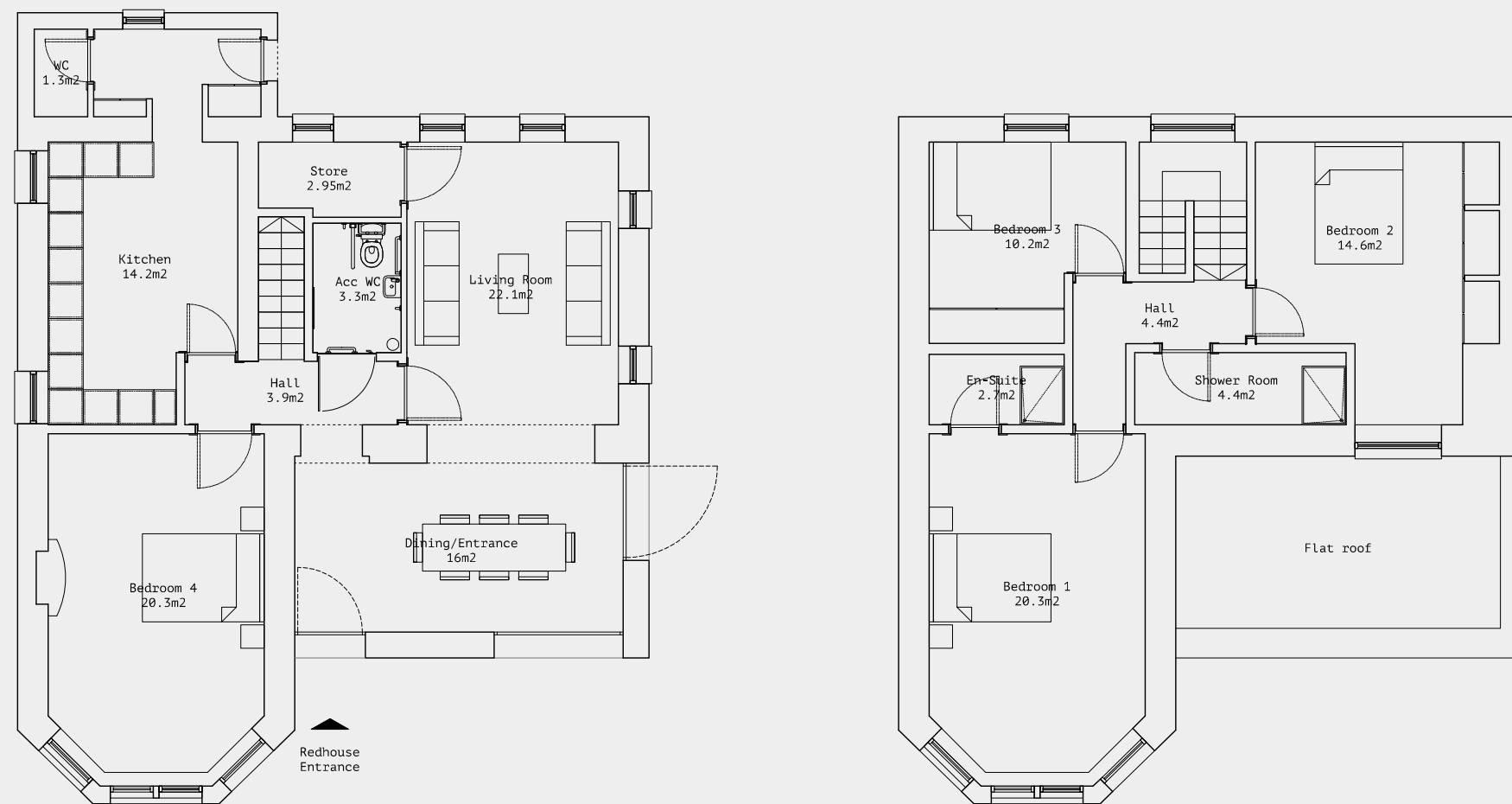
5.3 Site Layout



Proposed Site Layout

5. Proposal

5.4 Redhouse

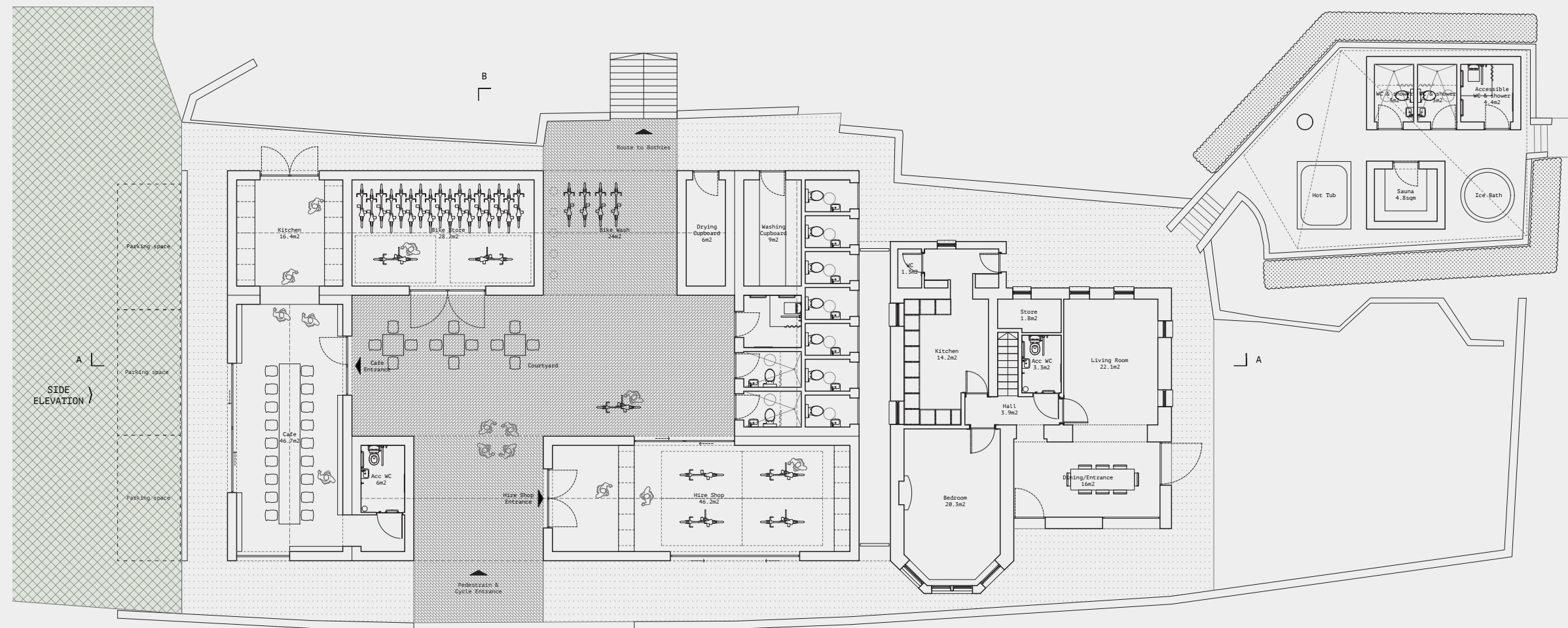


The Redhouse

The former Redhouse will be refurbished and used as another holiday let providing 4 beds and would be run in a similar manner as the bothies. The principal room on the ground floor will be converted from a living room to a bedroom, this will offer a fully accessible room as part of the development. A small extension to the front is included to enhance the communal amenities of this block.

5. Proposal

5.5 Cycle Hub

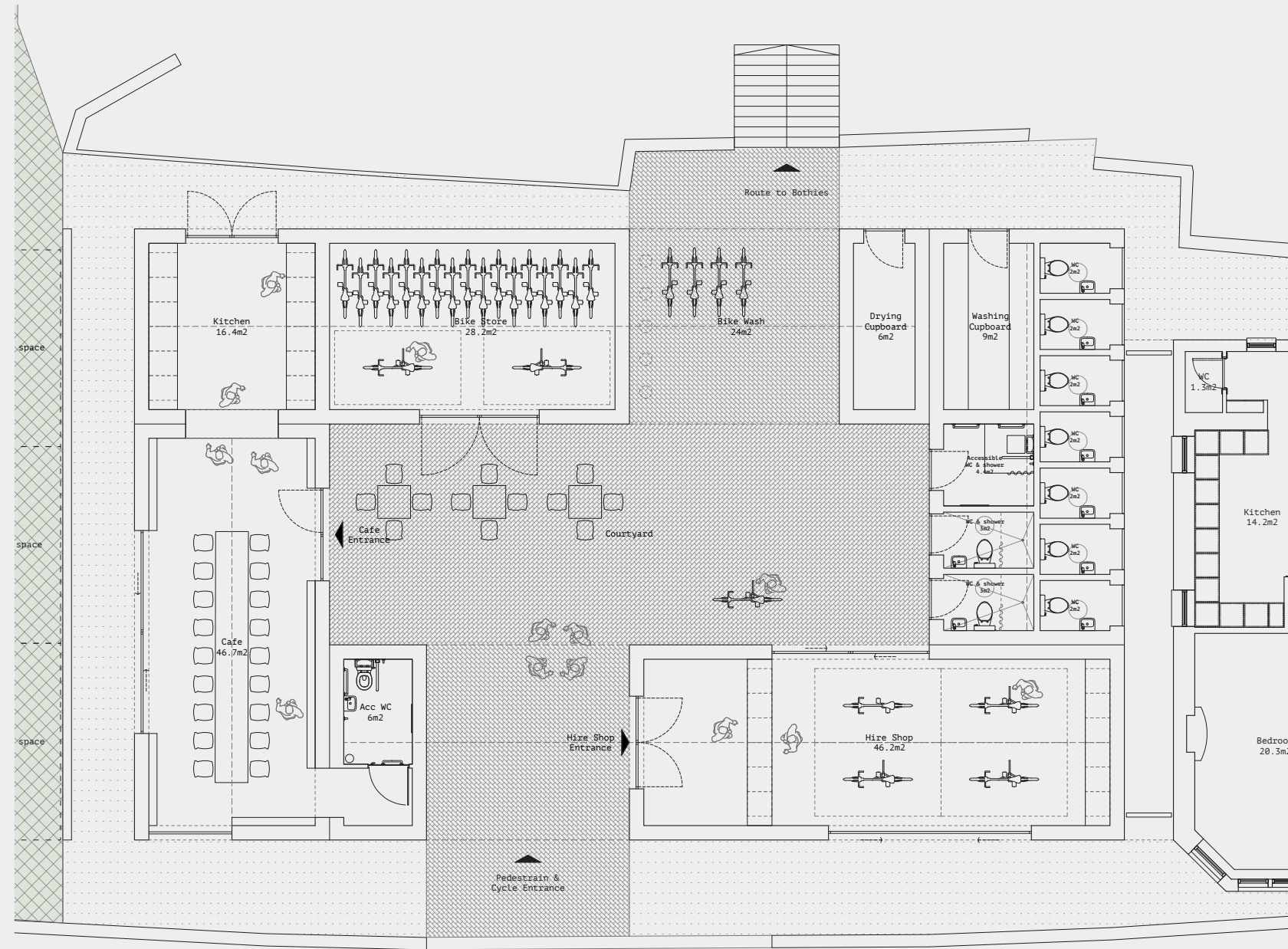


The Cycle Hub & Cafe

This is comprised on four blocks that are arranged in a pinwheel plan around a small, intimate courtyard. The two blocks facing to front of the site contain the hire shop and the café. The two ancillary blocks to the rear house the washblock, and bike storage. The washblock is intended to be used by both cyclists and people staying in the Bothies. To the far right is an additional wash block that contains a sauna, ice bath and hot tub.

5. Proposal

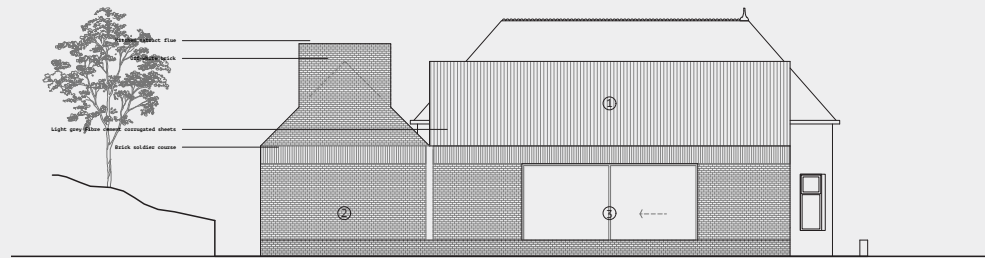
5.5 Cycle Hub



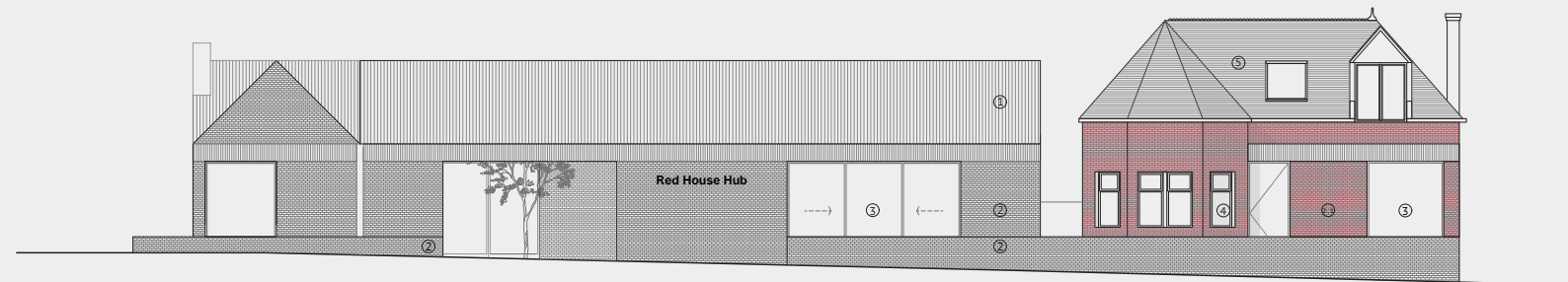
The Cycle Hub & Cafe

5. Proposal

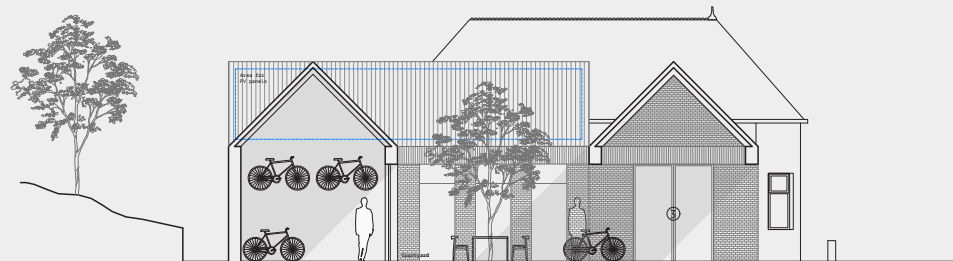
5.5 Cycle Hub



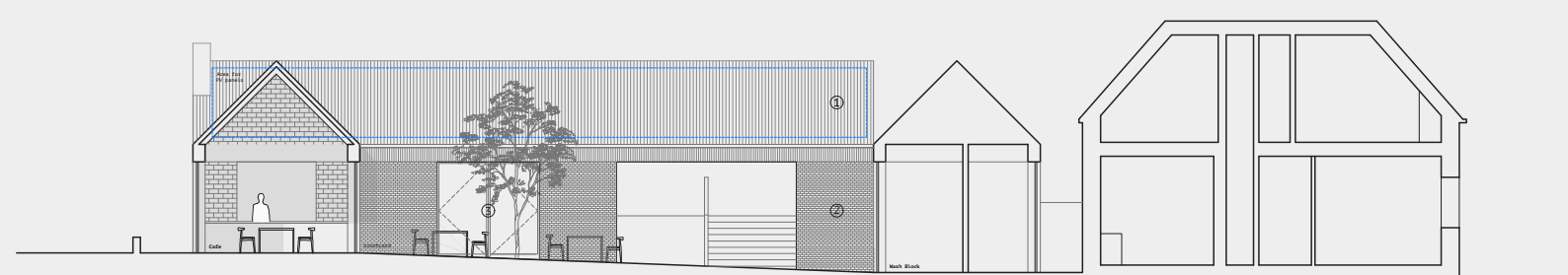
Side Elevation
1:200



Front Elevation
1:200



Section B-B
1:200



Section A-A
1:200

The Cycle Hub & Cafe

In order to relate to the front of the site and the existing Redhouse, the cycle hub will be constructed out of load bearing white brick and block walls with timber rafters and corrugated fibre cement panel roof.

5. Proposal

5.5 Cycle Hub



Artist's Impression

5. Proposal

5.5 Cycle Hub



5. Proposal

5.5 Cycle Hub



5. Proposal

5.5 Cycle Hub



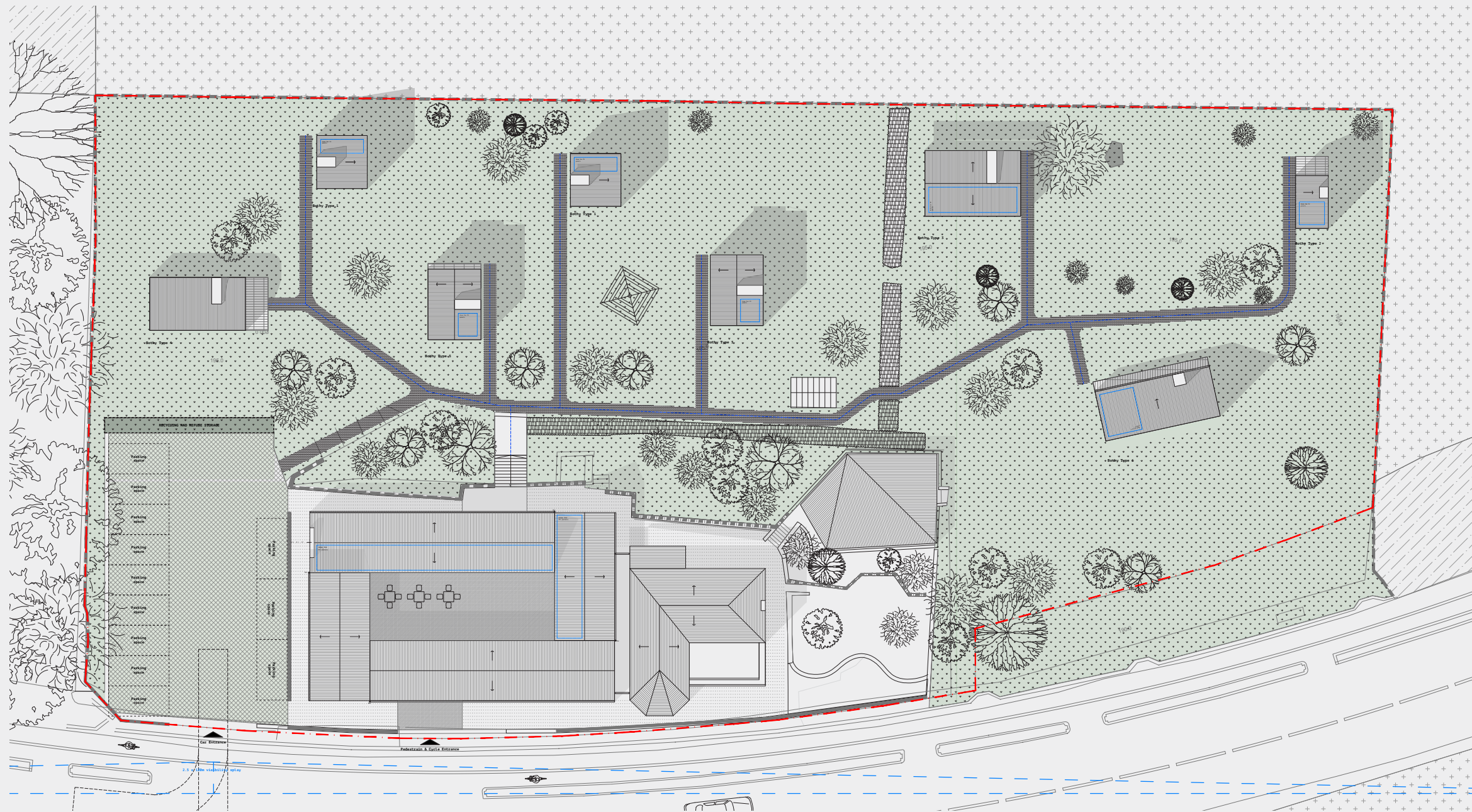
5. Proposal

5.5 Cycle Hub



5. Proposal

5.6 Bothies

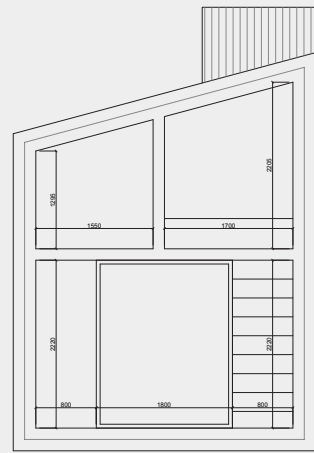


The Bothies

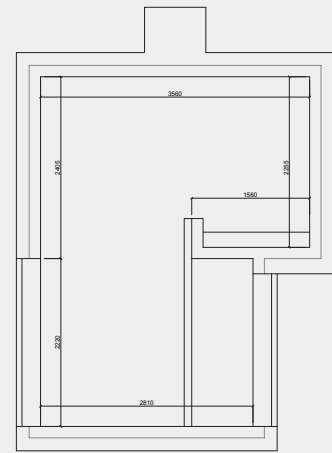
There are 8 bothies in total with a variety of shapes and sizes to accommodate different groups. However, they share similarities in form, material and detail. The bothies themselves have basic amenities of beds, a sink and some storage. The wash facilities for the bothies are located as part of the cycle hub, and in the separate satellite wash block near the centre of the site.

5. Proposal

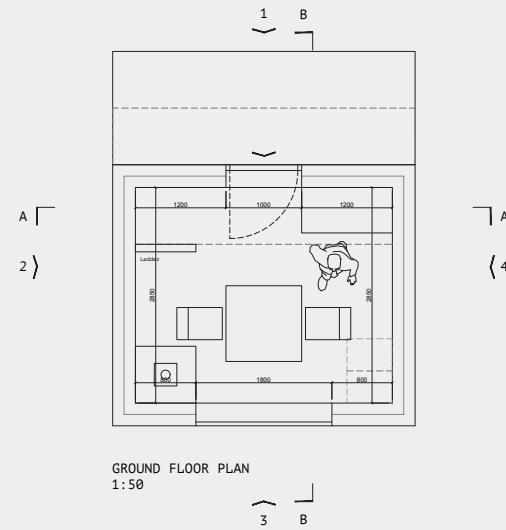
5.6 Bothies



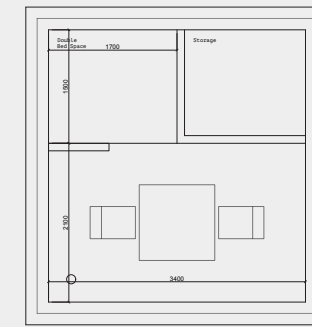
SECTION A-A
1:50



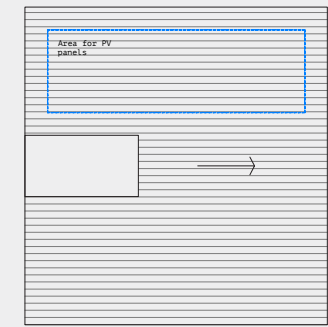
SECTION B-B
1:50



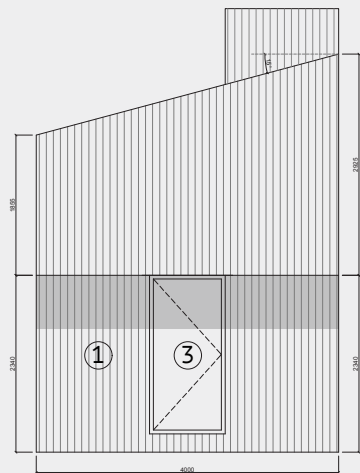
GROUND FLOOR PLAN
1:50



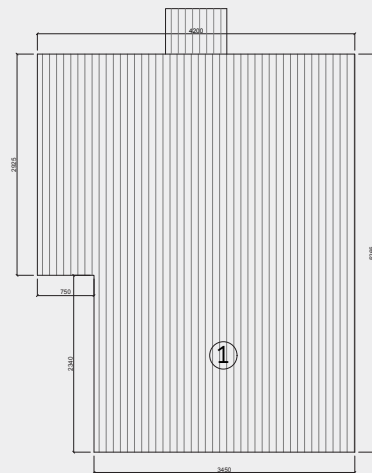
FIRST FLOOR PLAN
1:50



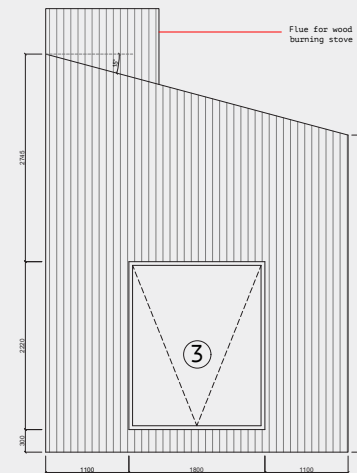
ROOF PLAN
1:50



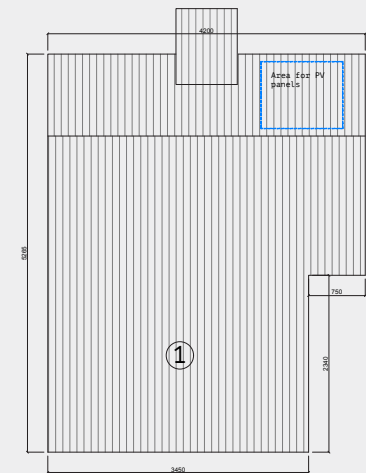
ELEVATION 1
1:50



ELEVATION 2
1:50



ELEVATION 3
1:50



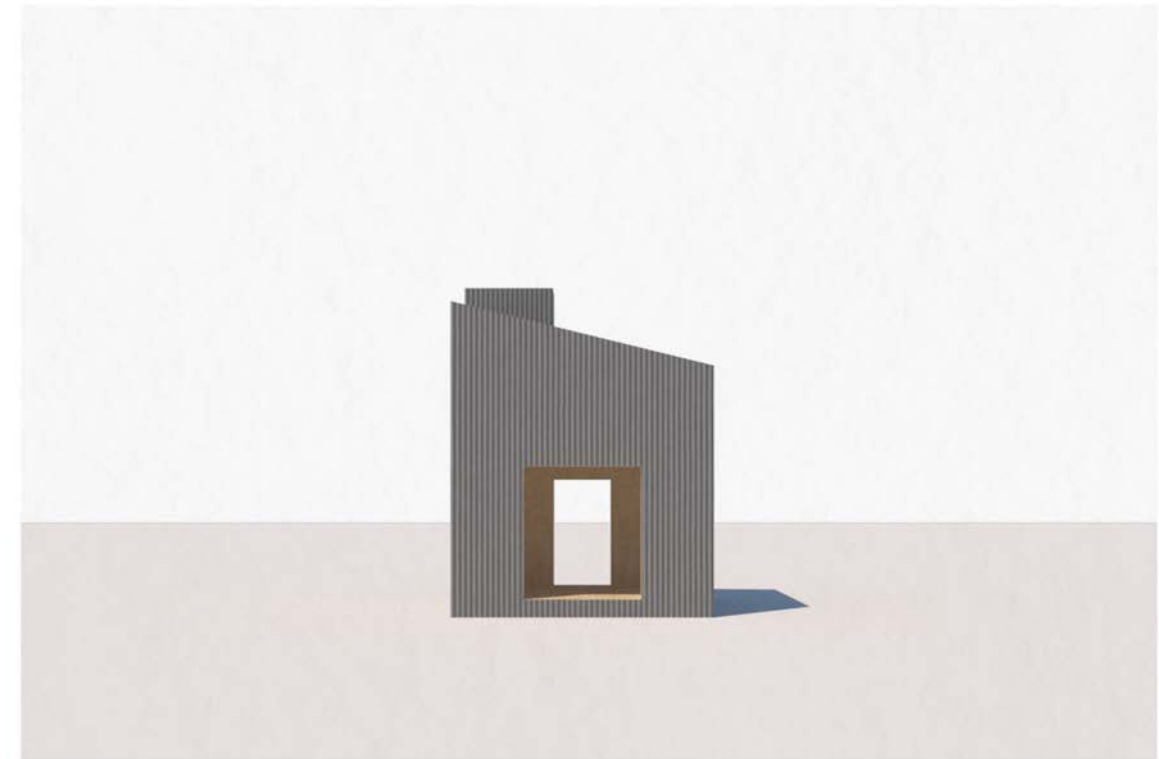
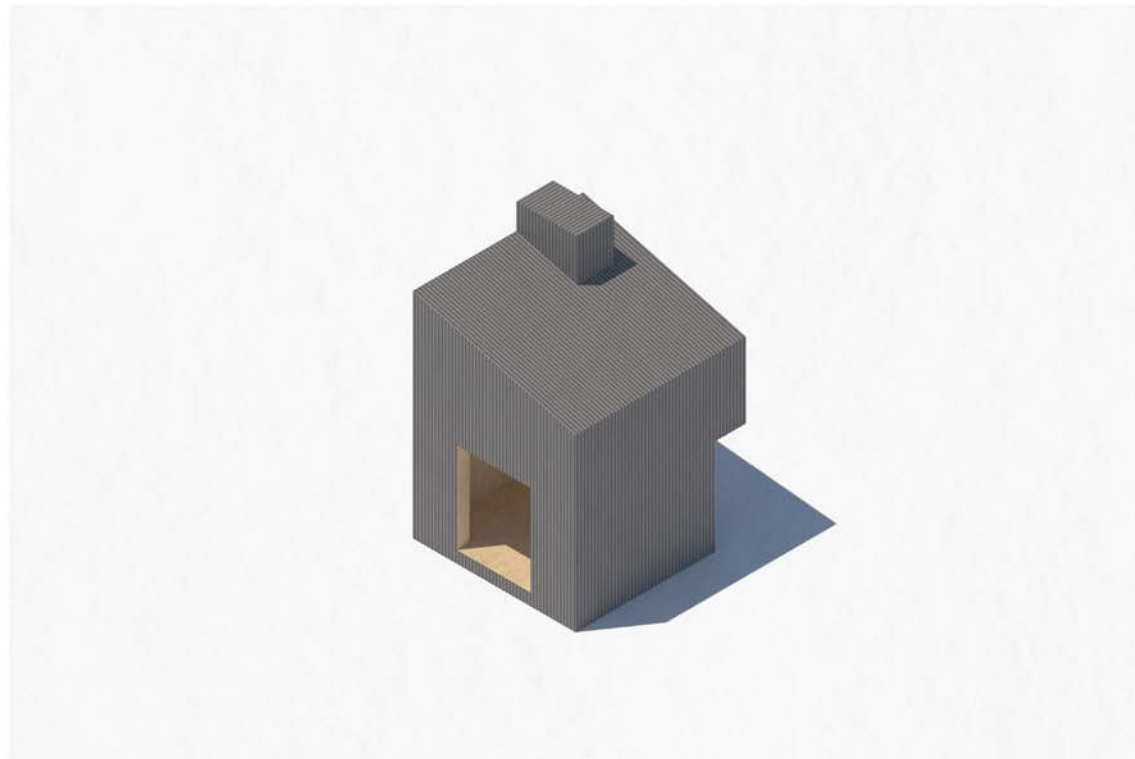
ELEVATION 4
1:50

The Bothies

Type 1
1 Bed

5. Proposal

5.6 Bothies

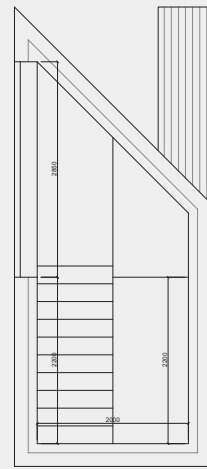


The Bothies

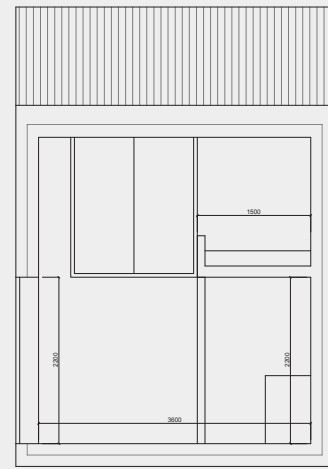
Type 1
1 Bed

5. Proposal

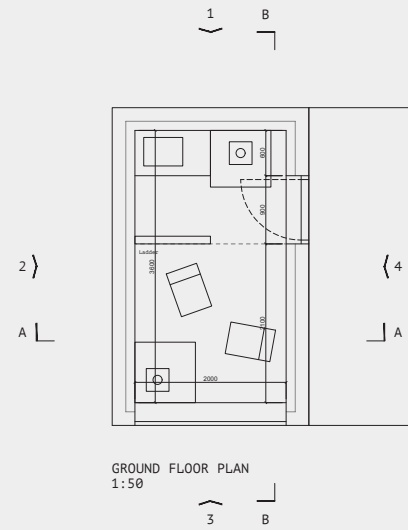
5.6 Bothies



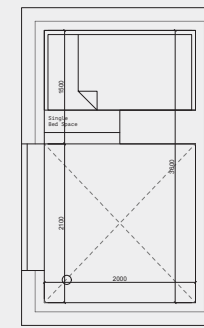
SECTION A-A
1:50



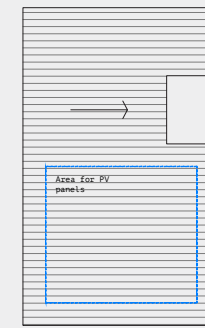
SECTION B-B
1:50



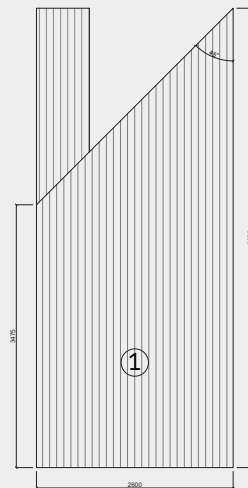
GROUND FLOOR PLAN
1:50



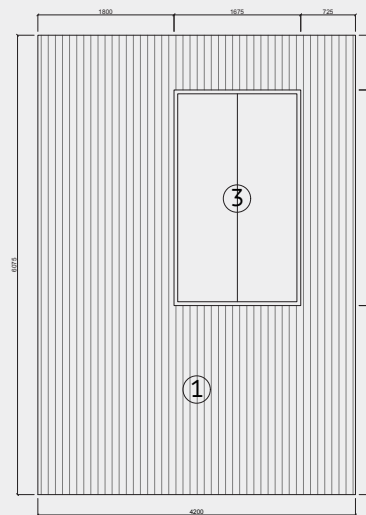
FIRST FLOOR PLAN
1:50



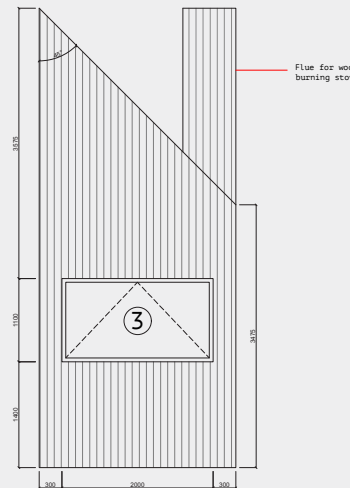
ROOF PLAN
1:50



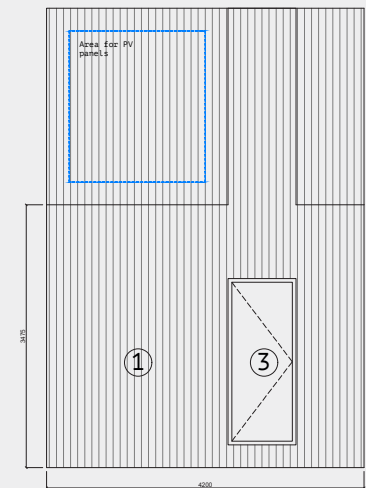
ELEVATION 1
1:50



ELEVATION 2
1:50



ELEVATION 3
1:50



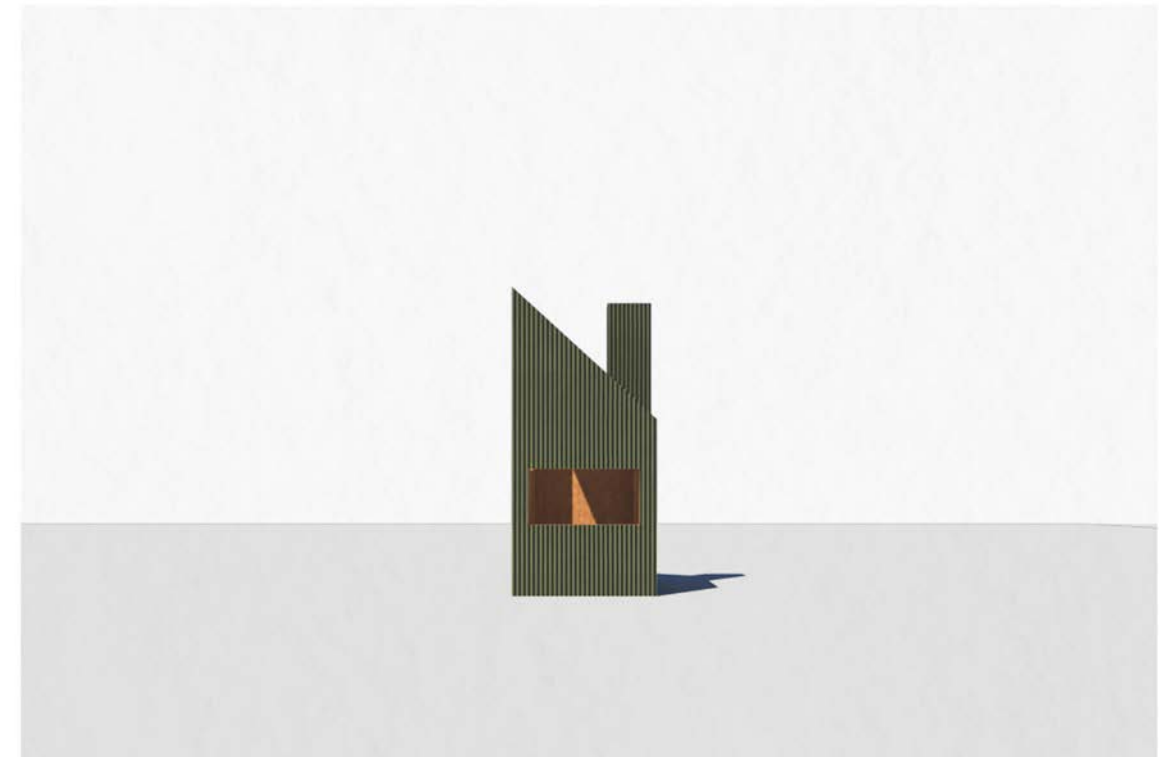
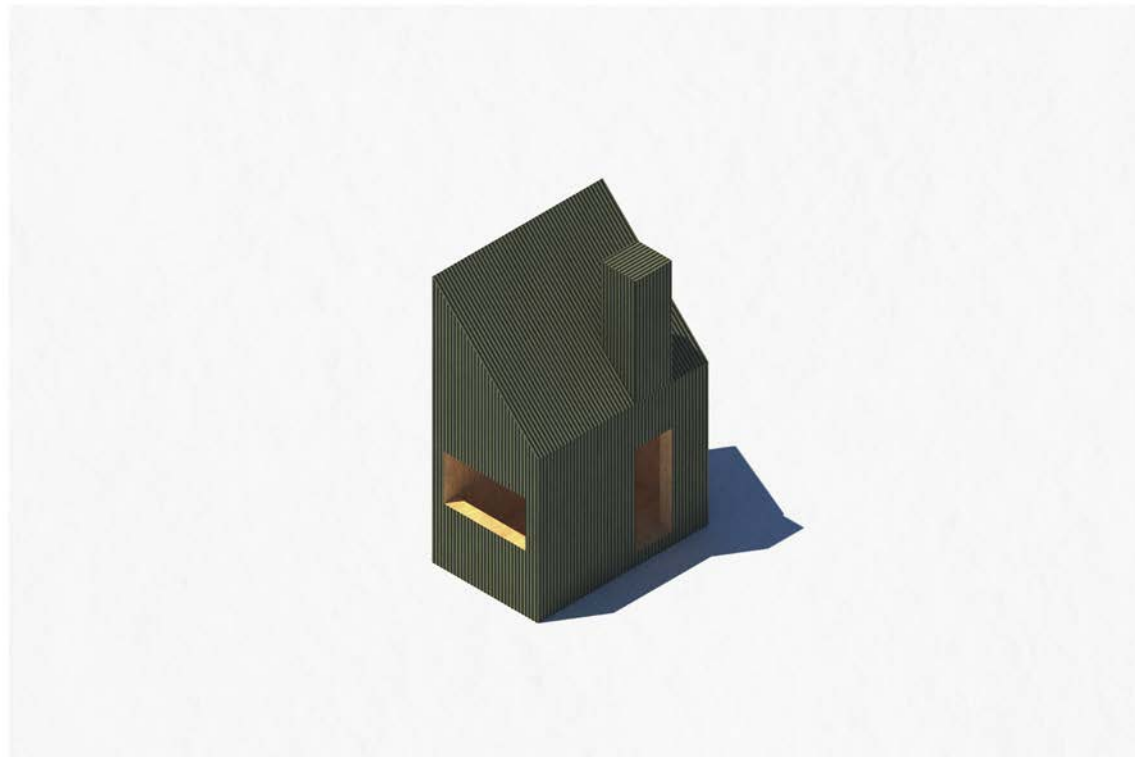
ELEVATION 4
1:50

The Bothies

Type 2
1 Bed

5. Proposal

5.6 Bothies

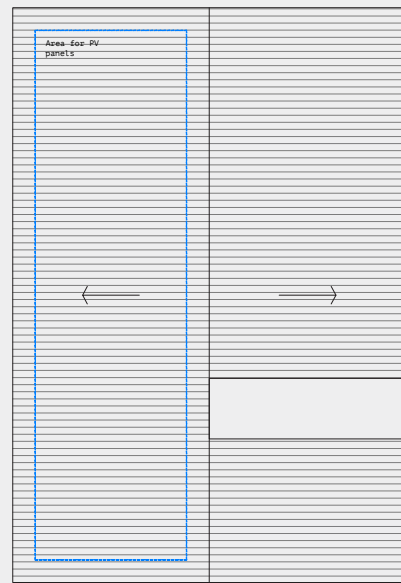


The Bothies

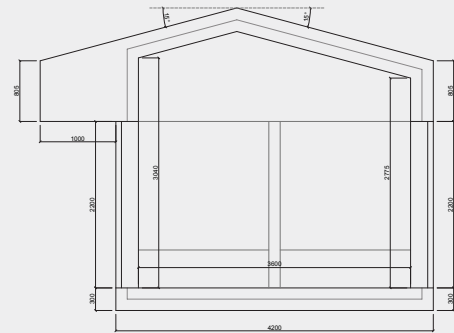
Type 2
1 Bed

5. Proposal

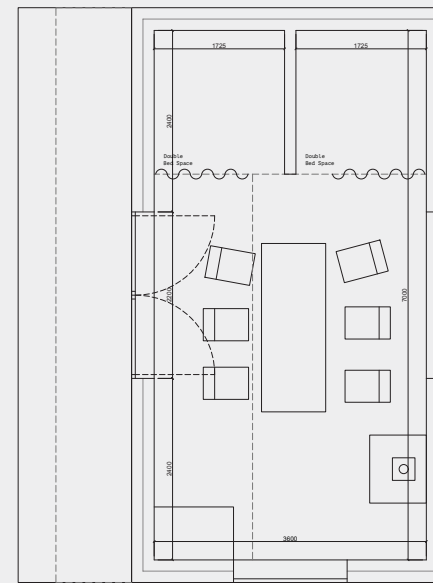
5.6 Bothies



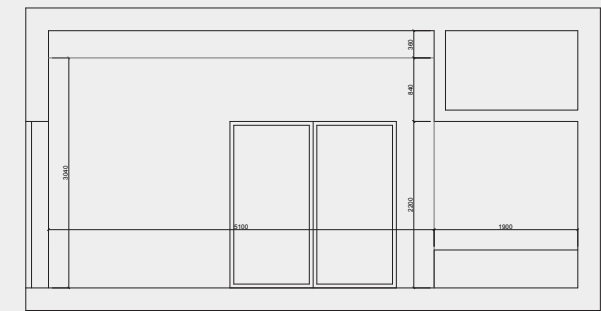
ROOF PLAN
1:50



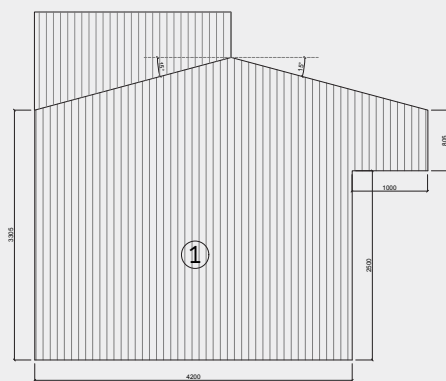
SECTION A-A
1:50



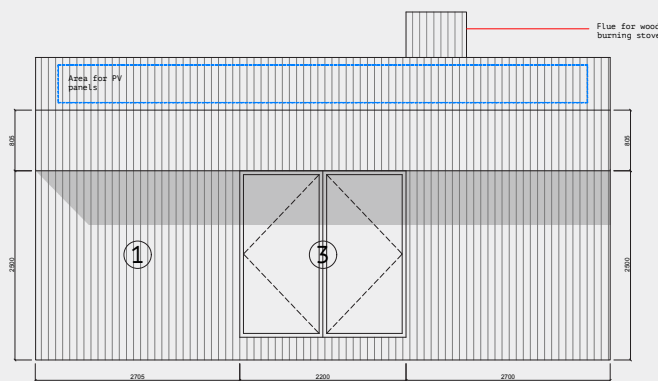
GROUND FLOOR PLAN
1:50



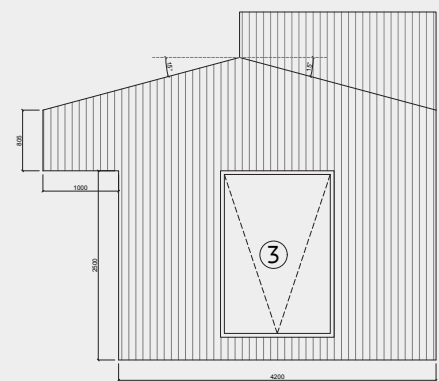
SECTION B-B
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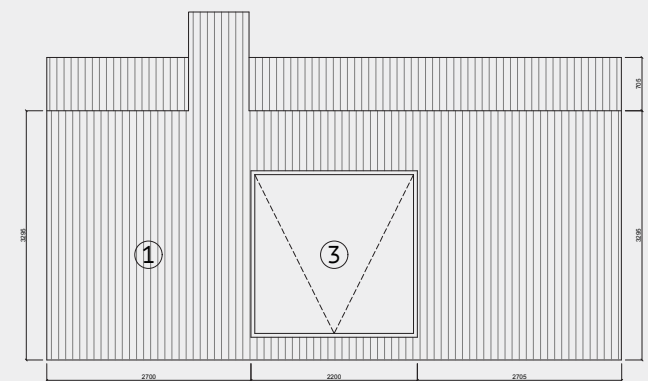
ELEVATION 1
1:50



ELEVATION 2
1:50



ELEVATION 3
1:50



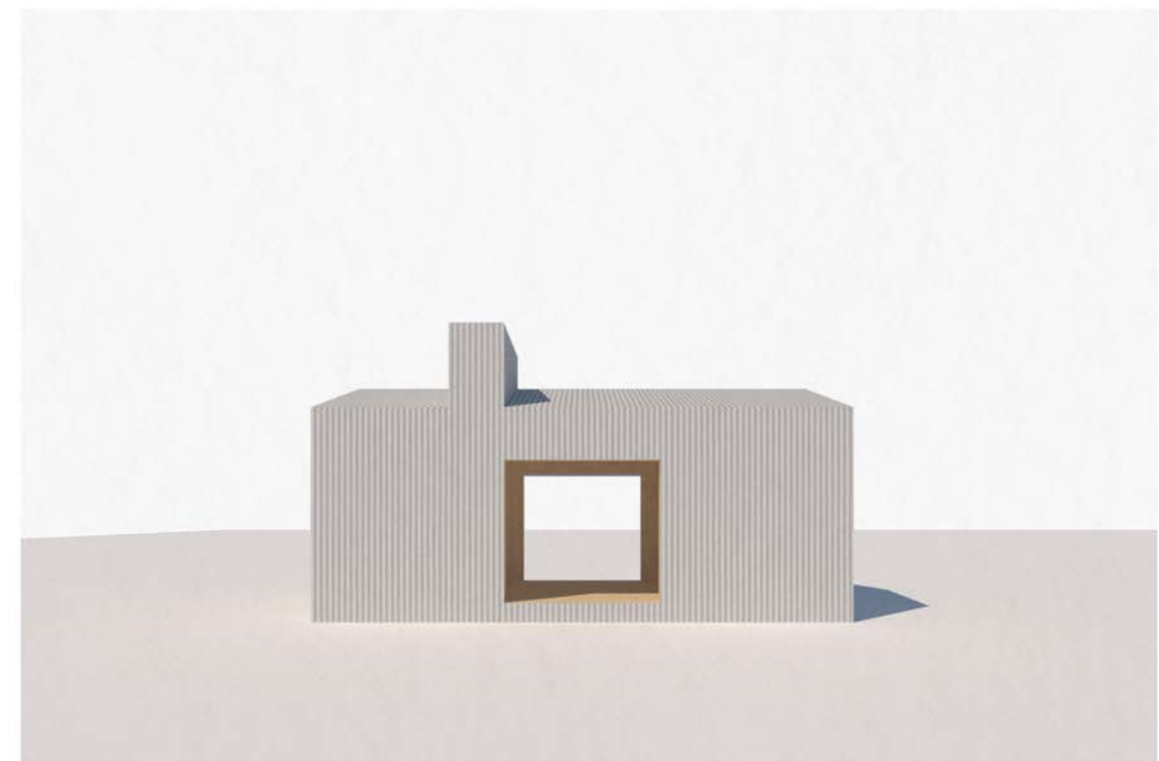
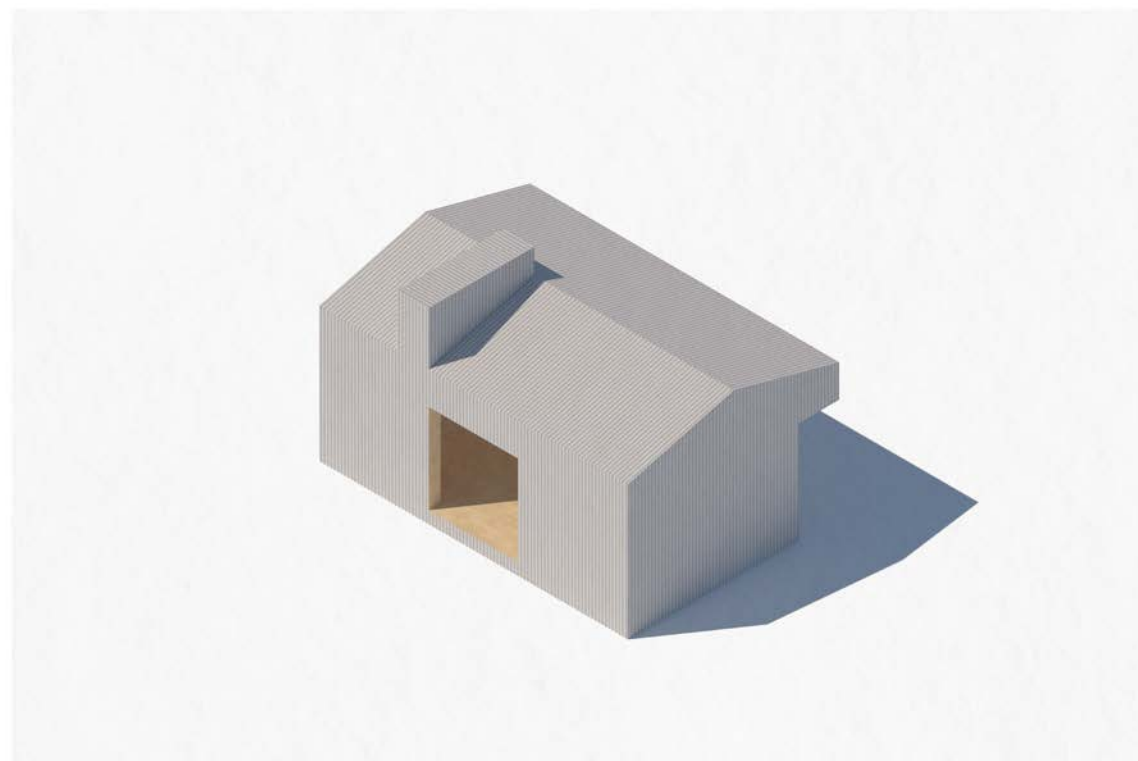
ELEVATION 4
1:50

The Bothies

Type 3
2 Bed

5. Proposal

5.6 Bothies

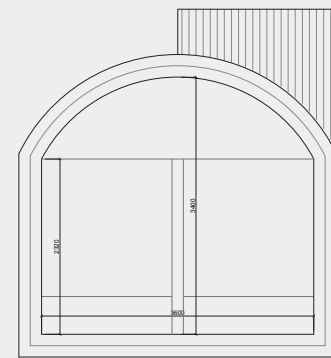
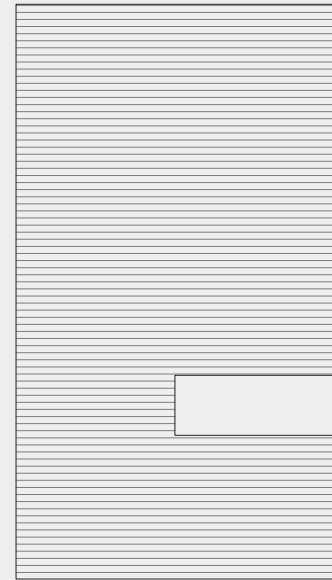


The Bothies

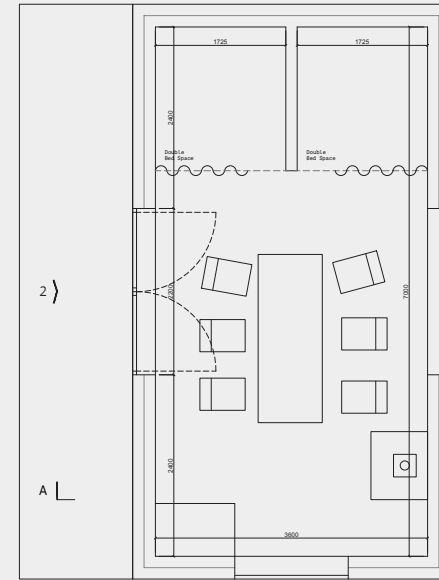
Type 3
2 Bed

5. Proposal

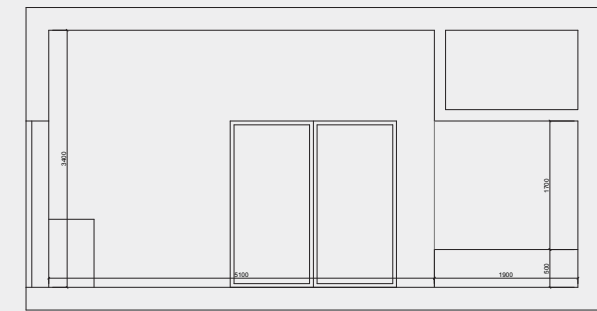
5.6 Bothies



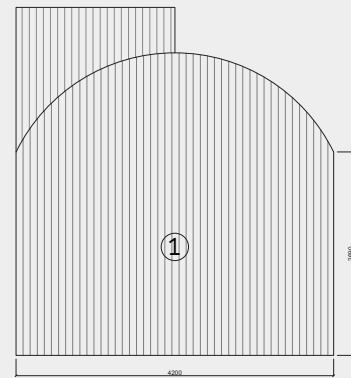
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1:50



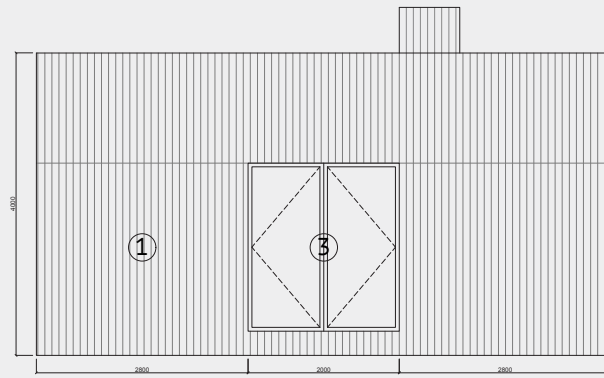
GROUND FLOOR PLAN
1:50



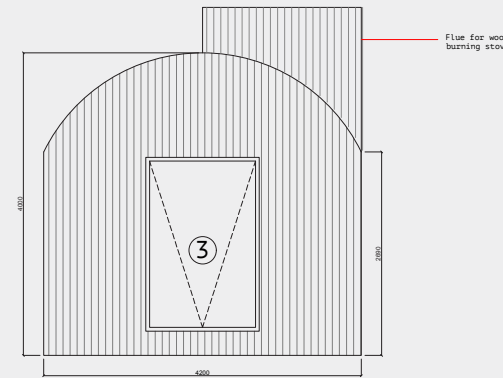
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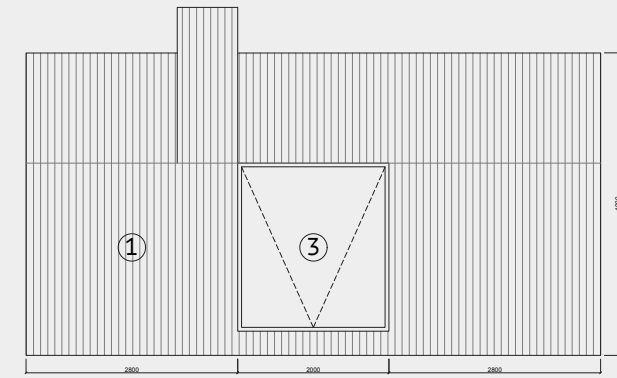
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1:50



ELEVATION 2
1:50



ELEVATION 3
1:50



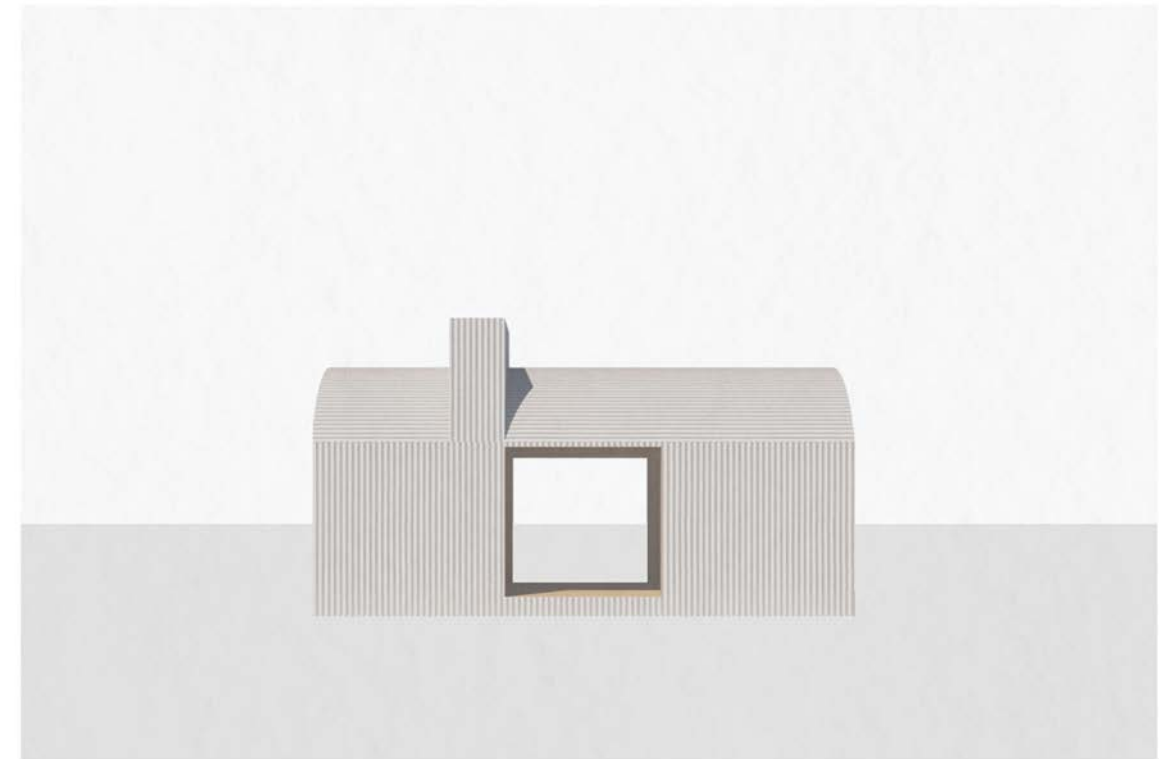
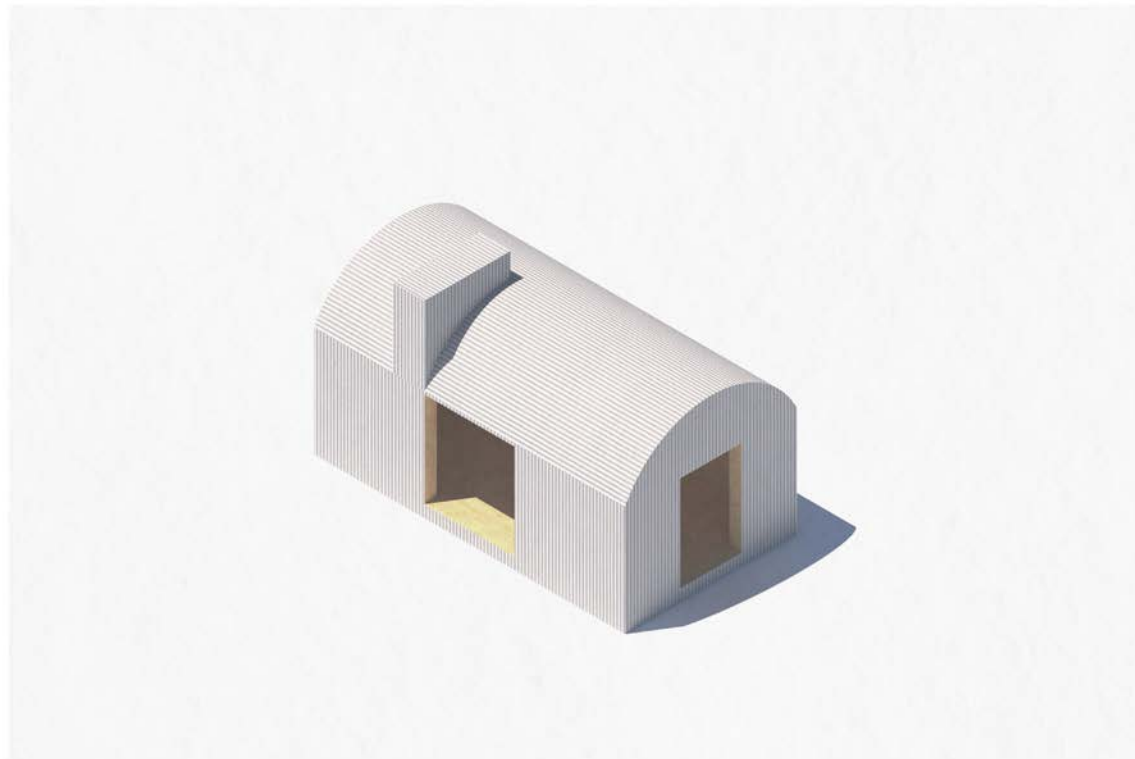
ELEVATION 4
1:50

The Bothies

Type 4
2 Bed

5. Proposal

5.6 Bothies

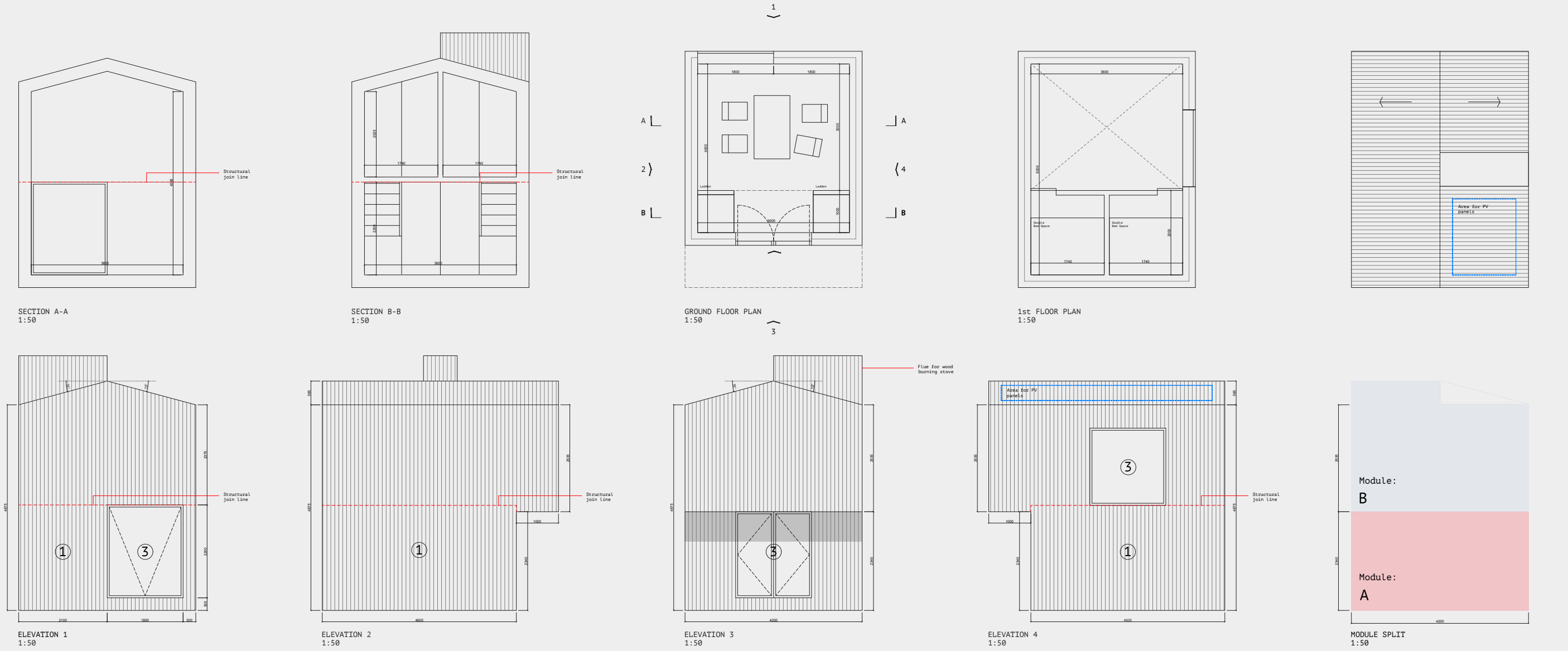


The Bothies

Type 4
2 Bed

5. Proposal

5.6 Bothies

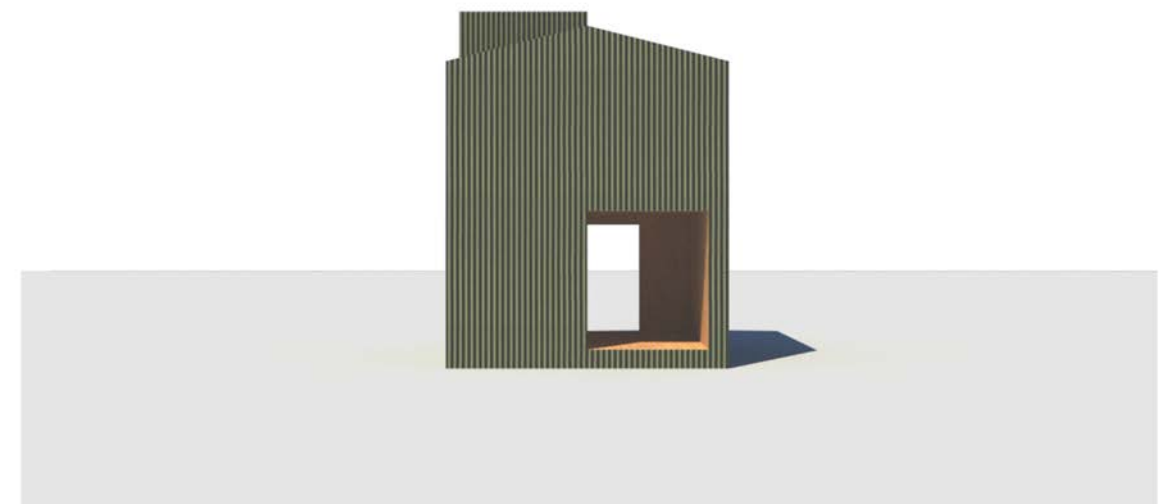
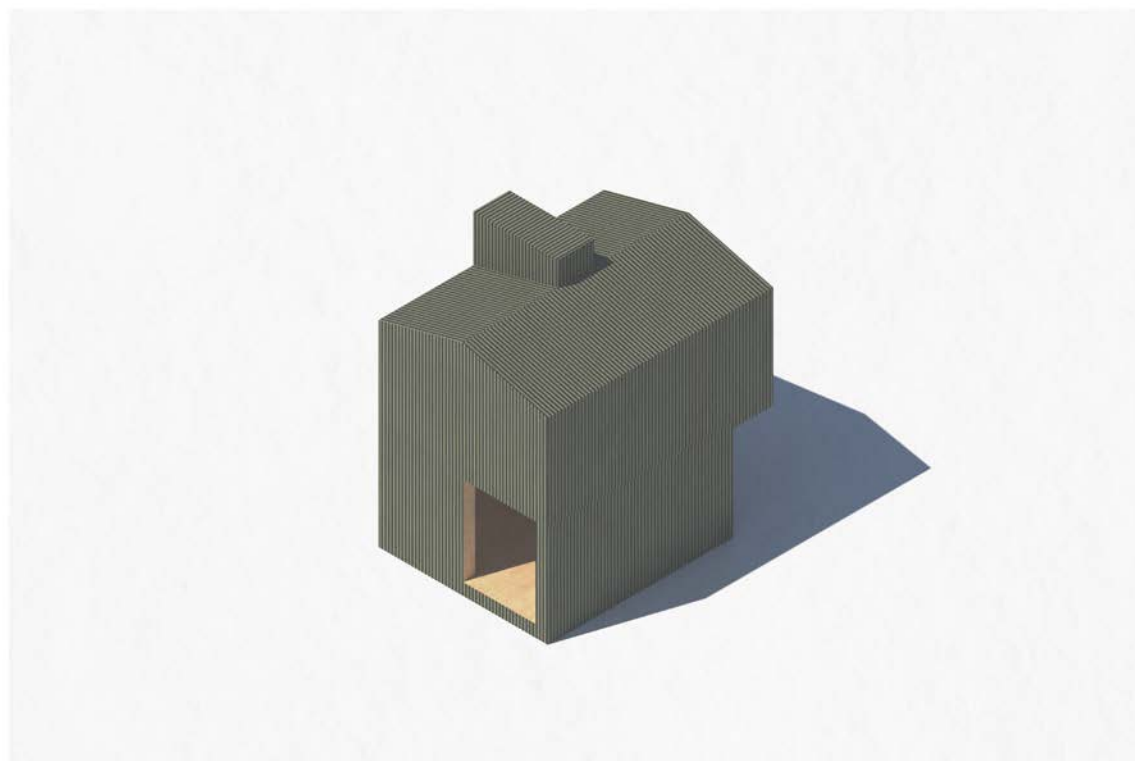


The Bothies

Type 5
2 Bed

5. Proposal

5.6 Bothies

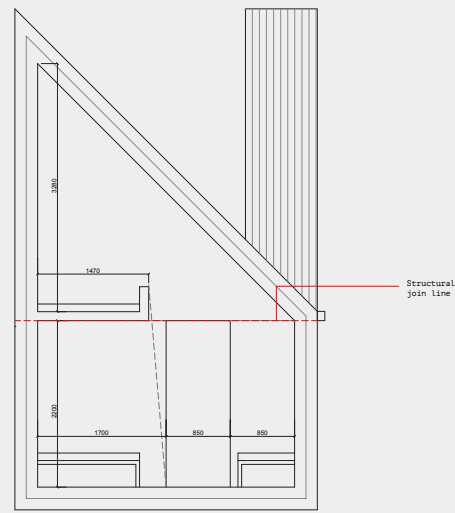


The Bothies

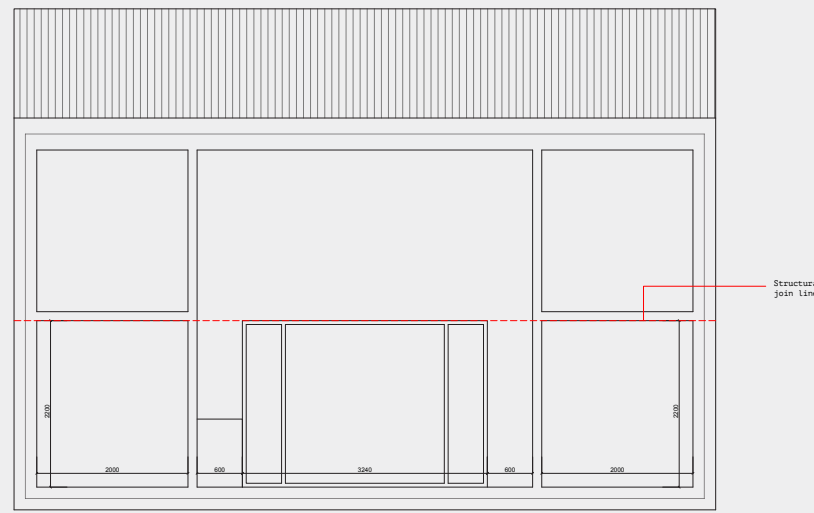
Type 5
2 Bed

5. Proposal

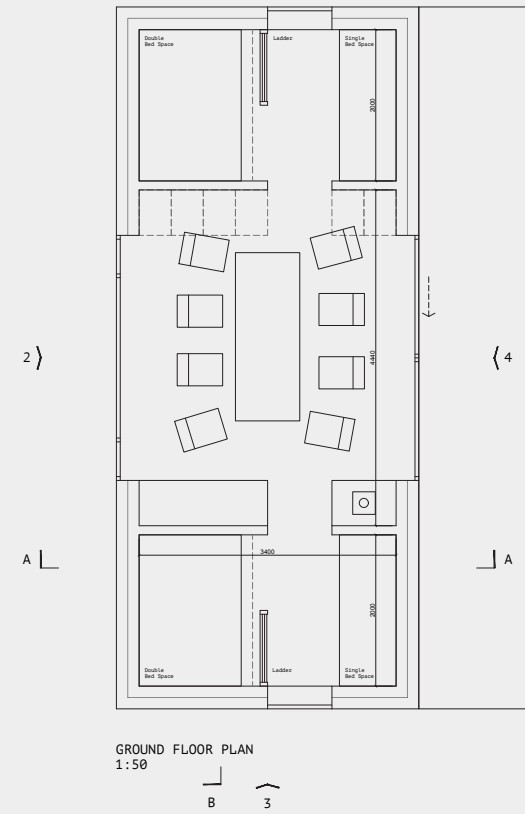
5.6 Bothies



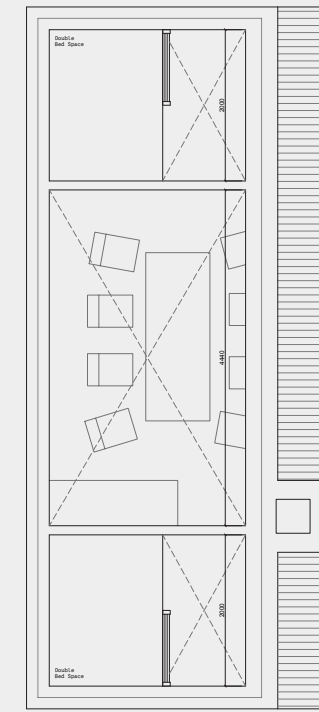
SECTION A-A
1:50



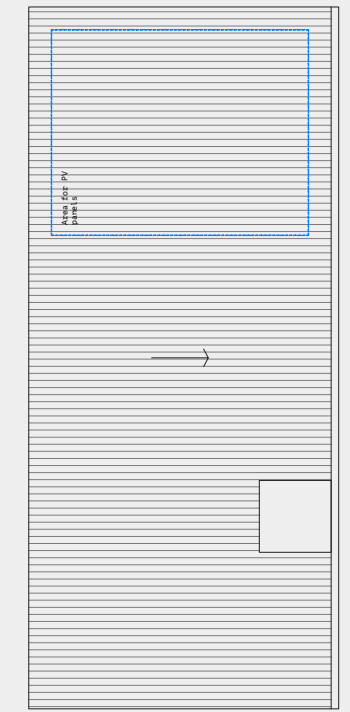
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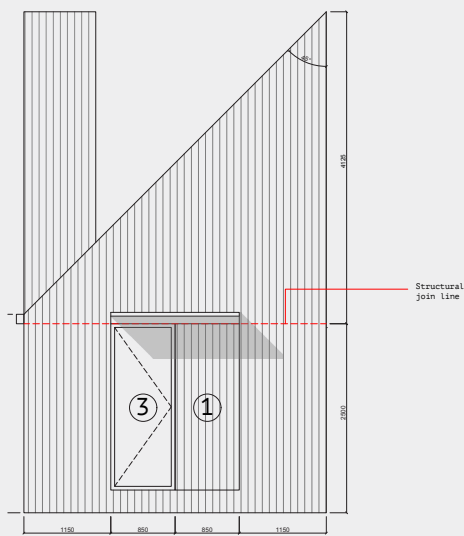
GROUND FLOOR PLAN
1:50



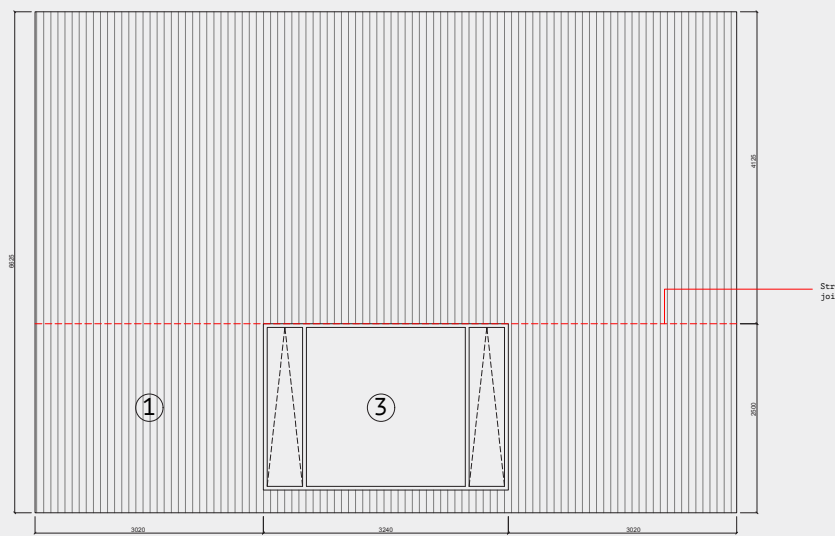
GROUND FLOOR PLAN
1:50



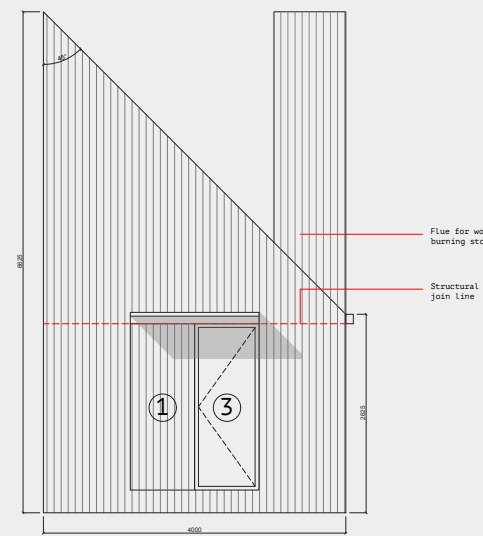
ROOF PLAN
1:50



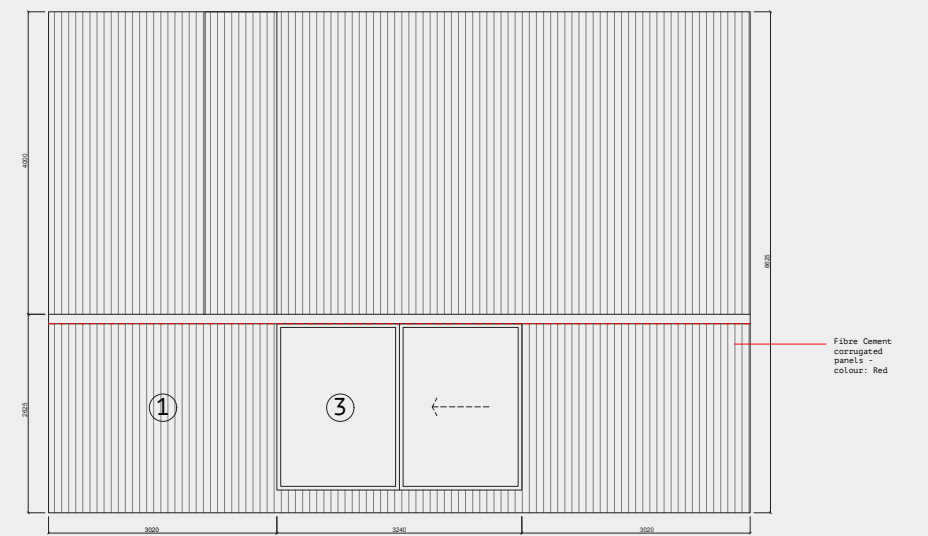
ELEVATION 1
1:50



ELEVATION 2
1:50



ELEVATION 3
1:50



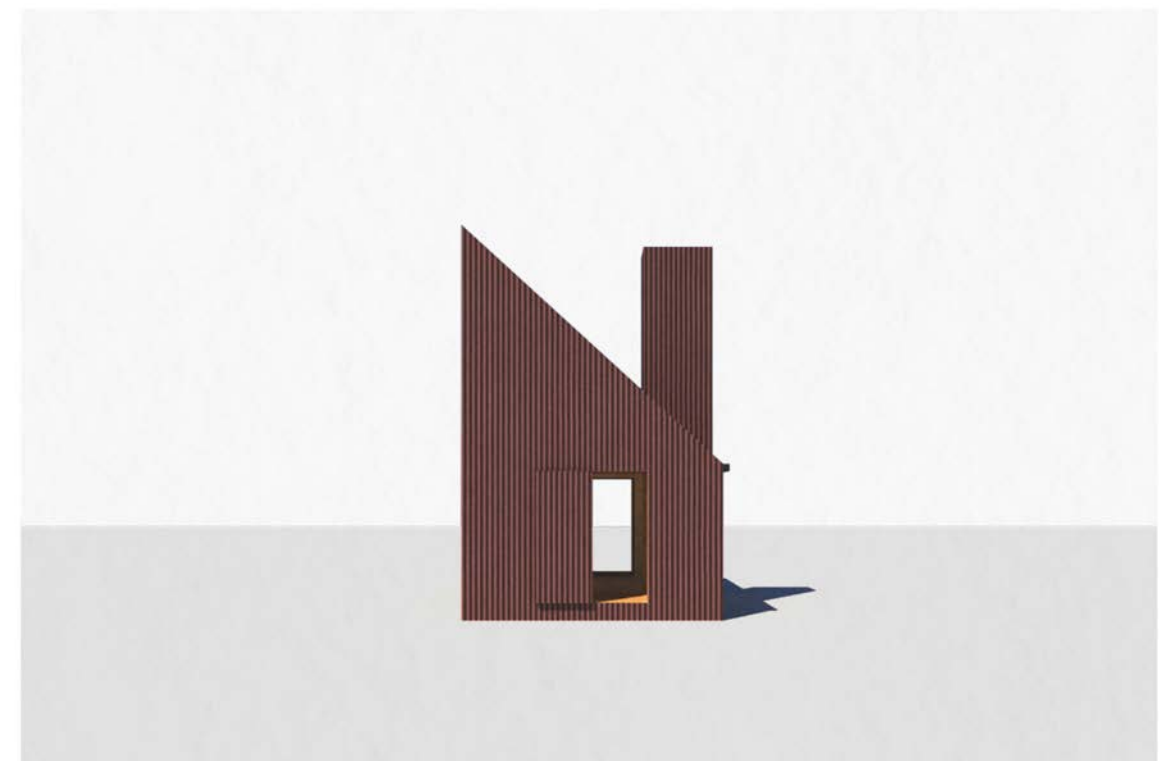
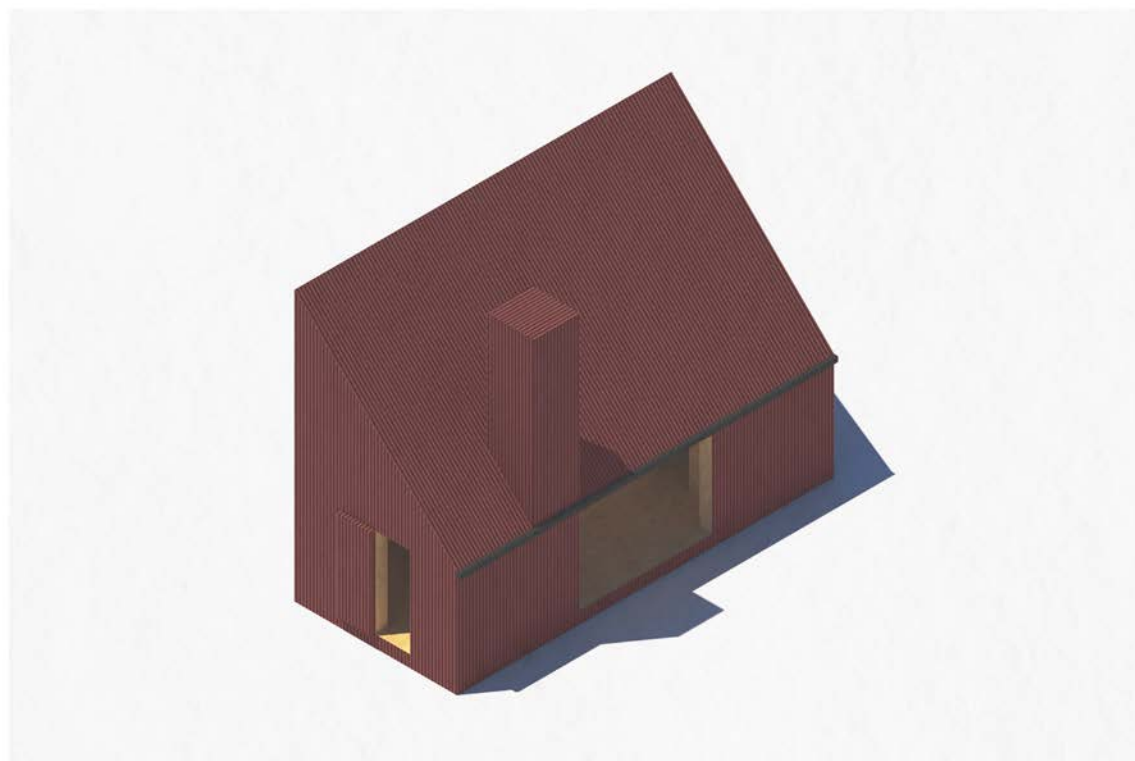
ELEVATION 4
1:50

The Bothies

Type 6
6 Bed

5. Proposal

5.6 Bothies



The Bothies

Type 6
6 Bed

5. Proposal

5.6 Bothies



Artitists Impression

5. Proposal

5.6 Bothies



5. Proposal

5.6 Bothies



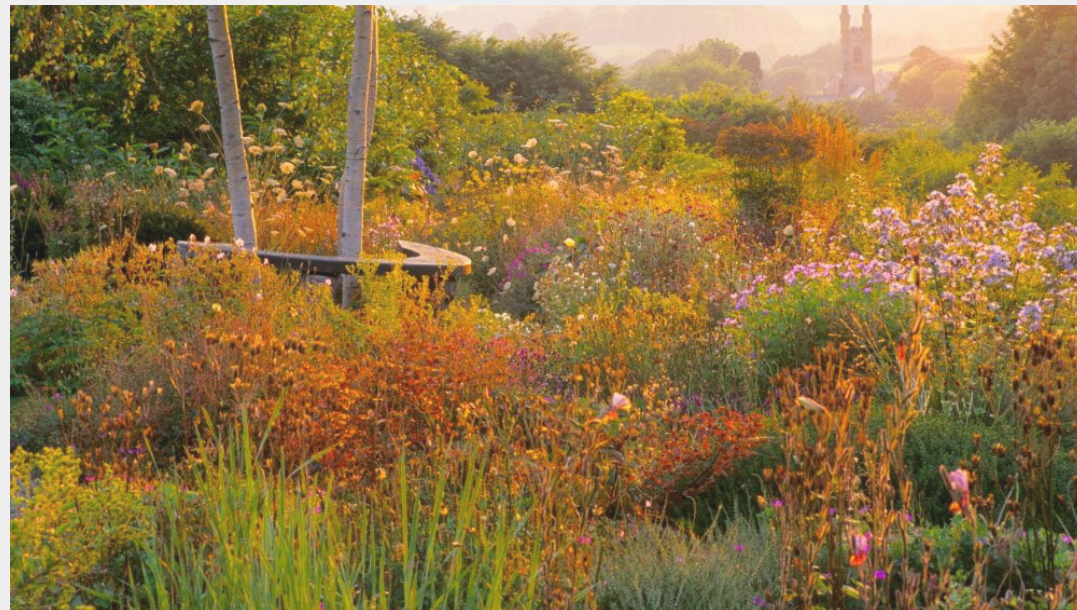
5. Proposal

5.7 Landscaping

A naturalistic approach to landscaping seeks to dissolve any formal distinction between the surrounding landscape and the garden. Where irrigation is required rainwater harvesting systems can be considered to support young plants. Likewise grey-water recycling provides opportunities to consider for use to toilet and shower provisions across the site.

5. Proposal

5.7 Landscaping



5. Proposal

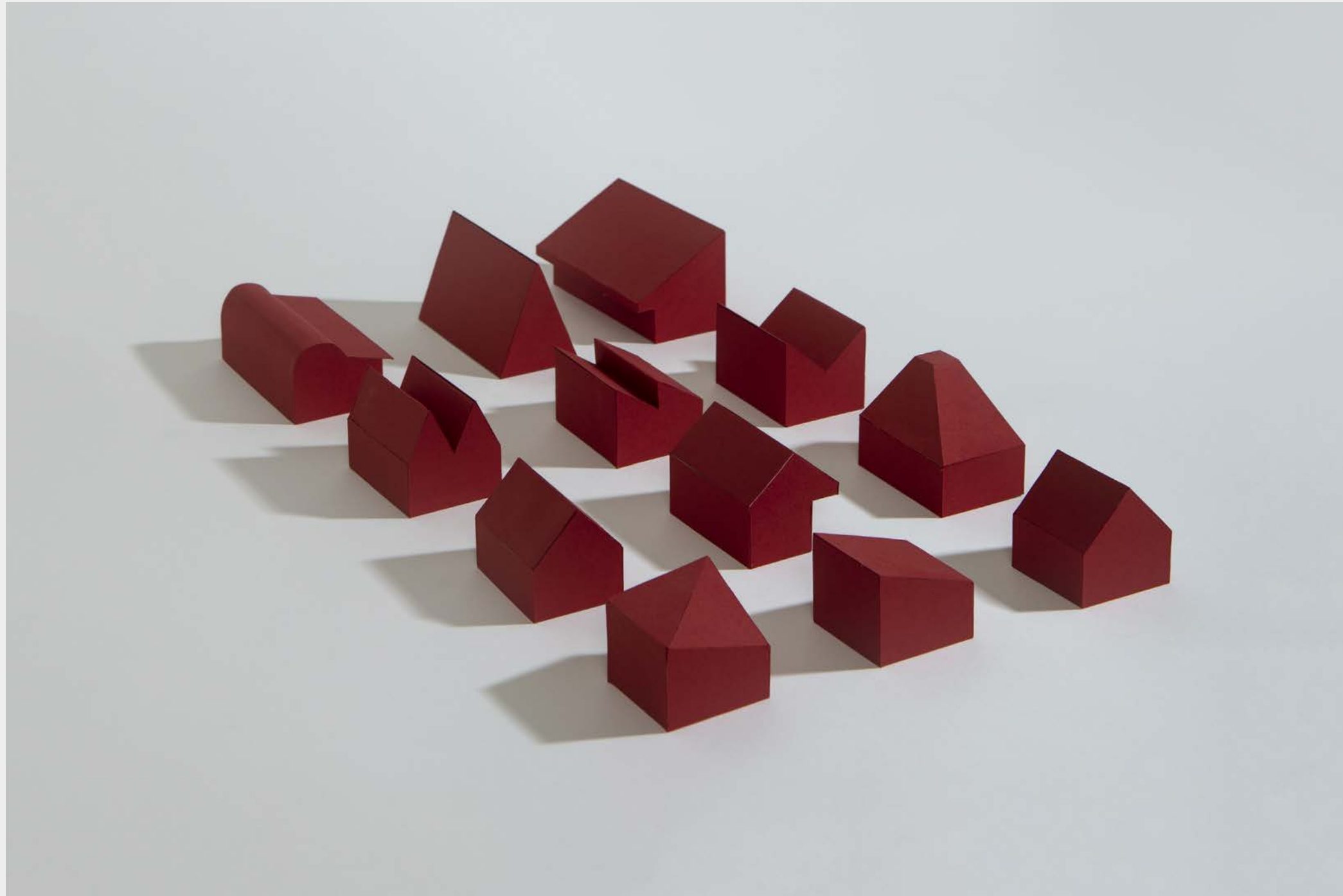
5.8 Models



Site Model

5. Proposal

5.8 Models



Initial Studies

5. Proposal

5.8 Models



Developed Types

5. Proposal

5.8 Models



S,M,L Options

5. Proposal

5.8 Models



S,M,L Proposed Scheme

5. Proposal

5.8 Models



S,M,L Proposed Scheme

5. Proposal

5.8 Models



Bothy Type 6

5. Proposal

5.8 Models



Bothy Type 6

5. Proposal

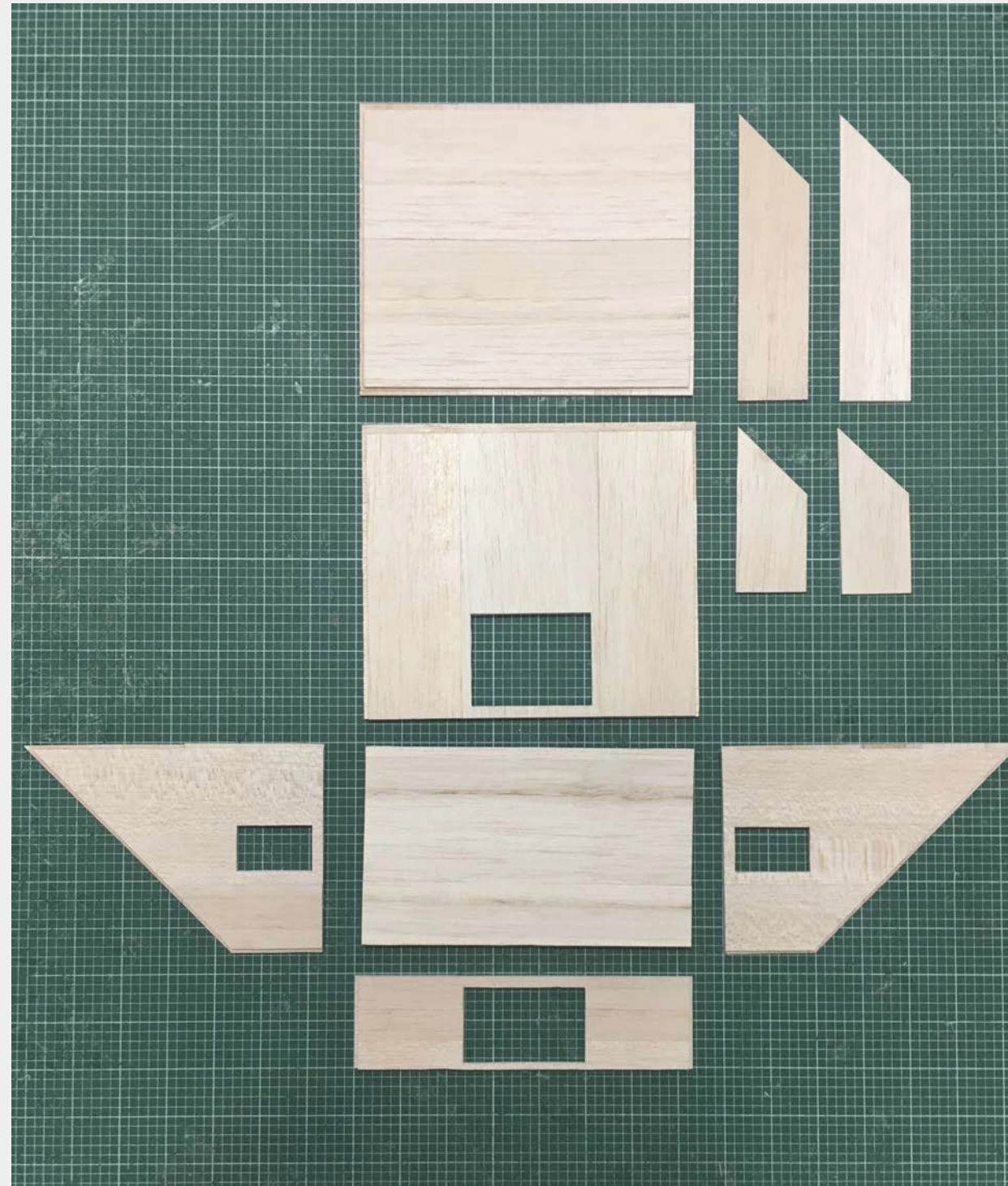
5.8 Models



Bothy Type 6

5. Proposal

5.8 Models



CLT model

5. Proposal

5.9 Materials

The proposed Bothy material palette of corrugated sheets is derived from the farm buildings discussed earlier. The proposed drawings show a corrugated rainscreen cladding

The attached visuals and drawings show a variety of proposed colours. Most of which would be muted greys and green to blend into the landscape and sky. Bothy type 6 is proposed in red to match the existing red house.

The Cycle Hub roof would be a light grey to match the Bothies.

See drawing L[---]310 Site Elevation for details



5. Proposal

5.9 Materials



6. Planning Statement

6.1 Planning Statement

The following statement has been produced in response to the relevant planning policy highlighted in the pre-planning application feedback.

The 'Redhouse Hub' development is centred around the pursuit and enjoyment of outdoor activities. This will benefit the health and wellbeing of the local and wider community by creating a place for the enjoyment of cycling. The site will focus on differentiated bikes that are perhaps less affordable or accessible for most, eg electric bikes, cargo bikes etc. The rental operation will be supported by a small workshop that can repair, maintain and build bikes. It will also serve as a place to encourage cycling by acting a potential base for local cycling clubs.

The Bothies and refurbishment of the Redhouse offer a place for short term stays for patrons seeking outdoor pursuits, this widens the appeal of the development to the whole of Scotland and abroad. A café supplements both these aspects of the development and re-instates the former use of the site as a 'tea room'. All of these aspects help to encourage tourism within East Renfrewshire, as well as supporting local jobs and economy.

The proposal is therefore not best suited to an urban or sub-urban environment as outdoor amenities are not as immediately accessible. Furthermore, the site is located next to a segregated cycle lane which links Glasgow and Newton Mearns, to Kilmarnock and Ayr. These points we feel justifies its location within the Green belt.

The architecture of the proposal is informed by the existing typology of farm buildings in the immediate and wider area. The proposed Bothy and Cycle Hub are all derivations of pitched forms that can be read as individual objects, and as a collective group of relating forms. Both the cycle hub and Bothies are single storey, with a selection of the Bothies having mezzanine bed levels. This keeps the developments scale and massing in relation and proportion to the Redhouse and the other small houses and farm buildings in the local area.

The bothies themselves will be made out of load bearing cross laminated timber and constructed in an off-site factory before being craned into position. This has environmental benefits as reducing the construction time on site, and the use of CLT both help to reduce the carbon footprint of the development and the construction waste.

The foundations of the Bothies will be steel screw in piles which can be installed by a small team without the need of large equipment. This removes the need for major excavations, traffic and site works, which in turn will reduce the environmental impact on the landscaped area of the site.

In order to relate to the front of the site and the existing Redhouse, the cycle hub will be constructed out of load bearing brick and block walls with timber rafters and corrugated fibre cement panel roof.

The current site has a selection of trees and hedges in the landscaped areas, the bothies have been placed to avoid and complement these. The landscaping strategy for the site is to 're-wild' the slope behind the Redhouse and Cycle hub, this will involve planting a diverse range of plants and flora. The necessary paths in-between the bothies will be self-bound gravel to allow for accessibility. These paths will also contain a French drain connected to a rainwater harvesting tank.

The cycle hub, café and Redhouse will all be accessible for wheelchair users. The Redhouse will be adapted to have a ground floor bedroom should a disabled user wish to spend the night. Given the steepness of the slope at the back of the site, wheelchair access is not possible in the existing condition. However, this will be negated by the landscaped paths, and the potential provision of an off-road wheelchair.

Given the steep slope behind the site, the possible space for parking is limited to the south west section immediately next to the road. In the pre-application drawings only 5 car parking spaces were shown. We have developed and re-arranged the plan of the cycle hub to accommodate 12 spaces. Whilst this is short of the recommendation made in the pre-planning application, we would argue that given the nature of the site that this is the maximum we can practicably achieve without placing parking spaces in the pedestrian area of the site. Furthermore, given the nature of the development is about the encouragement of cycling and outdoor activities, many of the patrons will be cycling to site.

In addition to this however, as part of the business plan a shuttle bus service is included. This would be intended to pick people up who are arriving into the Glasgow via bus, train or plane. This would further negate the need for extensive parking spaces on the site.

In summary, the proposed development of the 'Redhouse Hub' has numerous social, wellbeing and environmental benefits to both the immediate site, East Renfrewshire and the wider cycling and outdoor community in Scotland. The bothies and Redhouse offer a place for short term stays that will help boost tourism within East Renfrewshire and encourage outdoor pursuits. Finally, the architecture of the proposal is sensitive in scale and materials to the Redhouse, and rural and agricultural developments.

6. Planning Statement

6.2 Change of Use

Given the nature of the proposal a change of use for the site is included within this application. The existing site is a residential house and garden (Class 09).

The proposed Bothies and the refurbishment of the Redhouse into a holiday let would fall under Class 07. The cycle hub, which consists of a hire shop and bike workshop would fall under Class 01. Finally, the café within the Cycle Hub would be Class 03.

7. CONSTRUCTION

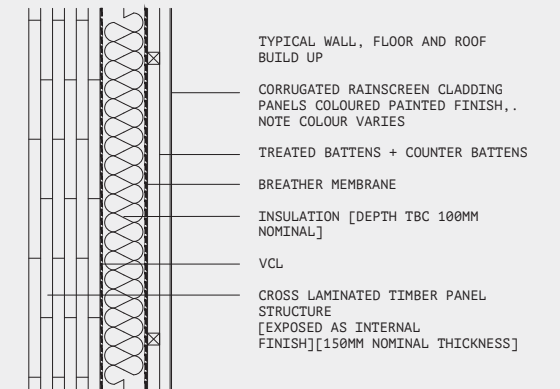
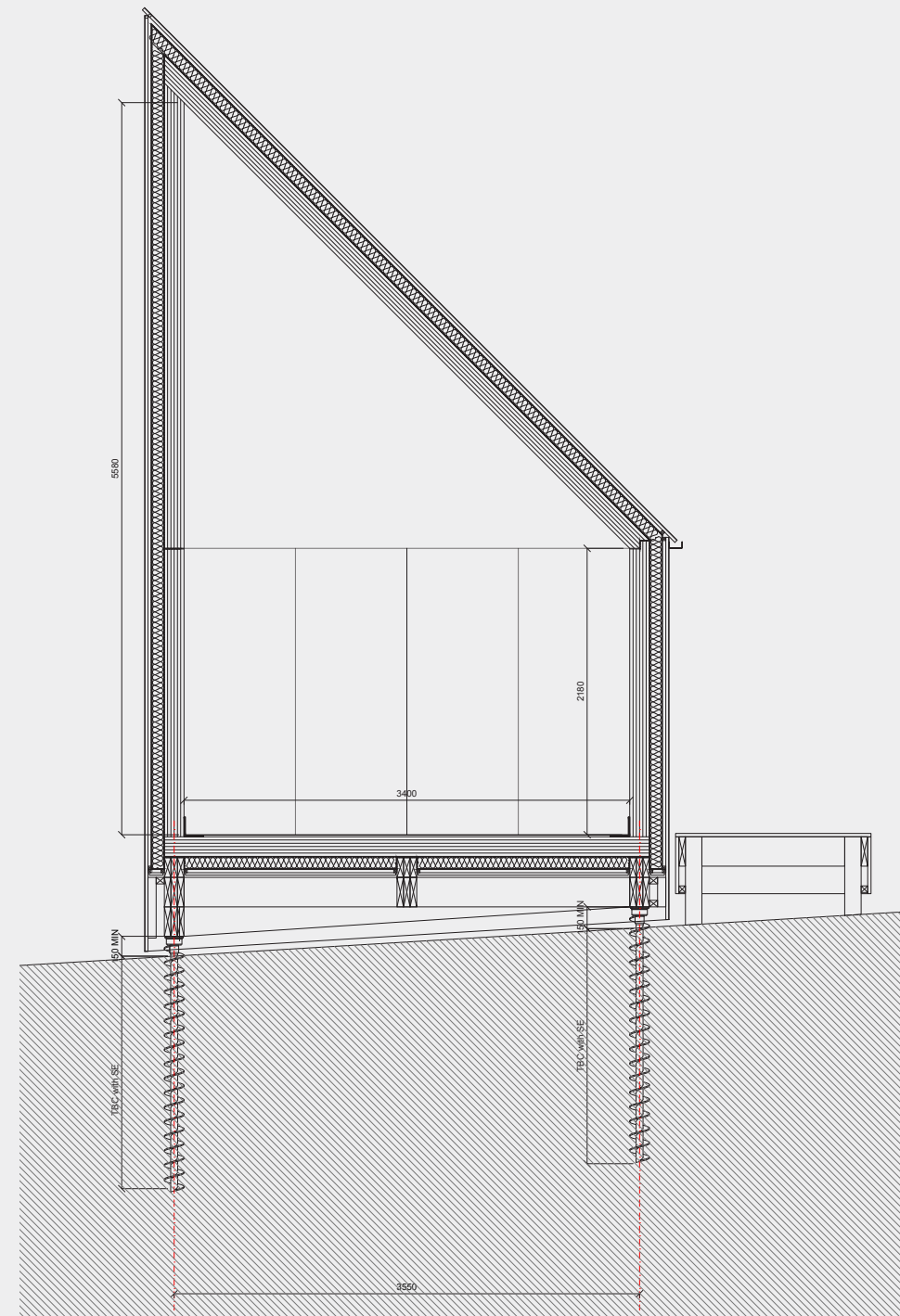
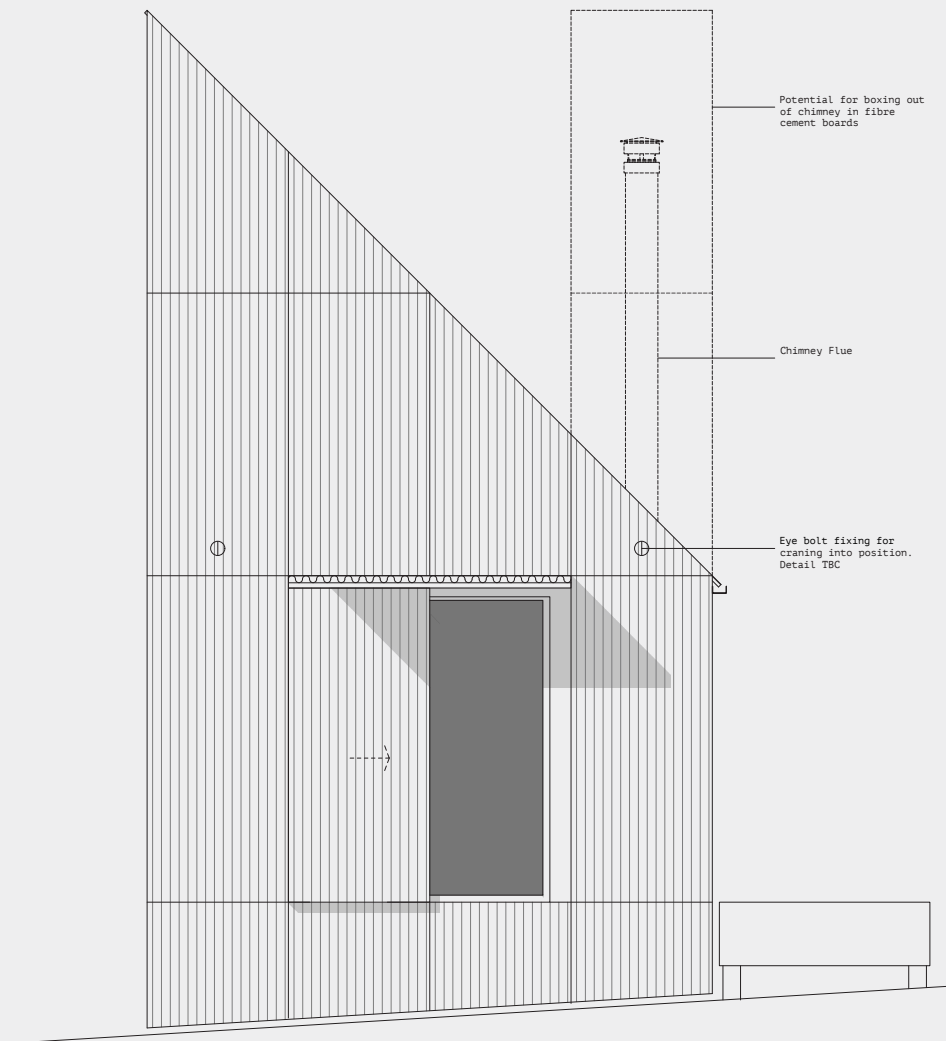
7.0 Introduction

The construction of the bothies is focused around a simple cross laminated timber construction that is expressed internally, thus moving away from spaces lined in plasterboard preferring something more robust and akin to an 'outdoors' lifestyle.

The bothies will be fabricated off-site in a separate factory, thus ensuring higher build quality. When they have been completed, they will be installed on site by crane

7. CONSTRUCTION

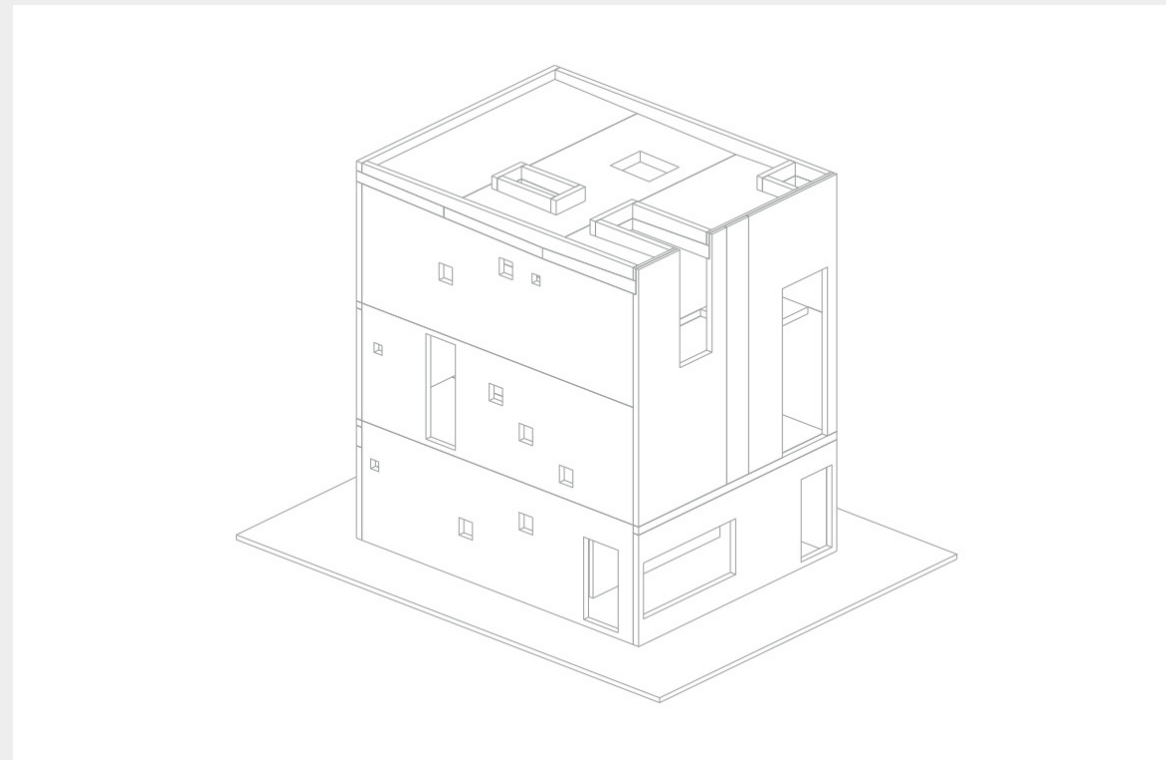
7.1 General Construction Section



WINDOW SPECIFICATION:
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 OPENING FUNCTION TBC
 COLOUR: TBC

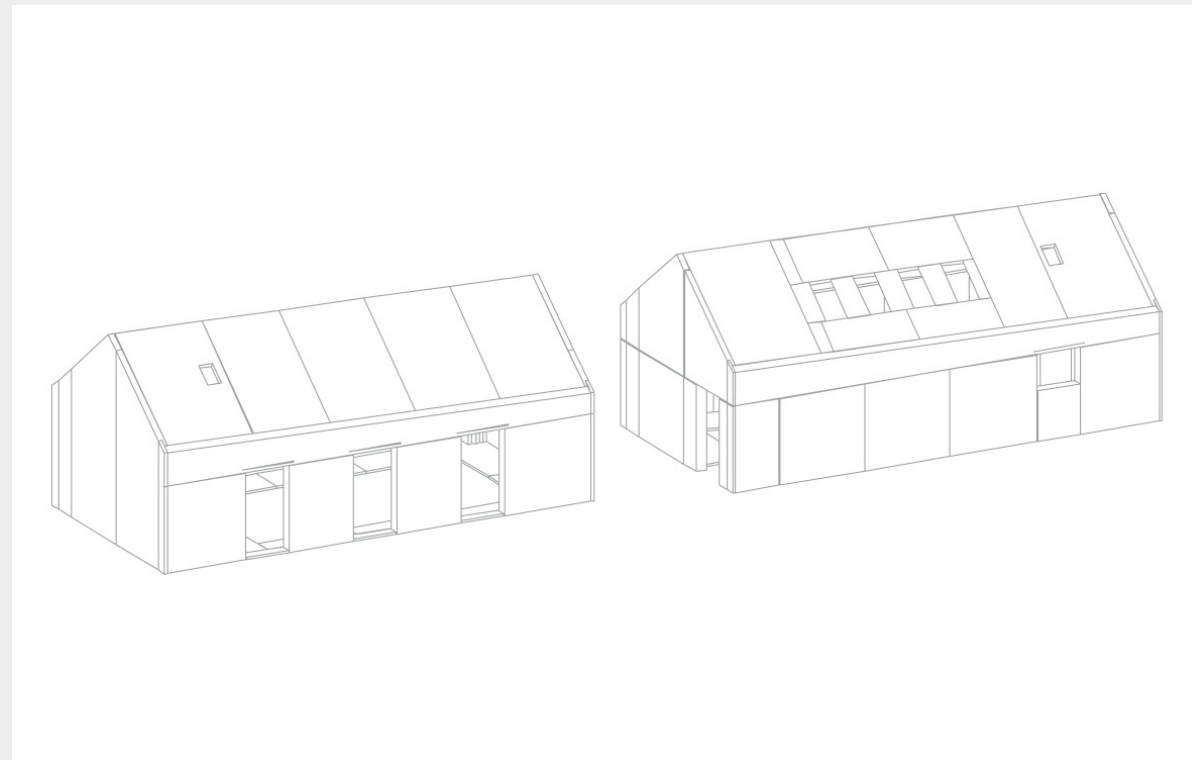
7. Construction

7.2 CLT References



7. Construction

7.2 CLT References



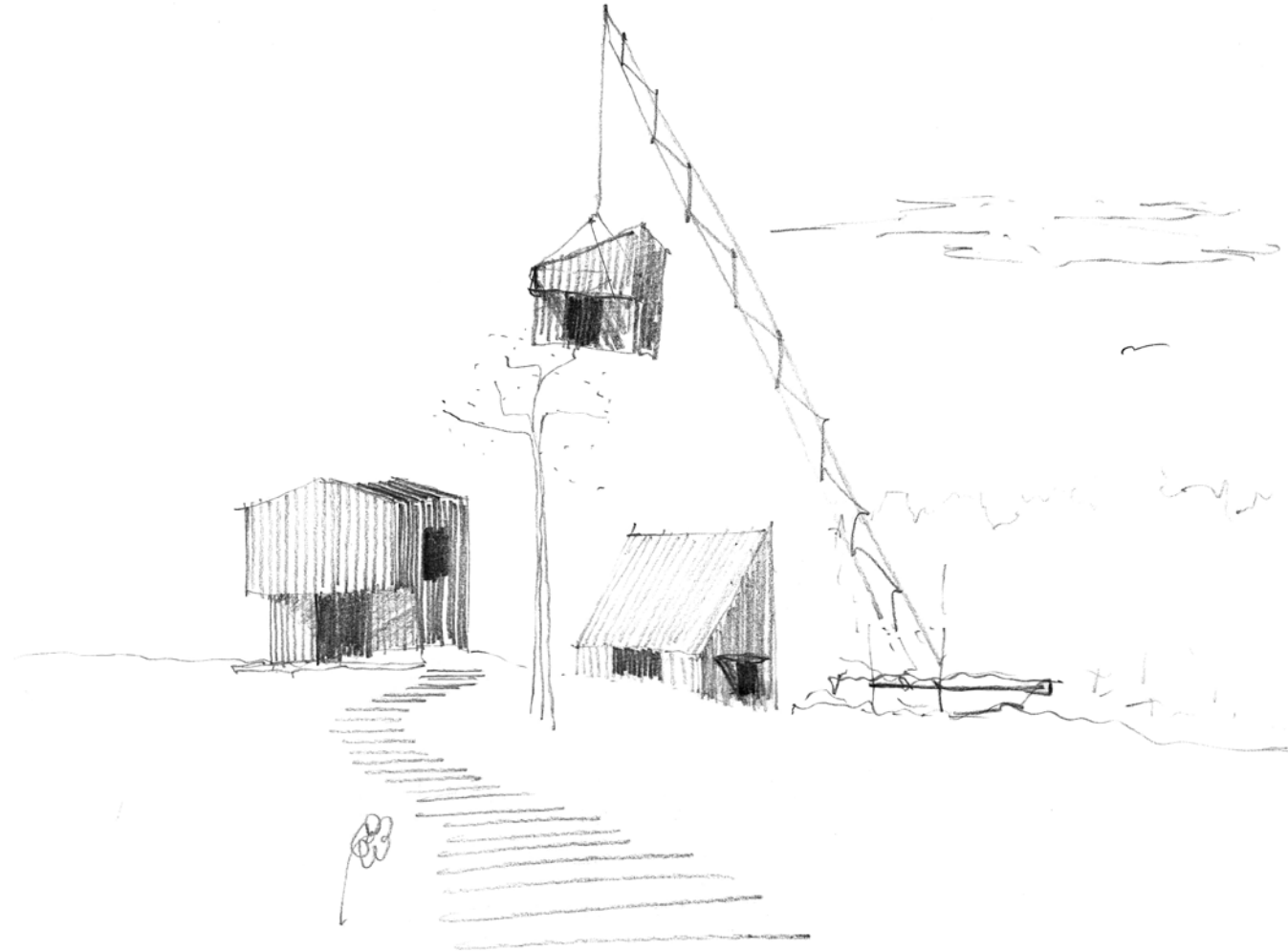
7. Construction

7.2 CLT References



7. CONSTRUCTION

7.3 Off Site Construction



Bothies Craned Into Position

7. CONSTRUCTION

7.4 Power, Energy and Ventilation

During the early design stage of the project the heating, ventilation and power strategy has been explored with the aim to minimise the Bothy's reliance on the grid resources. Working alongside the project M+E Consultant there is an ambition for the bothies to be self sufficient through the implementation of a fabric first approach alongside the use low to zero carbon technologies to provide seasonal power and heating where required.

Energy consumption will be limited through the bothys small footprints and envelope design. It is proposed each bothy will be fitted with a wood burning stove providing user controlled heating as required from responsibly sourced timber. Supply of electricity demand is proposed to be achieved through roof mounted PVs and the potential for battery back up will be explored throughout technical design. Ventilation shall be by natural means through openable windows.

A. Appendix

Drawing List

Architect Drawing List - Existing

Existing

L[EX]001 - Location Plan
 L[EX]002 - Site Plan as Existing
 L[EX]003 - Site Roof Plan as Existing
 L[EX]004 - Area Plan as Existing
 L[EX]090 - Site Plan Downtakings
 L[EX]100 - Redhouse Plans as Existing
 L[EX]101 - Clanhouse Plans as Existing
 L[EX]201 - Clanhouse Sections as Existing
 L[EX]202 - Stable Sections as Existing
 L[EX]300 - Redhouse Elevations as Existing
 L[EX]301 - Clan House Elevations as Existing
 L[EX]302 - Stable Elevations as Existing
 L[EX]350 - Site Sections as Existing

Architect Drawing List - Proposed

Proposed - Site Drawings

L[--]002 - Site Plan as Proposed
 L[--]003 - Site Roof Plan as Proposed
 L[--]004 - Area Plan as Proposed

L[--]310 - Site Elevation as Proposed
 L[--]350 - Site Sections as Proposed

Proposed - Cycle Hub

L[--]050 - Cycle Hub Site Layout as Proposed
 L[--]051 - Cycle Hub Roof Layout as Proposed
 L[--]052 - Cycle Hub Ground Floor Plan as Proposed
 L[--]250 - Cycle Hub Sections / Elevations as Proposed

Proposed - Red House

L[--]100 - Redhouse Plans as Proposed
 L[--]300 - Redhouse Elevations as Proposed

L[--]150 - Washblock Plans as Proposed

Proposed - Bothies

L[--]120 - Bothy Type 1
 L[--]121 - Bothy Type 2
 L[--]122 - Bothy Type 3
 L[--]123 - Bothy Type 4
 L[--]124 - Bothy Type 5
 L[--]125 - Bothy Type 6

A[--]125 - Bothy Type 6 - Technical Section

Render Images

I[--]001 - Render Image - South Approach
 I[--]002 - Render Image - Bothies

Existing Drawings

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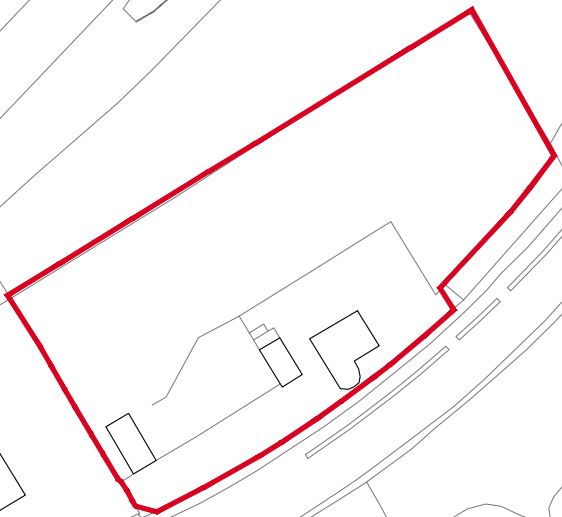
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M

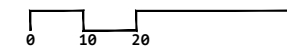
B

B

M



Indicates Site Boundary



Scale Bar 1:1000

Notes

- Do not scale from drawings.
- Errors to be reported immediately to the Architect.
- To be read in conjunction with all relevant Architects' Services & Structural Engineers' drawings.
- All existing site, trees and building information has been compiled from different sources.
- All dimensions to be checked on site.

Revision	Description	Date	Check
A	Planning	31.03.20	MC/BN



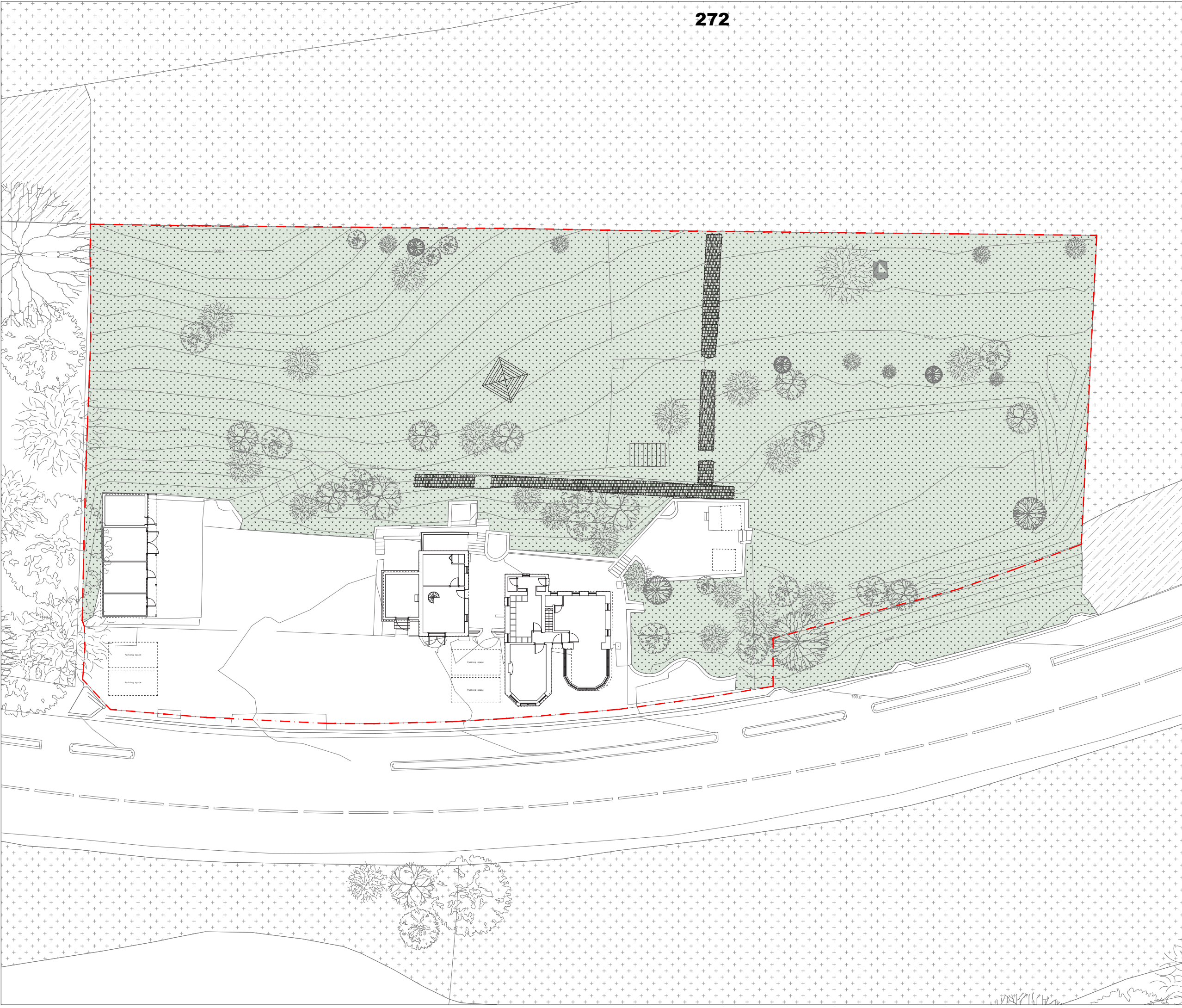
PLANNING

McGinlay Bell

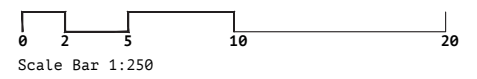
Baltic Chambers
Basement Suite 27
50 Wellington Street
Glasgow
G2 6HJ

Info @
mcginlaybell.com

Project No. **2018_019**
 Client **Kenny & Luzleen Neilson**
 Date **March 2020**
 Scale / Format **1:1000 g A2**
 Drawn / Checked **MC / BN**
 Drawing Name **LOCATION PLAN**
 Drawing No. **L(EX)001**



Site Curtilage



Notes

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Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM

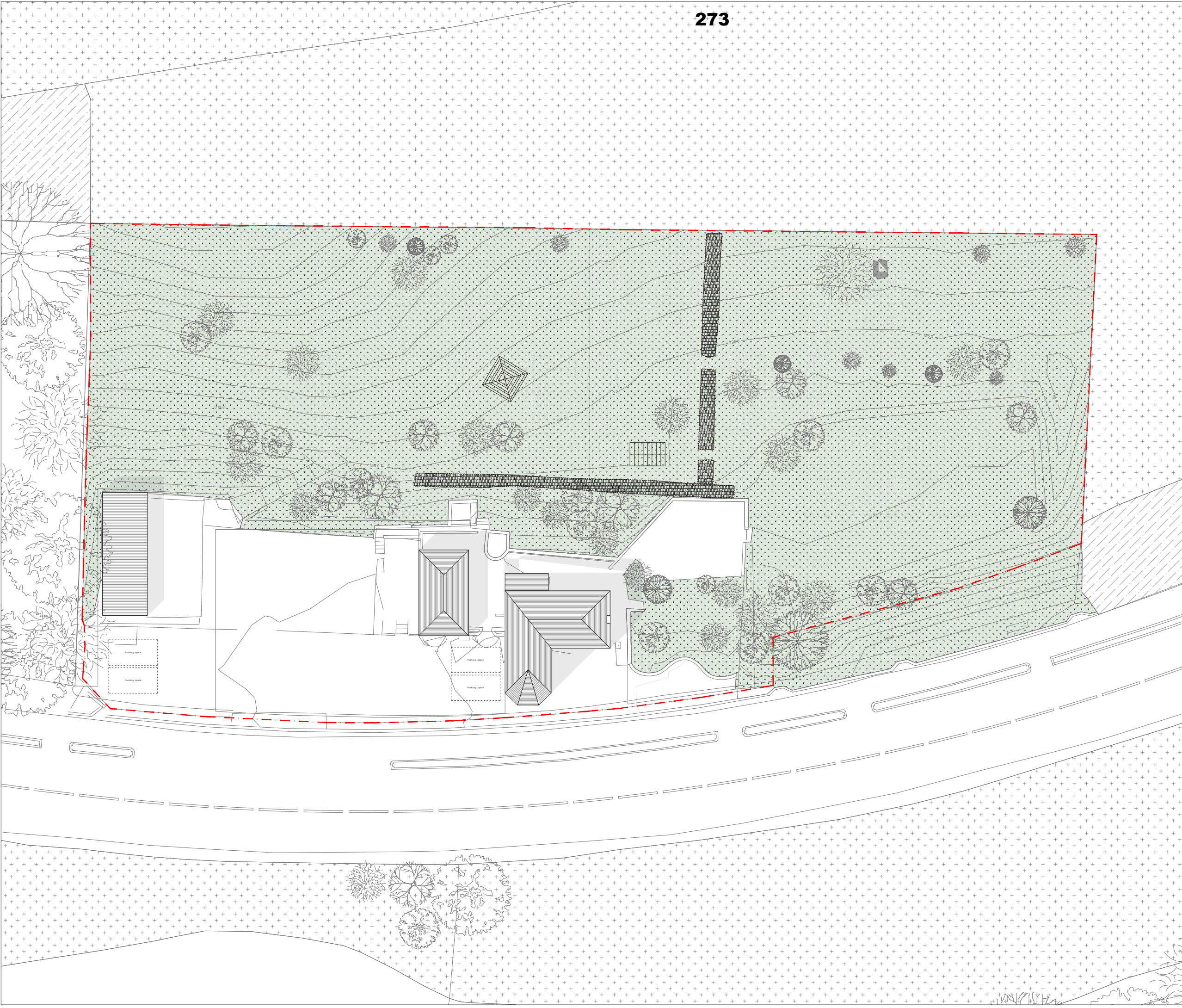


PLANNING

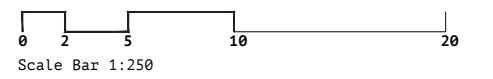
McGinlay Bell

Baltic Chambers
 Basement Suite 27
 50 Wellington Street
 Glasgow
 G2 6JG
 info@mcginlaybell.com

Project: **The Red House** Project No: **2018_019**
 Client: **Kenny & Luzleen Neilson**
 Date: **March 2020**
 Scale / Format: **1:250 @ A2**
 Drawn / Checked: **AK / BM**
 Drawing Name: **SITE PLAN AS EXISTING** Drawing No: **L[EX]002**



Site Curtilage



Notes

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- All dimensions to be checked on site.

Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM



PLANNING

McGinlay Bell

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 50 Wellington Street
 Glasgow
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 info@mcginlaybell.com

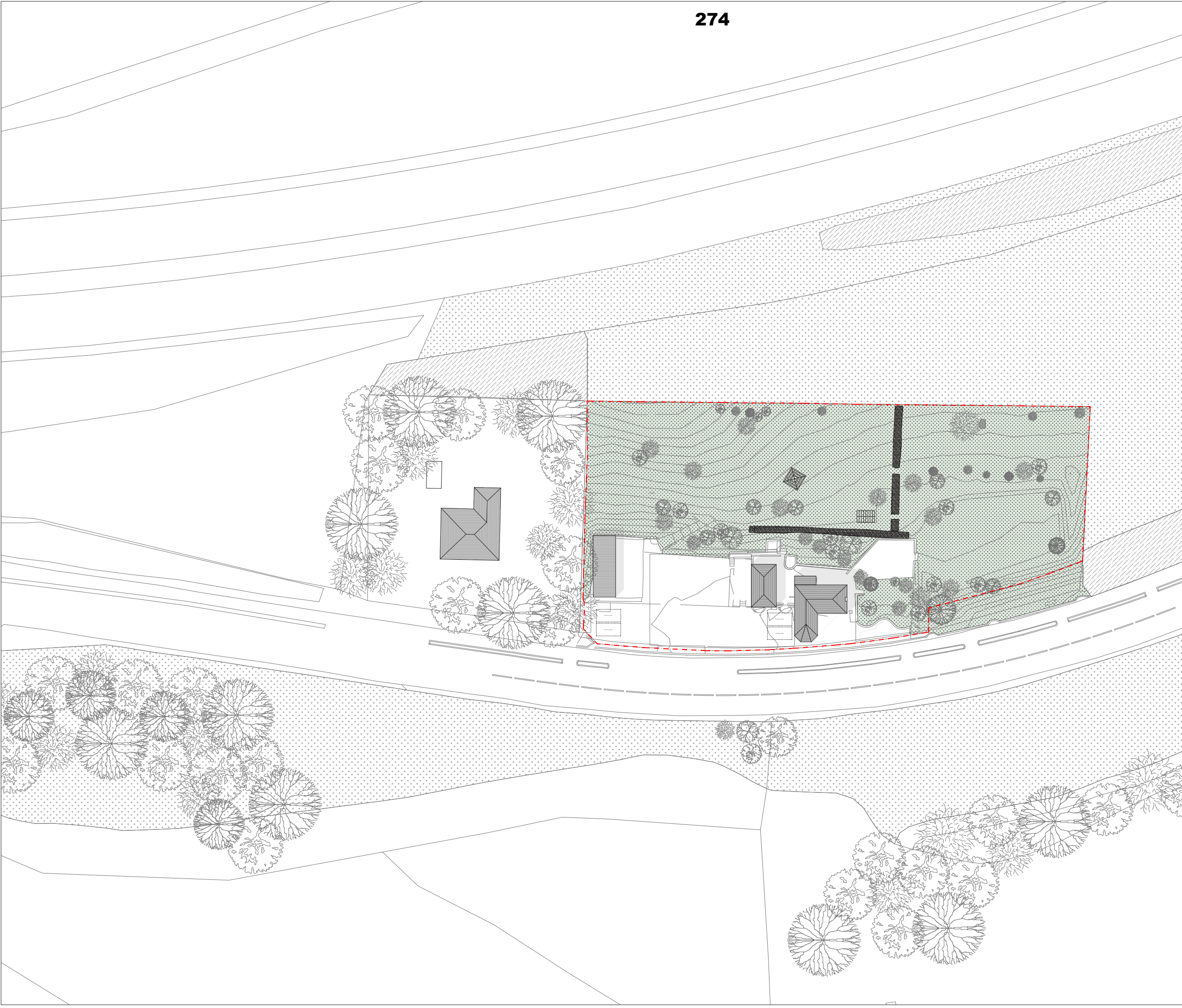
Project	Project No.
The Red House	2018_019
Client	Kenny & Luzleen Nelson
Date	December 2018
Scale / Format	1:250 @ A2
Drawn / Checked	AR / BM
Drawing Name	SITE ROOF PLAN AS EXISTING
Drawing No.	L[EX]003

M

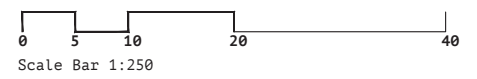
B

B

M



Site Curtilage



Notes

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- To be read in conjunction with all relevant Architects' Services & Structural Engineers' drawings.
- All existing site, trees and building information has been compiled from different sources.
- All dimensions to be checked on site.

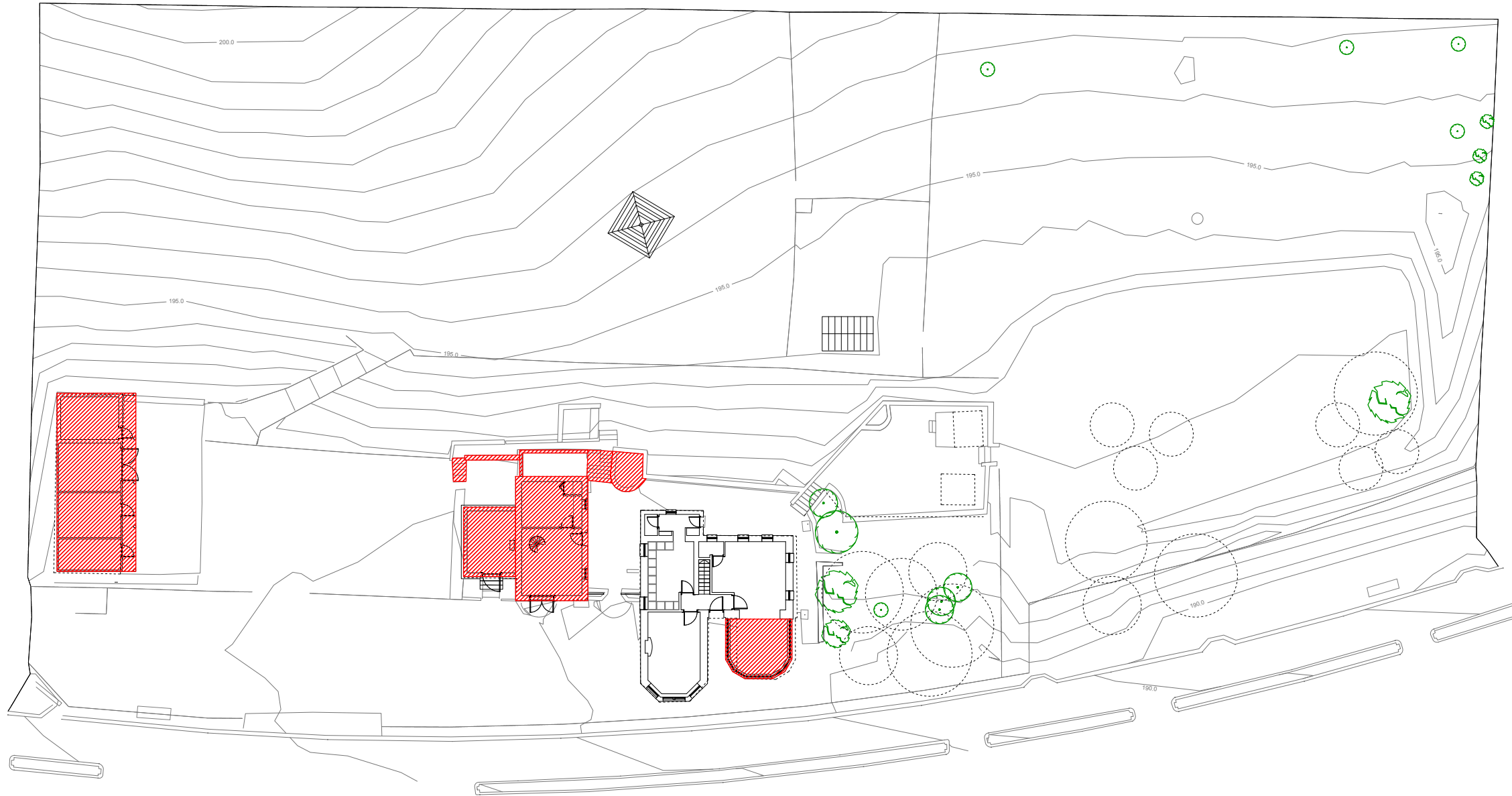
Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM



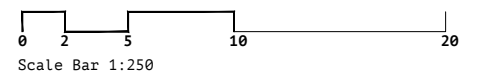
PLANNING

McGinlay Bell
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 Glasgow
 G2 6HD
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Project: **The Red House** Project No: **2018_019**
 Client: **Kenny & Lorraine Neilson**
 Date: December 2018
 Scale / Format: 1:250 g A2
 Drawn / Checked: AR / BM
 Drawing No: [EX]004
 Drawing Name: **AREA PLAN AS EXISTING**



NOTES
 DUNTAKINGS



Notes
 _Do not scale from drawings.
 _Errors to be reported immediately to the Architect.
 _To be read in conjunction with all relevant Architects' Services & Structural Engineers' drawings.
 _All existing site, trees and building information has been compiled from different sources.
 _All dimensions to be checked on site.

Revision	Description	Date	Check
B	Planning	15.05.20	RC/BN
A	Feasibility	15.10.19	RC



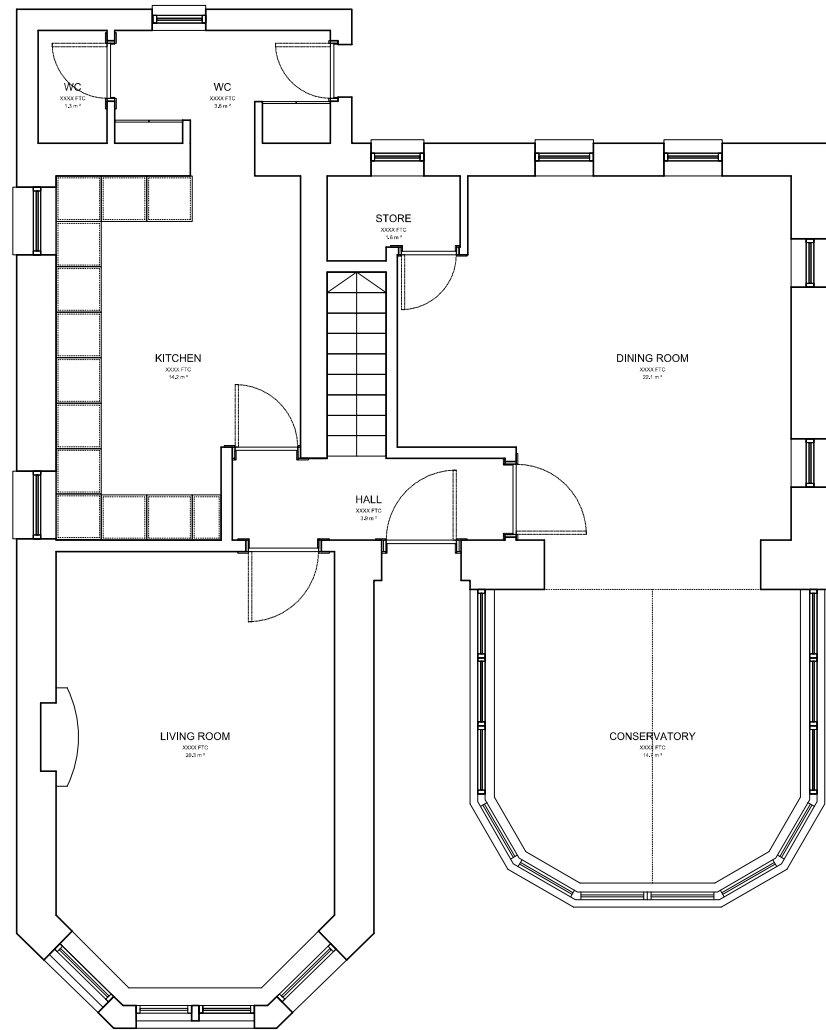
PLANNING

McGinlay Bell
 Baltic Chambers
 Basement Suite 27
 50 Wellington Street
 Glasgow
 G2 0WJ
 info@mcginlaybell.com

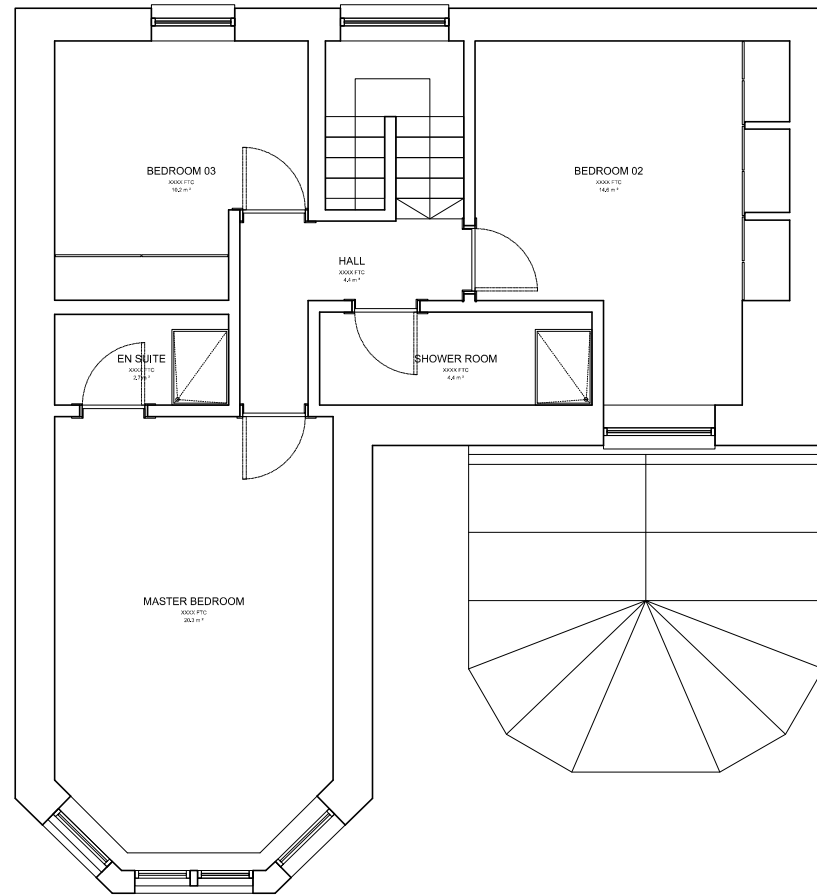
Project: **The Red House** Project No: **2018_019**
 Client: **Kenny & Luzleen Neilson**
 Date: **January 2019**
 Scale / Format: **1:250 @ A2**
 Drawn / Checked: **AR / BN**
 Drawing No: **L[EX]090**
SITE PLAN DUNTAKINGS

M B

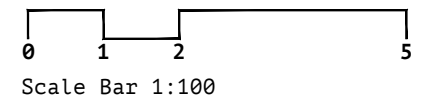
B M



GROUND FLOOR PLAN
AS EXISTING



FIRST FLOOR PLAN
AS EXISTING



Notes

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- Errors to be reported immediately to the Architect.
- To be read in conjunction with all relevant Architects' Services & Structural Engineers' drawings.
- All existing site, trees and building information has been compiled from different sources.
- All dimensions to be checked on site.

Revision	Description	Date	Check
A	Planning	31.03.20	RC/BH



PLANNING

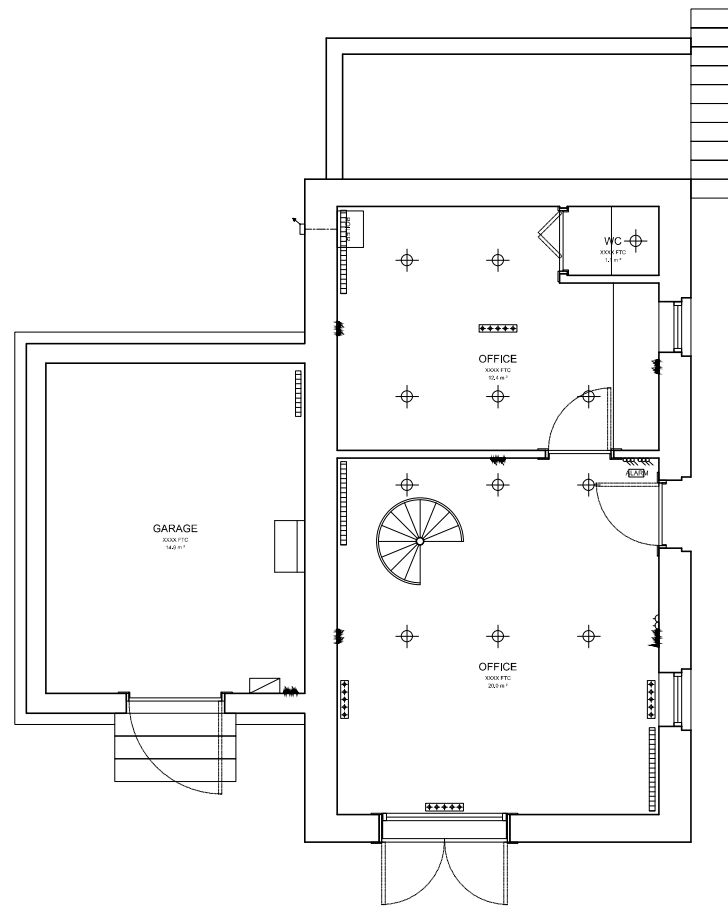
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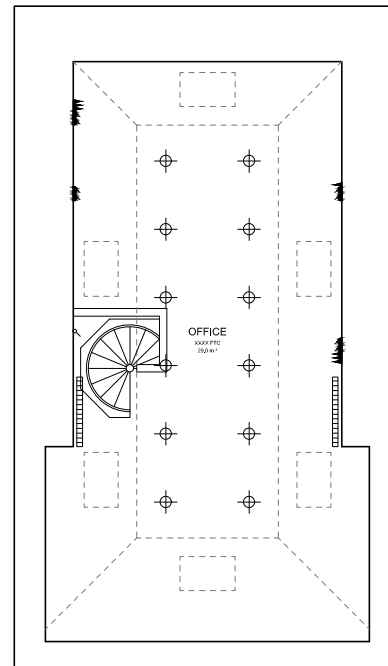
Project: **The Red House**
Client: **Kenny & Lucreen Neison**
Project No.: **2018_019**
Date: **March 2020**
Scale / Format: **1:100 @ A3**
Drawn / Checked: **RC / BH**
Drawing Name: **REDHOUSE PLANS AS EXISTING**
Drawing No.: **L[EX]100**

M B

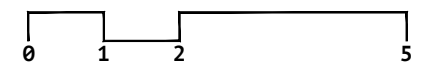
B M



GROUND FLOOR PLAN
AS EXISTING



FIRST FLOOR PLAN
AS EXISTING



Scale Bar 1:100

Notes

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- ._All dimensions to be checked on site.

Revision	Description	Date	Check
A	Planning	31.03.20	RC/BH



PLANNING

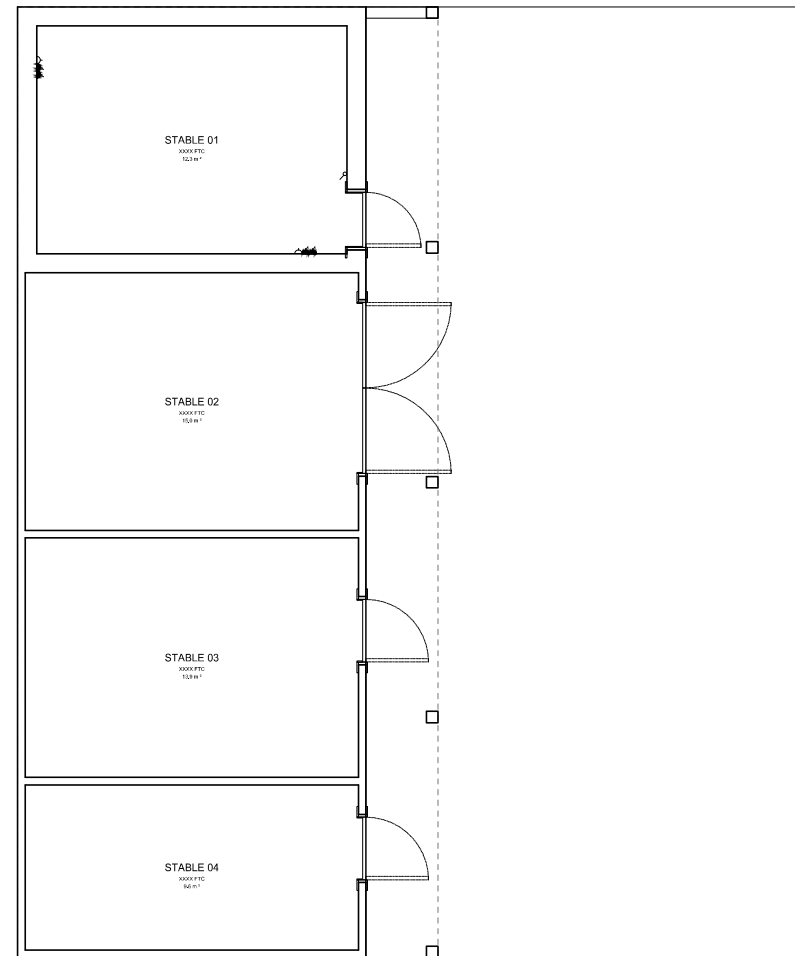
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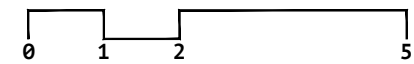
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Project	Project No.
The Red House	2018_019
Client	Kenny & Luxleen Neison
Date	March 2020
Scale / Format	1:100 @ A3
Drawn / Checked	RC / BH
Drawing Name	CLAN HOUSE PLANS AS EXISTING
Drawing No.	L(EX)101

M B
B M



GROUND FLOOR PLAN
AS EXISTING



Scale Bar 1:100

Notes

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- All dimensions to be checked on site.

Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM



PLANNING

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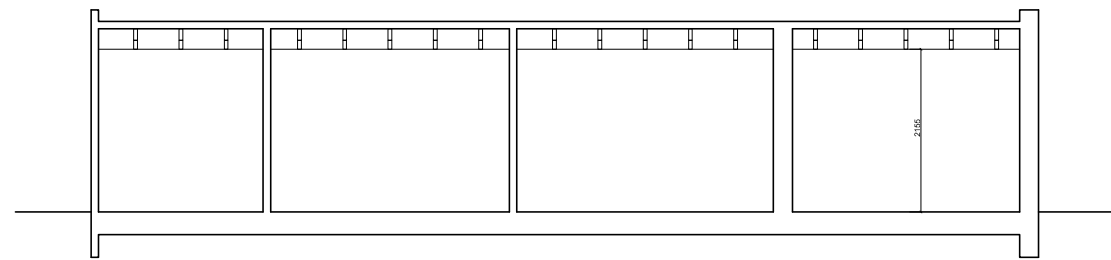
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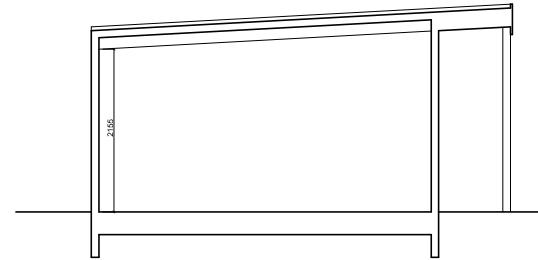
Project	Project No.
The Red House	2018_019
Client	Kenny & Luxleen Neison
Date	March 2020
Scale / Format	1:100 @ A3
Drawn / Checked	RC / BM
Drawing Name	STABLE BLOCK PLANS AS EXISTING
Drawing No.	L(EX)102

M B

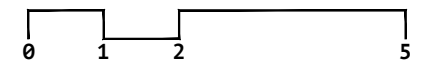
B M



LONG SECTION
AS EXISTING



TYPICAL SHORT SECTION
AS EXISTING



Scale Bar 1:100

Notes

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Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM

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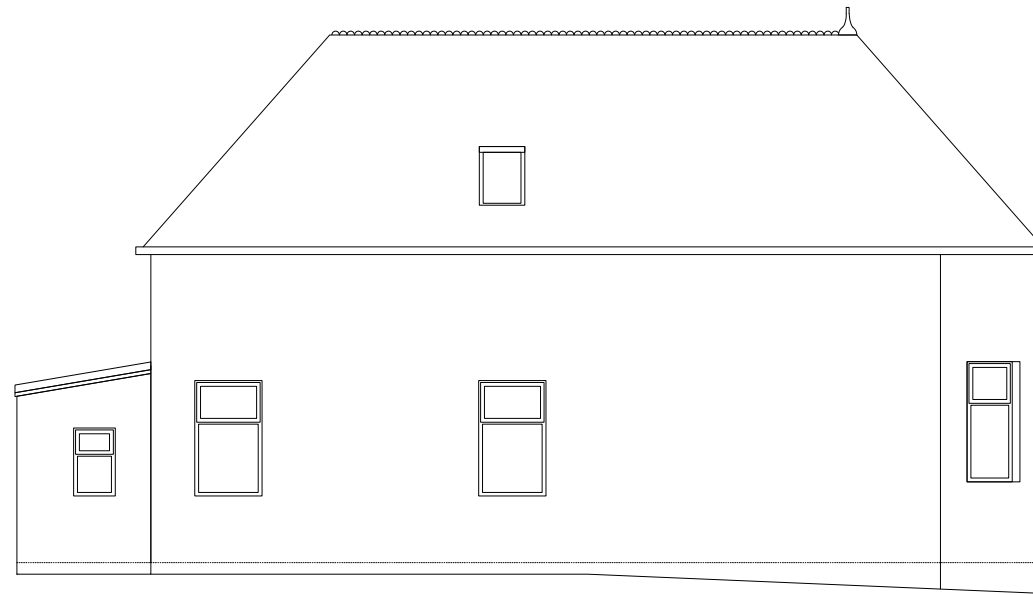
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The Red House	2018_019
Client	Kenny & Lucreen Neison
Date	March 2020
Scale / Format	1:100 @ A3
Drawn / Checked	RC / BM
Drawing Name	STABLE BLOCK SECTIONS AS EXISTING
Drawing NO.	L(EX)202

M B

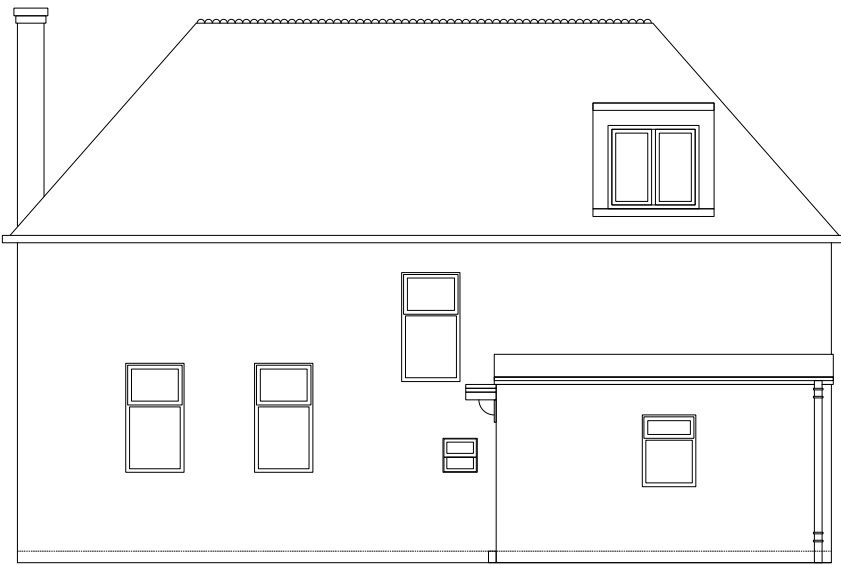
B M



SOUTH ELEVATION
AS EXISTING



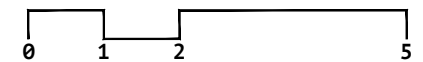
WEST ELEVATION
AS EXISTING



NORTH ELEVATION
AS EXISTING



EAST ELEVATION
AS EXISTING



Scale Bar 1:100

Notes

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Revision	Description	Date	Check
A	Planning	31.03.20	RC/BH

PLANNING

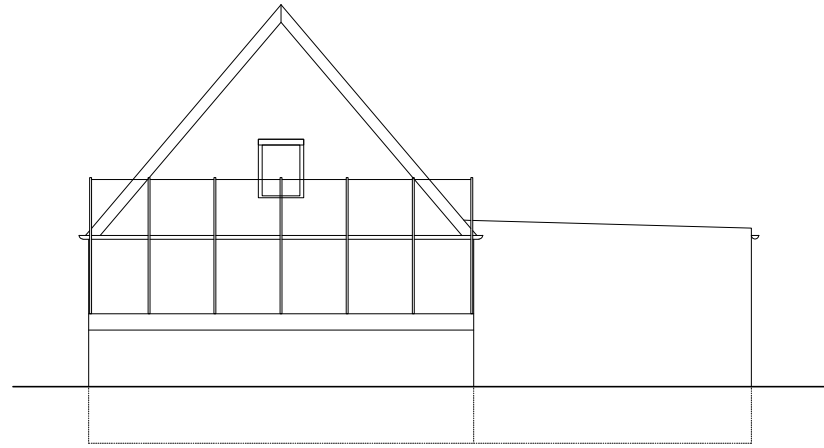
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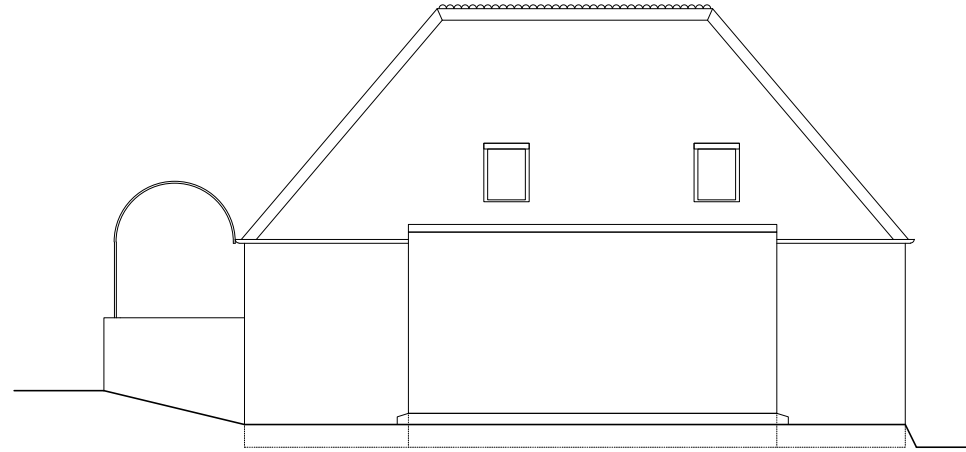
Project	Project No.
The Red House	2018_019
Client	Kenny & Lurleen Neison
Date	March 2020
Scale / Format	1:100 @ A3
Drawn / Checked	RC / BH
Drawing Name	ELEVATIONS AS EXISTING
Drawing No.	L(-)-300

M B

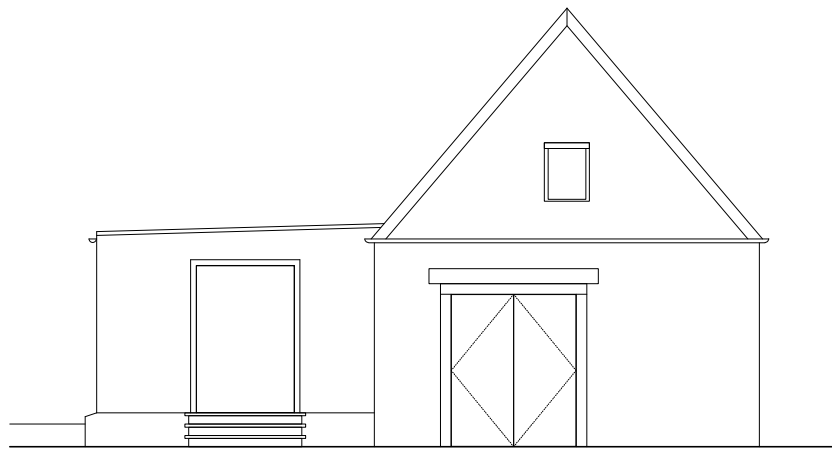
B M



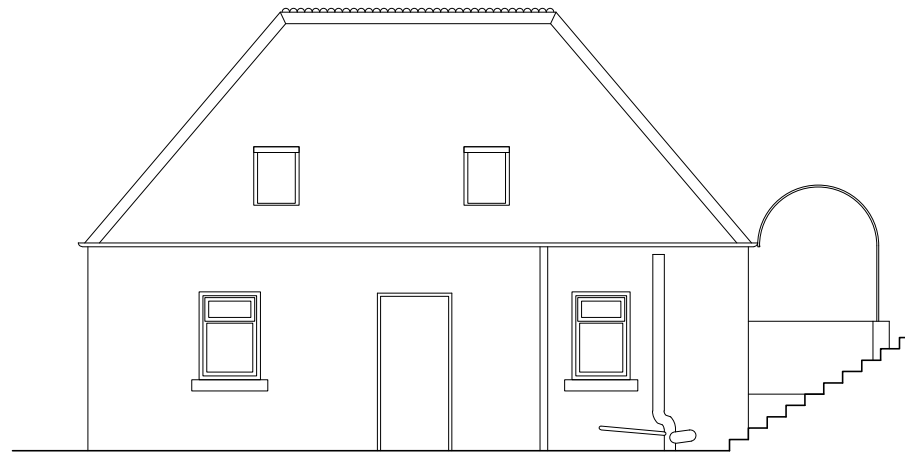
NORTH ELEVATION
AS EXISTING



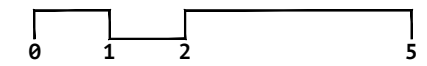
WEST ELEVATION
AS EXISTING



SOUTH ELEVATION
AS EXISTING



EAST ELEVATION
AS EXISTING



Scale Bar 1:100

Notes

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- _All dimensions to be checked on site.

Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM

PLANNING

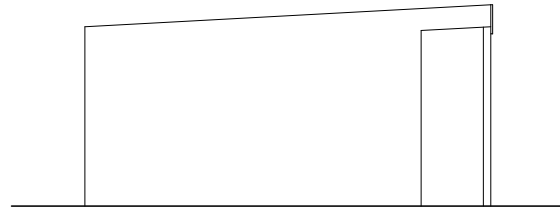
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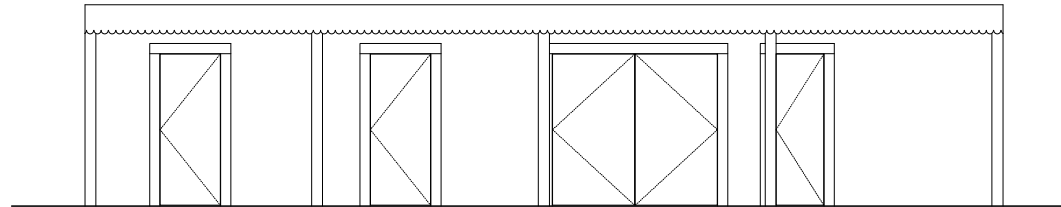
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Project	Project No.
The Red House	2018_019
Client	Kenny & Lucreen Neison
Date	March 2020
Scale / Format	1:100 @ A3
Drawn / Checked	RC / BM
Drawing Name	CLAN HOUSE ELEVATIONS AS EXISTING L(EX)301

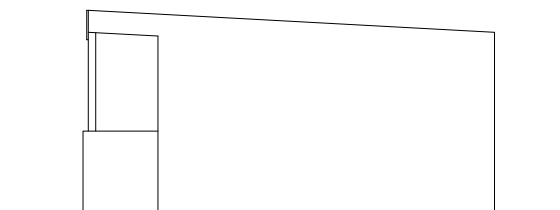
M B
B M



SOUTH ELEVATION
AS EXISTING



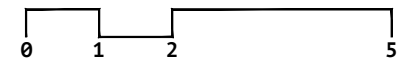
EAST ELEVATION
AS EXISTING



NORTH ELEVATION
AS EXISTING



EAST ELEVATION
AS EXISTING



Scale Bar 1:100

Notes
_Do not scale from drawings.
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Revision	Description	Date	Check
A	Planning	31.05.20	RC/BM

PLANNING

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Project	The Red House	Project No.	2018_019
Client	Kenny & Luzleen Neison		
Date		Date	March 2020
Scale / Format		Scale / Format	1:100 @ A3
Drawn / Checked		Drawn / Checked	RC / BM
Drawing Name	STABLE BLOCK ELEVATIONS AS EXISTINGL(EX)302		

284

+200.00

+195.00

+190.00

CROSS SECTION C-C

+200.00

+195.00

+190.00

CROSS SECTION B-B

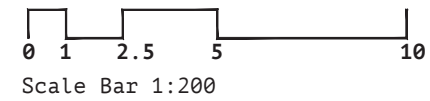
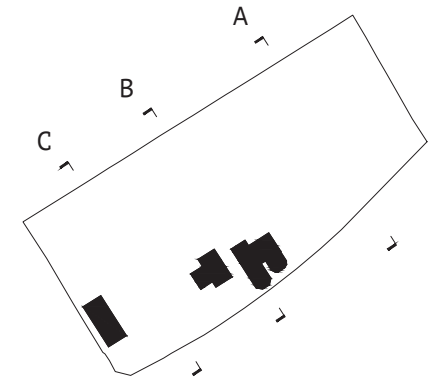
+200.00

+195.00

+190.00

CROSS SECTION A-A

M B
B M



Scale Bar 1:200

Notes

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Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM

PLANNING

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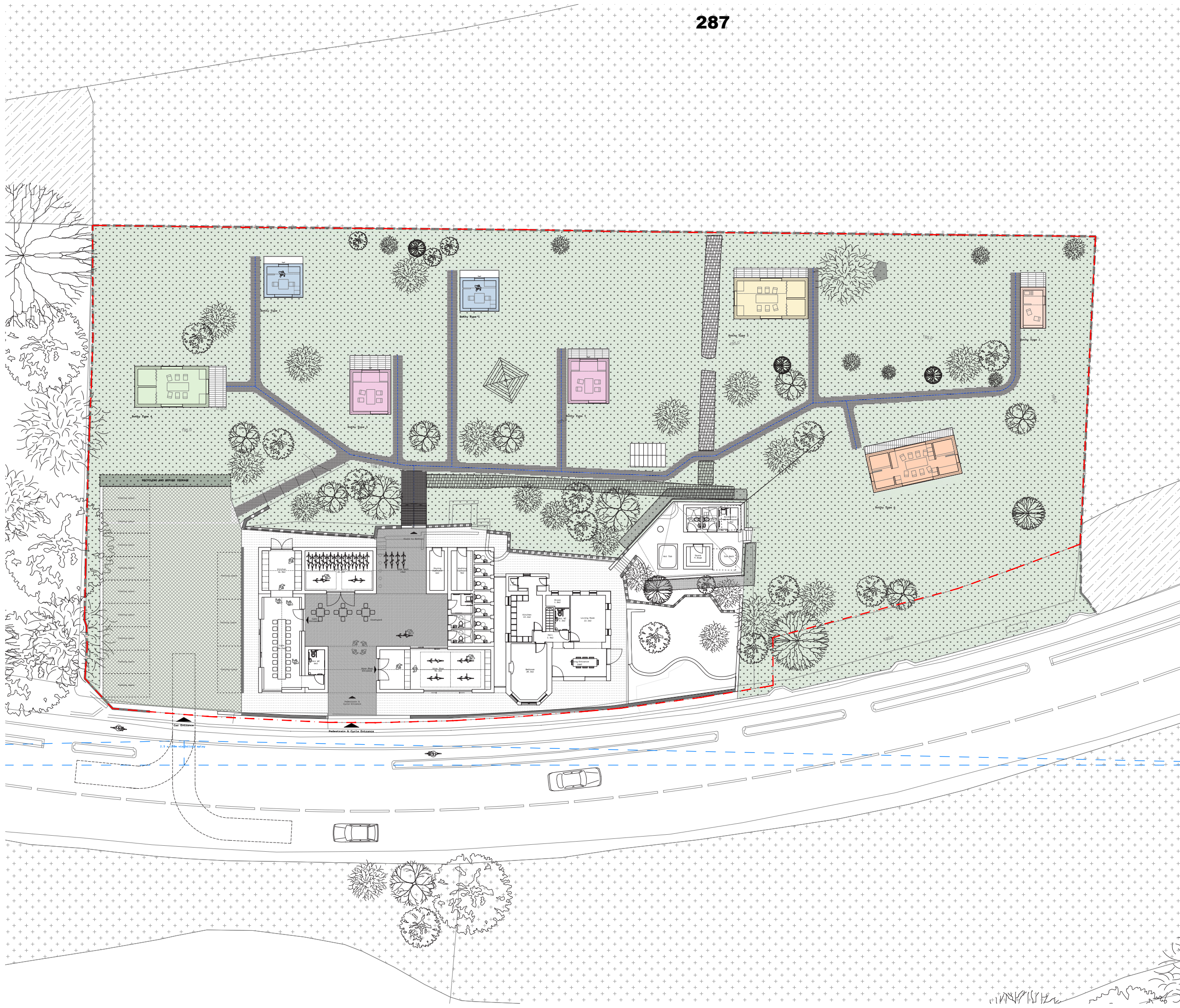
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Glasgow
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Project	Project No.
The Red House	2018_019
Client	Kenny & Lucreen Neilson
Date	March 2020
Scale / Format	1:200 @ A3
Drawn / Checked	RC / BM
Drawing Name	Drawing No.
SIZE SECTION AS EXISTING	L(EX)350

















Proposed Drawings

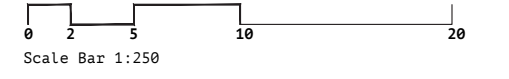
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M B

B M

-  Re-wilded grass
-  Loose gravel paths with french drain and services below
-  Brick paving
-  Self bound gravel
-  Grass Crete
-  Existing timber boundary fence
-  New brick high wall
Height varies 450mm - 1400mm depending on site levels
-  Existing brick walls - to be re-painted
-  Site Curtilage
-  2.5 x 120m Visibility Splay
-  Bothy Type 1
16sqm
-  Bothy Type 2
16sqm
-  Bothy Type 3
16sqm
-  Bothy Type 4
16sqm
-  Bothy Type 5
16sqm
-  Bothy Type 6
16sqm



Notes

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Revision	Description	Date	Check
D	PLANNING	31.01.20	MC/MP
C	INFORMATION	31.01.20	MC
B	BOTHY FEASIBILITY	15.10.19	MC
A	FEASIBILITY	18.01.19	AR

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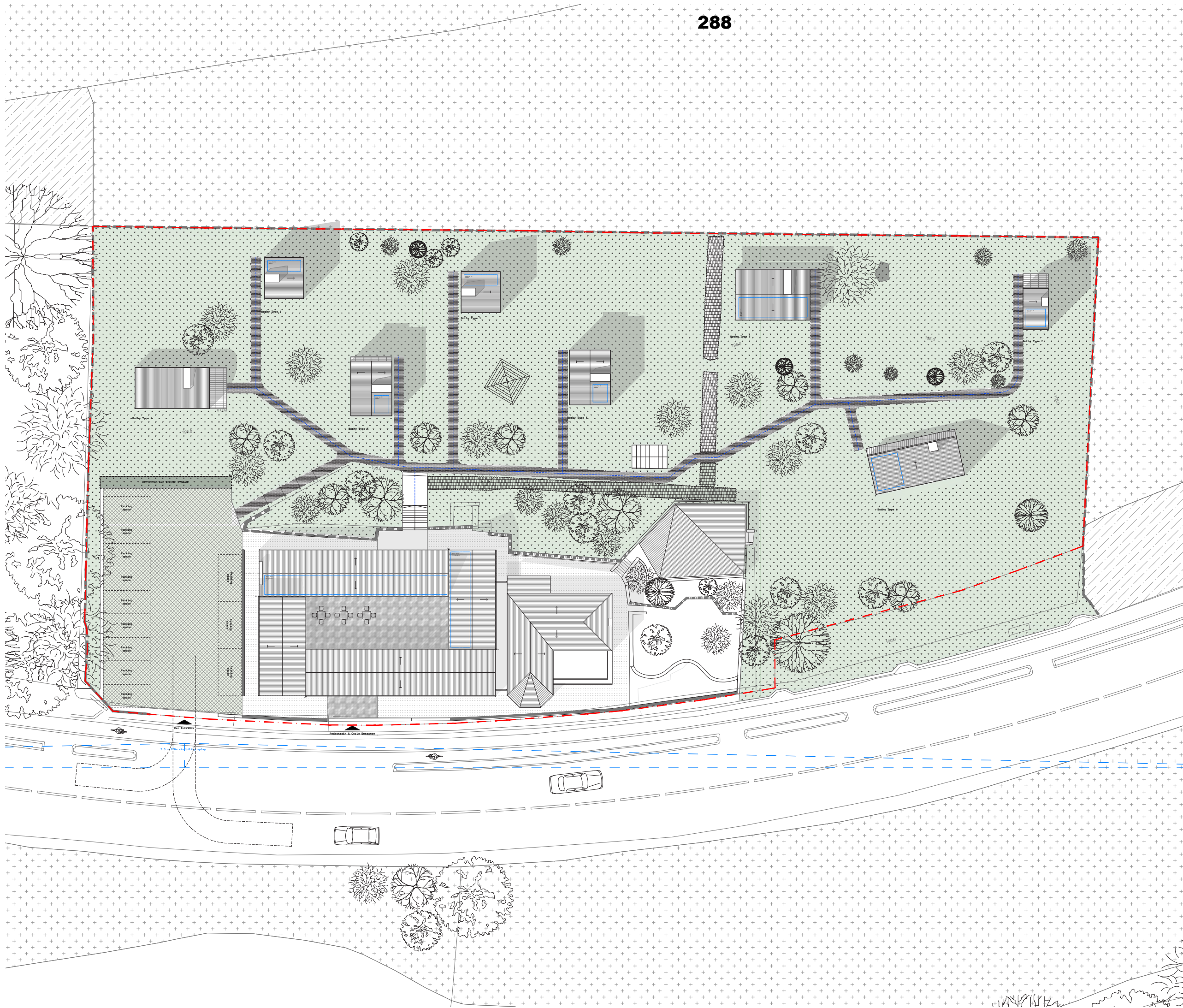
PLANNING











Project: The Red House
Client: Kenny & Luzleen Neilson

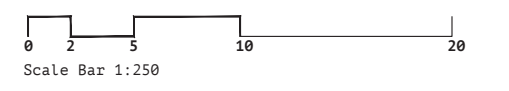
Date: MARCH 2020
Scale / Format: 1:250 @ A2
Drawn / Checked: AR / BN
Drawing Name: SITE PLAN AS PROPOSED
Drawing No: L[-]-J002

M B

B M




-  Re-wilded grass
-  Loose gravel paths with french drain and services below
-  Brick paving to courtyard
-  Self bound gravel
-  Grass Crete
-  Existing timber boundary fence
-  New brick high wall
Height varies 450mm - 1400mm depending on site levels
-  Existing brick walls - to be re-painted
-  Site Curtilage
-  2.5 x 120m Visibility Splay



Notes

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Revision	Description	Date	Check
A	Planning	31.03.20	MC/BN



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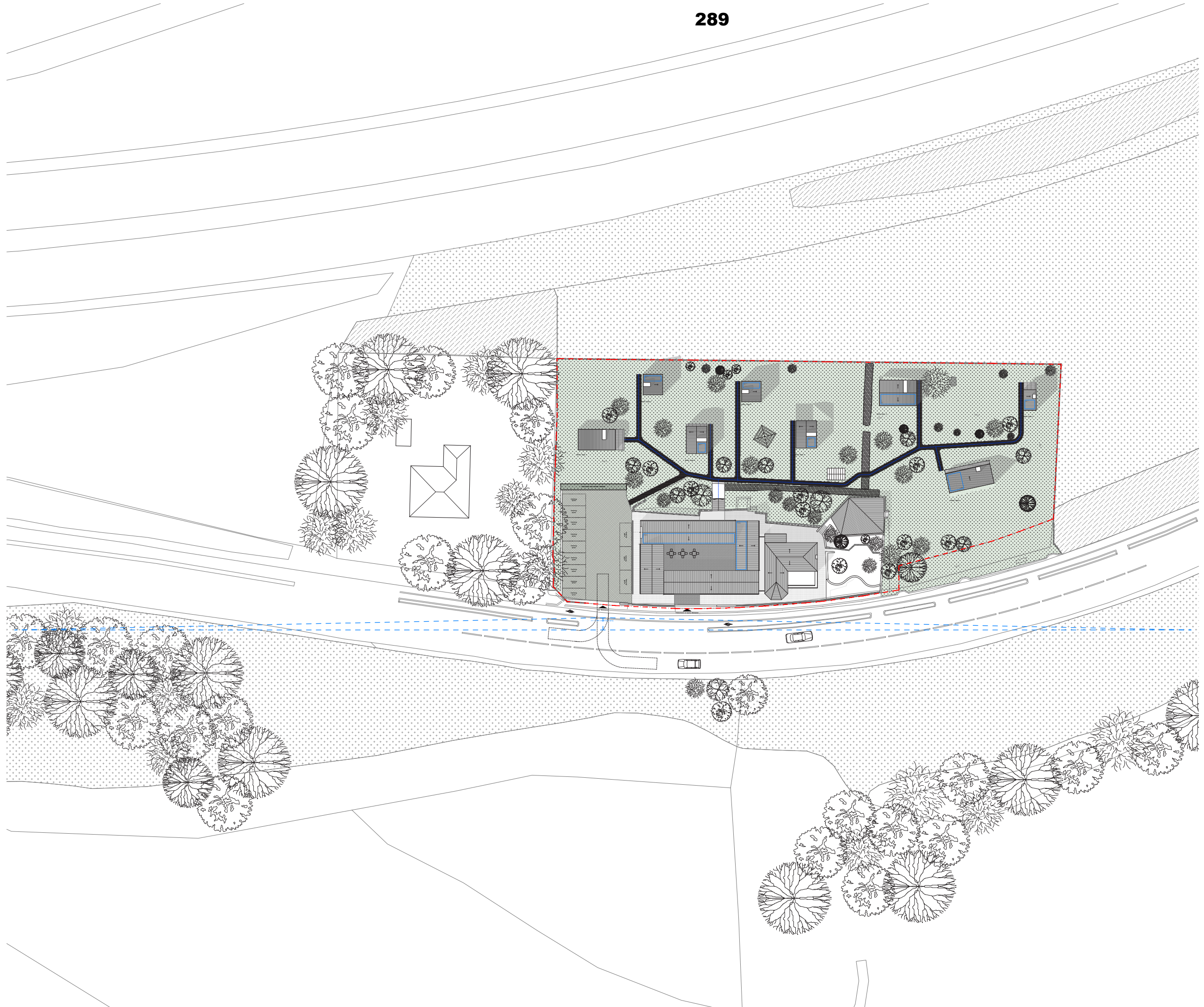
PLANNING

Project No: 2019_019
Client: **Kenny & Luzleen Neilson**

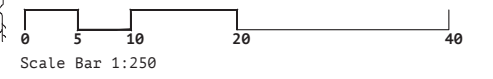
Date: MARCH 2020
Scale / Format: 1:250 @ A2
Drawn / Checked: AR / BN
Drawing Name: **SITE ROOF PLAN AS PROPOSED**
Drawing No: **L[-]-1003**

M B

B M



- Existing timber boundary fence
- New brick high wall
Height varies 450mm - 1400mm depending on site levels
- Existing brick walls - to be re-painted
- Site Curtilage
- 2.5 x 120m Visibility Splay



Notes

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Revision	Description	Date	Check
A	Planning	11.03.20	KC/BN

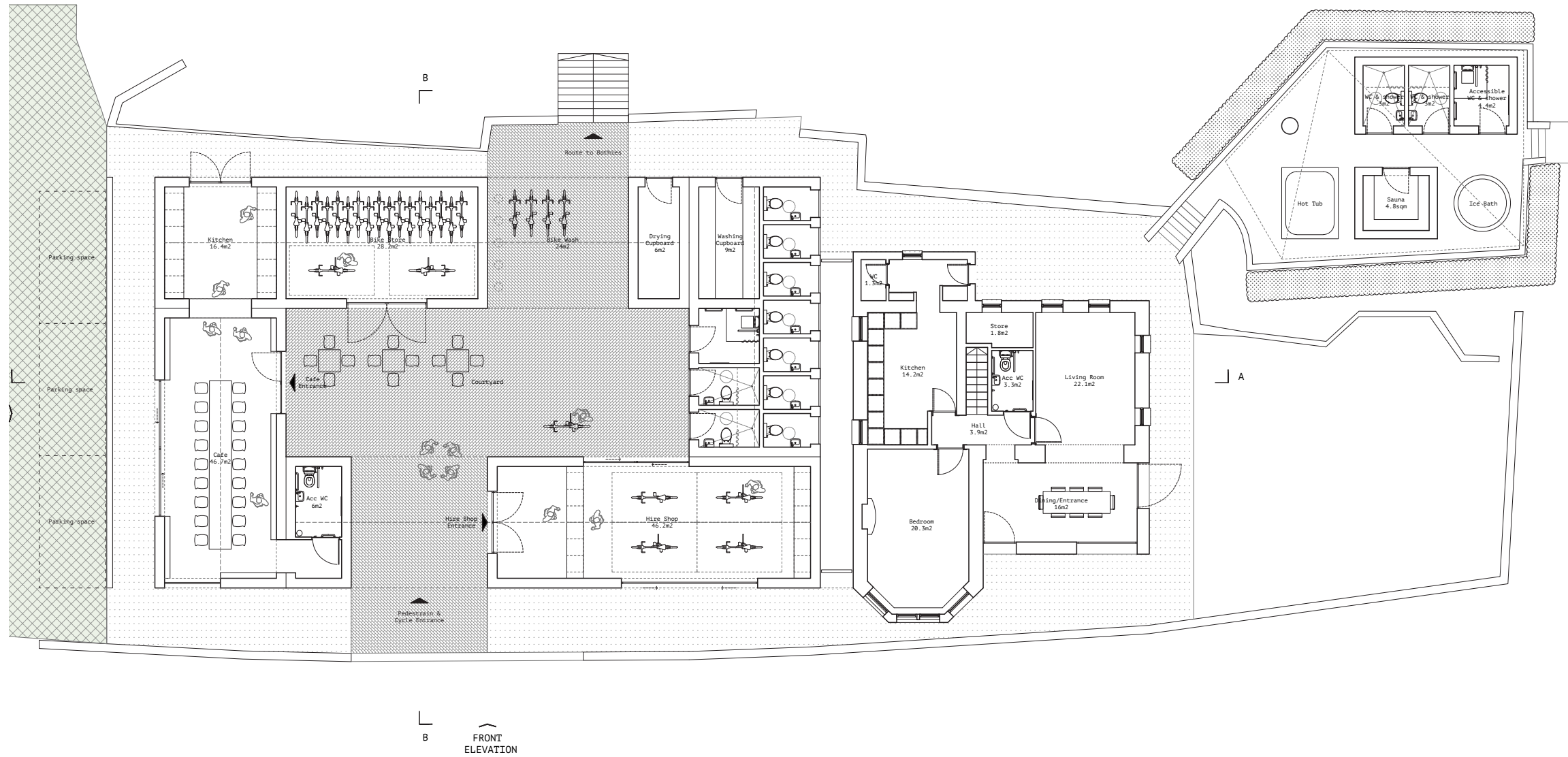





PLANNING

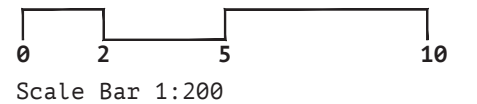
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Glasgow
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Project No. **2018_019**
Client: **Kenny & Luzleen Neilson**
Date: **MARCH 2020**
Scale / Format: **1:500 @ A2**
Drawn / Checked: **AK / BN**
Drawing Name: **AREA PLAN AS PROPOSED**
Drawing No: **L[-]004**



-  Brick paving
-  Self bound gravel
-  Grass Crete



Notes

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- _All dimensions to be checked on site.

C	PLANNING
B	FEASIBILITY
A	FEASIBILITY

Revision Description



PLANNING

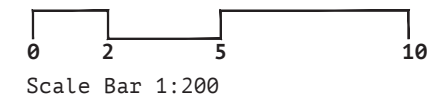
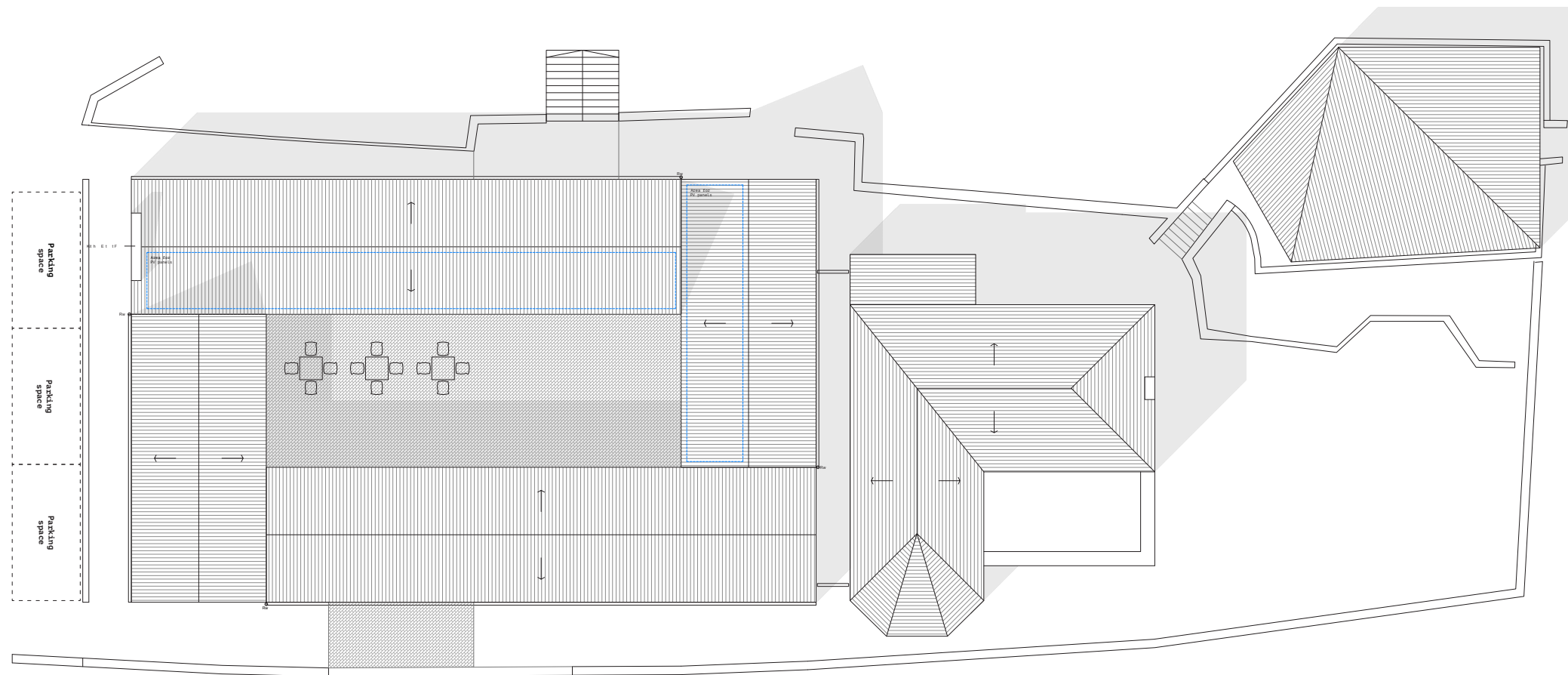
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Project	The Red House
Client	Kenny & Lurleen Neison
Date	
Scale / Format	
Drawn / Checked	
Drawing Name	CYCLE HUB SITE LAYOUT AS PROPOSED

M B
B M



Notes
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 _Errors to be reported immediately to the Architect.
 _To be read in conjunction with all relevant Architects', Services & Structural Engineers' drawings.
 _All existing site, trees and building information has been compiled from different sources.
 _All dimensions to be checked on site.

Revision	Description	Date	Check
C	PLANNING	31.03.20	RC/BM
B	FEASIBILITY	15.10.19	RC
A	FEASIBILITY	18.01.19	AR



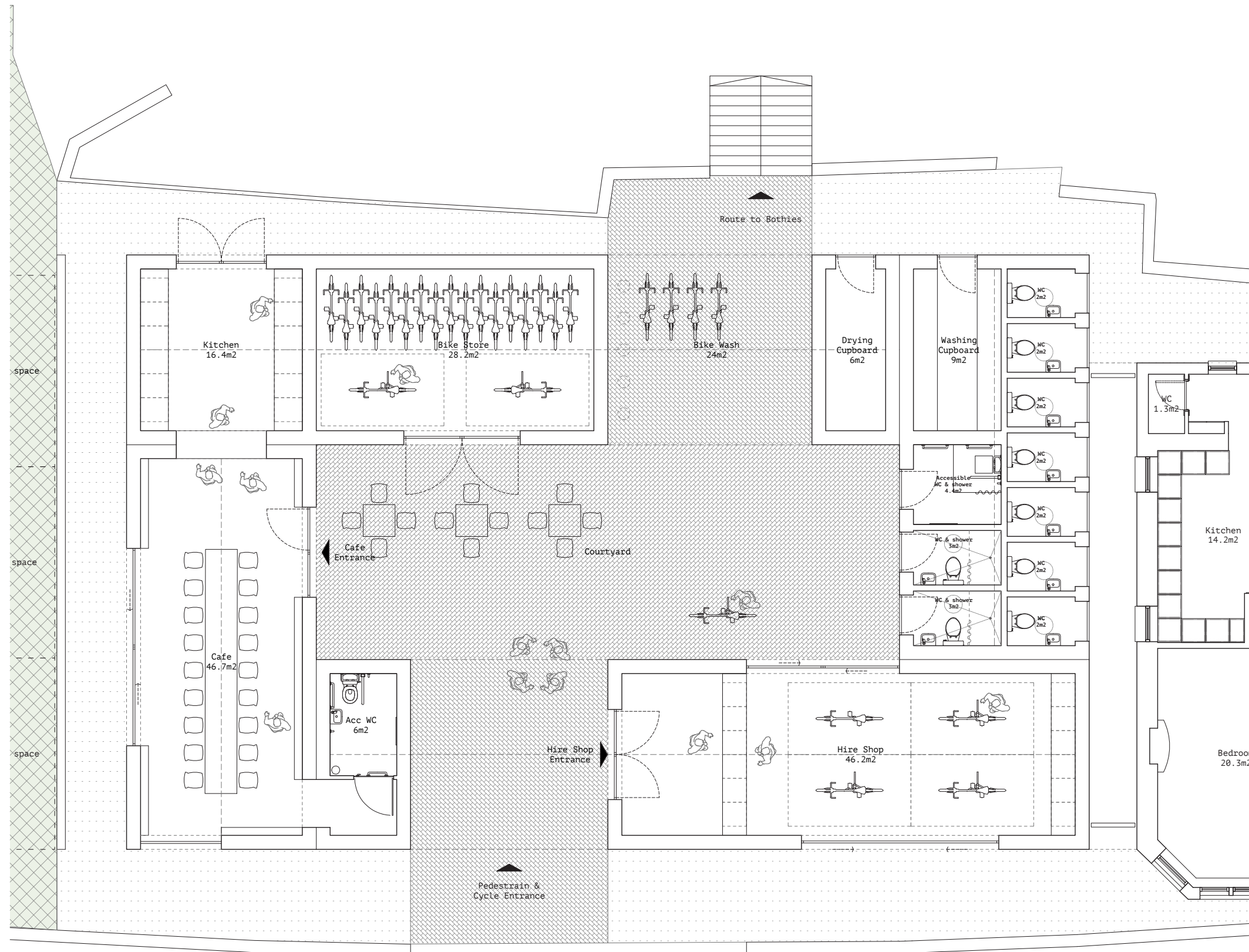
PLANNING

McGinlay Bell

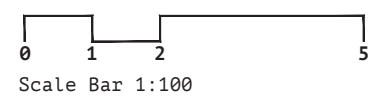
Baltic Chambers
 Basement Suite 27
 50 Wellington Street
 Glasgow
 G2 6HJ

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 mcginlaybell.com

Project	The Red House	Project No.	2018_019
Client	Kenny & Lurleen Neilson		
Date	March 2020		
Scale / Format	1:200 @ A3		
Drawn / Checked	RC / BM		
Drawing Name	CYCLE HUB ROOF LAYOUT AS PROPOSED		
Drawing NO.	L[--]051		



M B
B M



Notes
 _Do not scale from drawings.
 _Errors to be reported immediately to the Architect.
 _To be read in conjunction with all relevant Architects', Services & Structural Engineers' drawings.
 _All existing site, trees and building information has been compiled from different sources.
 _All dimensions to be checked on site.

Revision	Description
A	PLANNING



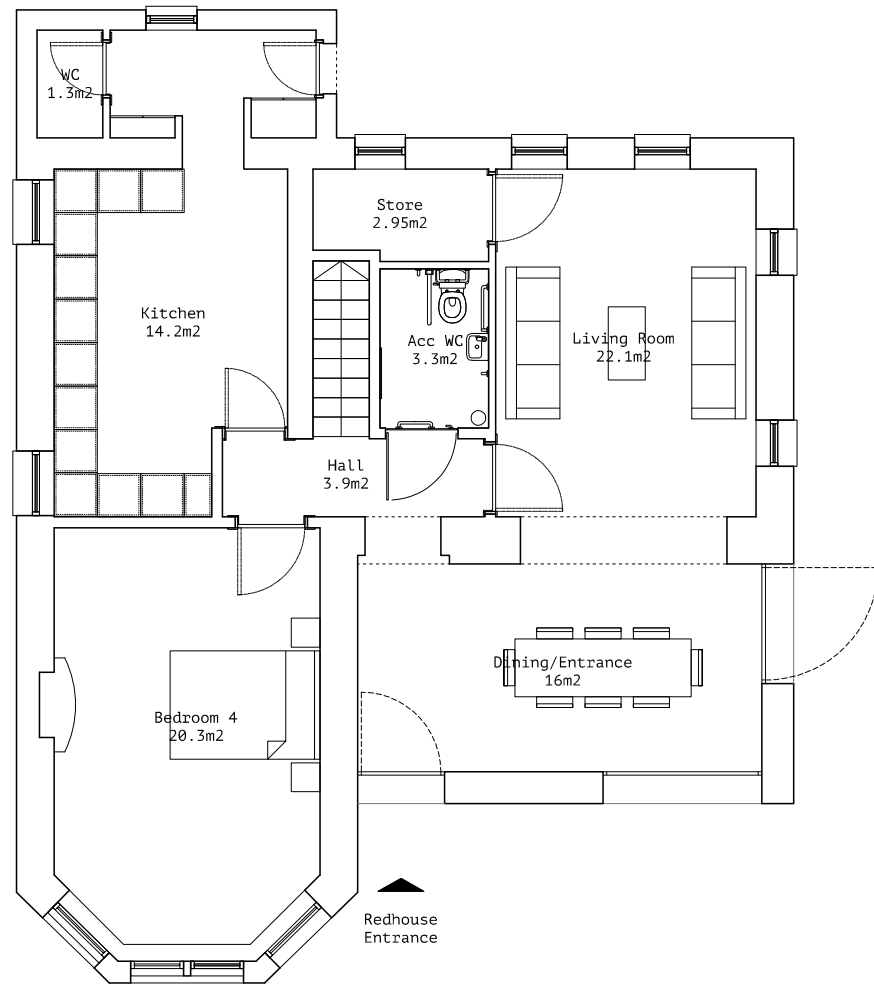
PLANNING

McGinlay Bell

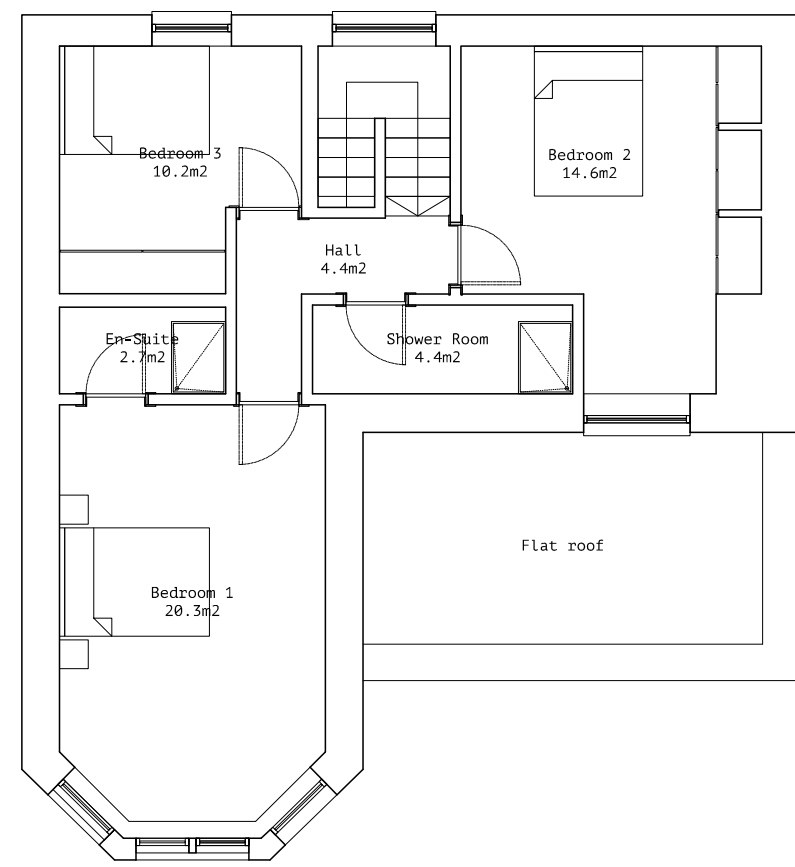
Baltic Chambers
 Basement Suite 27
 50 Wellington Street
 Glasgow
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Project
The Red House
 Client
Kenny & Luzleen Neilson
 Date
 Scale / Format
 Drawn / Checked
 Drawing Name
**CYCLE HUB GROUND FLOOR PLAN
 AS PROPOSED**

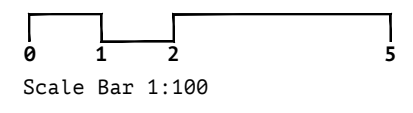
M B
B M



GROUND FLOOR PLAN AS PROPOSED

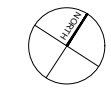


FIRST FLOOR PLAN AS PROPOSED



Notes
 _Do not scale from drawings.
 _Errors to be reported immediately to the Architect.
 _To be read in conjunction with all relevant Architects', Services & Structural Engineers' drawings.
 _All existing site, trees and building information has been compiled from different sources.
 _All dimensions to be checked on site.

Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM

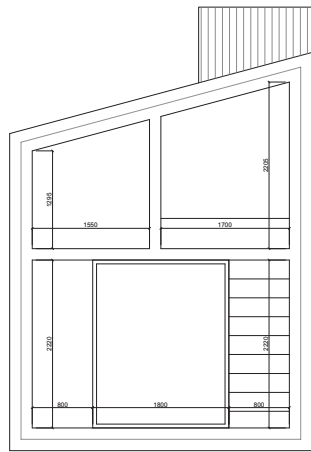


PLANNING

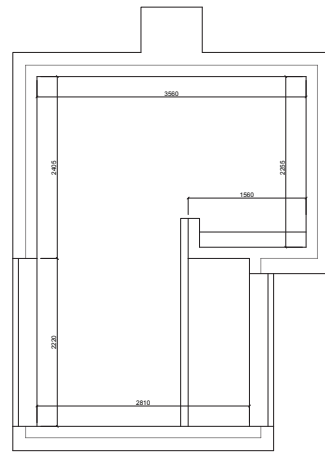
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 G2 6HJ
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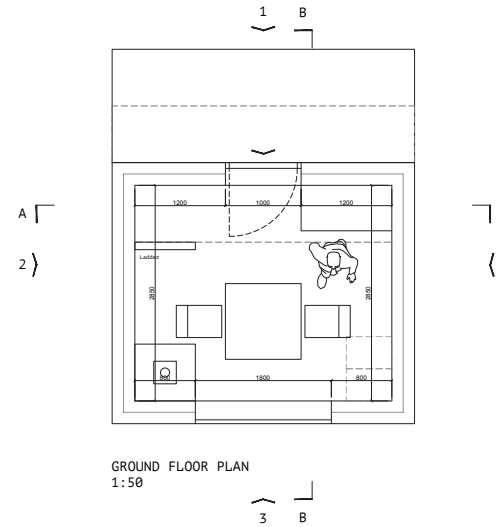
Project: **The Red House** Project No: **2018_019**
 Client: **Kenny & Lurleen Neison**
 Date: **March 2020**
 Scale / Format: **1:100 @ A3**
 Drawn / Checked: **RC / BM**
 Drawing Name: **REDHOUSE PLANS AS PROPOSED** Drawing No: **L[--]100**



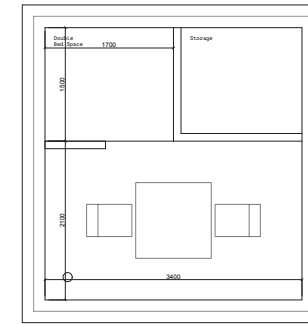
SECTION A-A
1:50



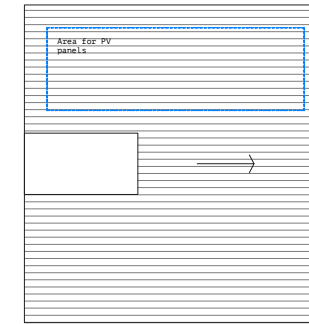
SECTION B-B
1:50



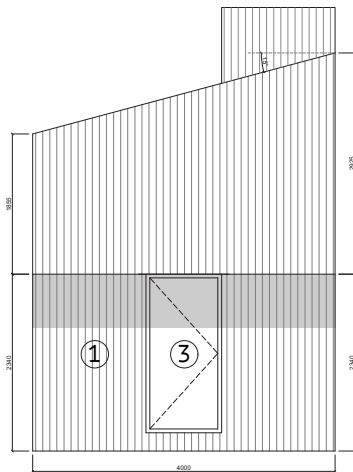
GROUND FLOOR PLAN
1:50



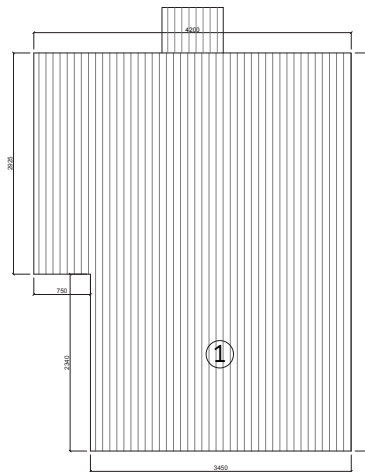
FIRST FLOOR PLAN
1:50



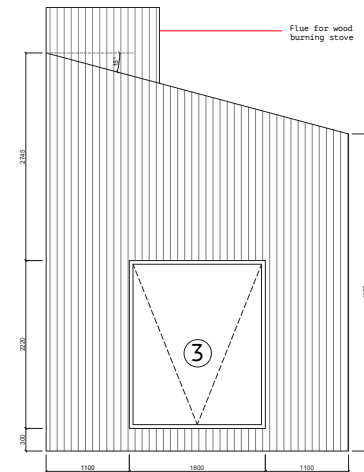
ROOF PLAN
1:50



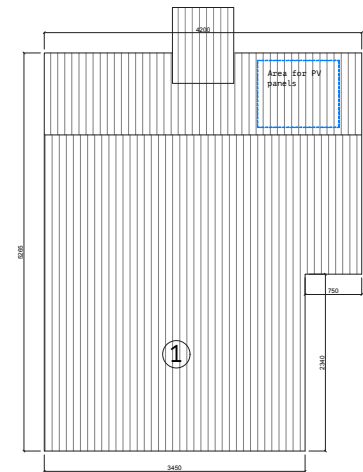
ELEVATION 1
1:50



ELEVATION 2
1:50



ELEVATION 3
1:50

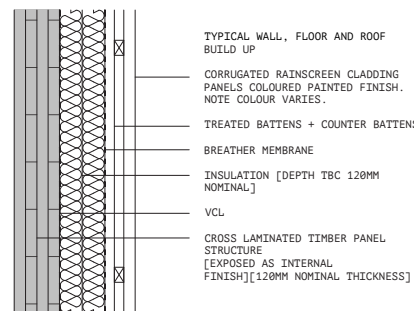


ELEVATION 4
1:50



Scale Bar 1:50

Typical Wall, Roof and Floor build up.
1:10



TYPICAL WALL, FLOOR AND ROOF BUILD UP

- CORRUGATED RAINSCREEN CLADDING PANELS COLOURED PAINTED FINISH. NOTE COLOUR VARIES.
- TREATED BATTENS + COUNTER BATTENS
- BREATHER MEMBRANE
- INSULATION [DEPTH TBC 120MM NOMINAL]
- VCL
- CROSS LAMINATED TIMBER PANEL STRUCTURE [EXPOSED AS INTERNAL FINISH][120MM NOMINAL THICKNESS]

WINDOW SPECIFICATION:
INTERIOR TRIPPLE GLAZED WINDOWS
OPENING FUNCTION TBC
COLOUR: RAL 7021

Material Notes

- ① Corrugated Rainscreen Cladding Panels with coloured finish - Refer to L[---]310 for details
- ③ Aluminium clad timber window - colour TBC

Bothy Type 1
9.7sqm

Revision	Description	Date	Chg
A	Planning	31.03.20	RC/I

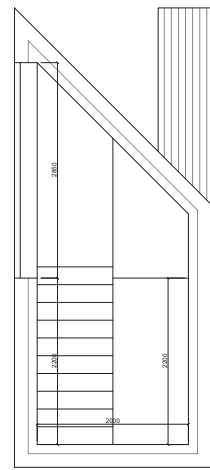
PLANNING

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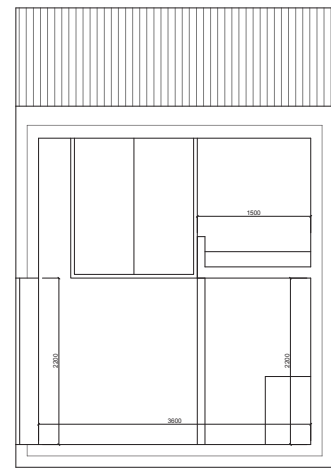
Baltic Chambers
Basement, Suite 27
58 Wellington Street
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G2 6HJ

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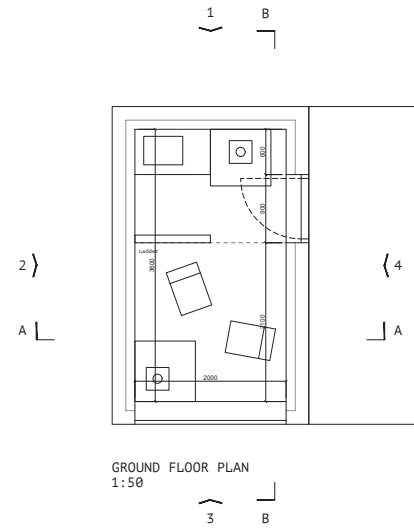
Project: The Red House 2018_01
Client: Kenny & Luzleen Neilson
Date: March 20
Scale / Format: 1:50 @ G2 6HJ
Drawn / Checked: RC/I
Drawing Name: BOTHY - TYPE 1
Drawing No: L[---]J12



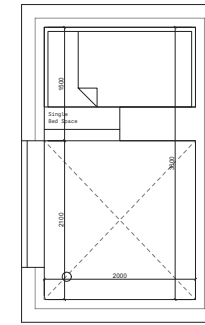
SECTION A-A
1:50



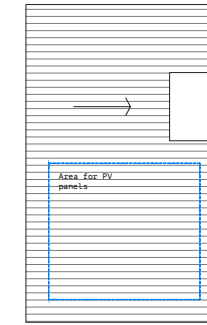
SECTION B-B
1:50



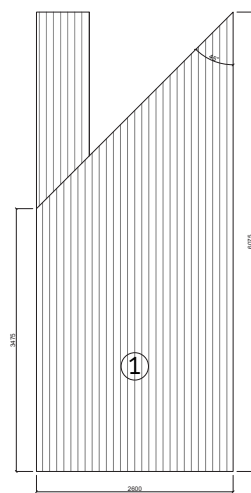
GROUND FLOOR PLAN
1:50



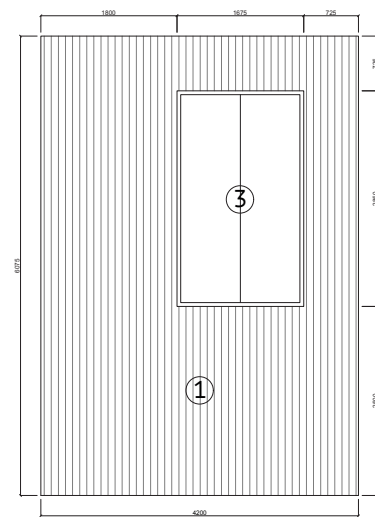
FIRST FLOOR PLAN
1:50



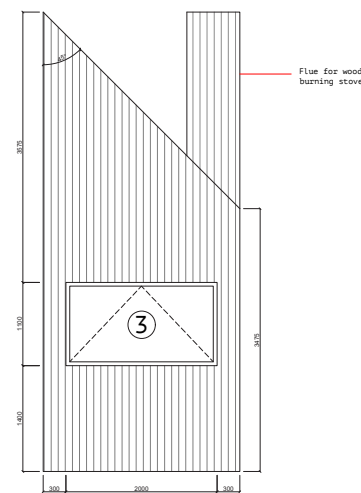
ROOF PLAN
1:50



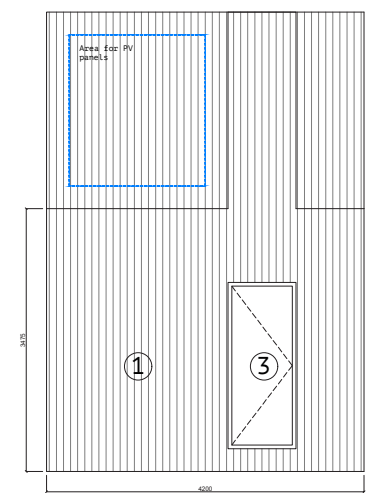
ELEVATION 1
1:50



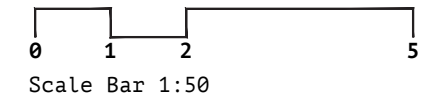
ELEVATION 2
1:50



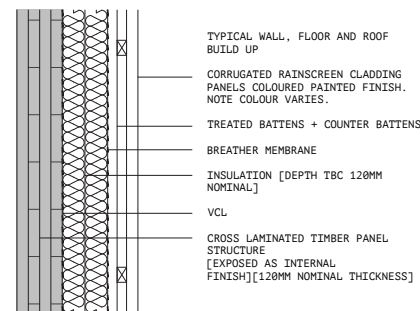
ELEVATION 3
1:50



ELEVATION 4
1:50



Typical Wall, Roof and Floor build up.
1:10



TYPICAL WALL, FLOOR AND ROOF BUILD UP

- CORRUGATED RAINDSCREEN CLADDING PANELS COLOURED PAINTED FINISH. NOTE COLOUR VARIES.
- TREATED BATTENS + COUNTER BATTENS
- BREATHER MEMBRANE
- INSULATION [DEPTH TBC 120MM NOMINAL]
- VCL
- CROSS LAMINATED TIMBER PANEL STRUCTURE [EXPOSED AS INTERNAL FINISH][120MM NOMINAL THICKNESS]

WINDOW SPECIFICATION:
INTERIOR TRIPPLE GLAZED WINDOWS
DRAINING FUNCTION TBC
COLOUR: RAL 7021

Material Notes

- ① Corrugated Rainscreen Cladding Panels with coloured finish - Refer to L[--]310 for details
- ③ Aluminium clad timber window - colour TBC

Bothy Type 2
9.3sqm

Revision	Description	Date	Chg
A	Planning	31.03.20	RC/I

PLANNING

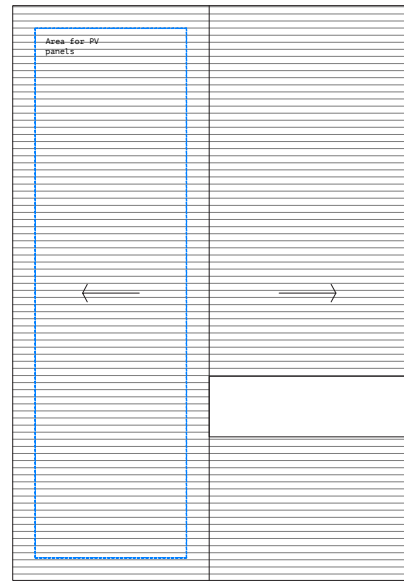
McGinlay Bell

Baltic Chambers
Basement Suite 27
58 Wellington Street
Glasgow
G2 6HJ

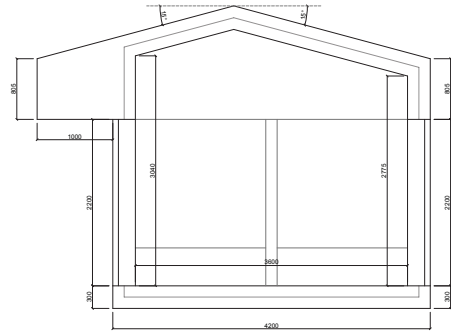
info @
mcginlaybell.com

Project: **The Red House** 2018_01
Client: **Kenny & Luzleen Neilson**

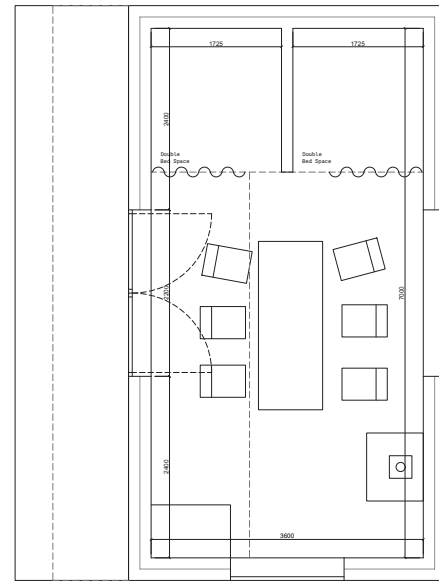
Date: March 28
Scale / Format: 1:50 @ A1
Drawn / Checked: RC/I
Drawing Name: **BOTHY - TYPE 2** Drawing No: **L[--]112**



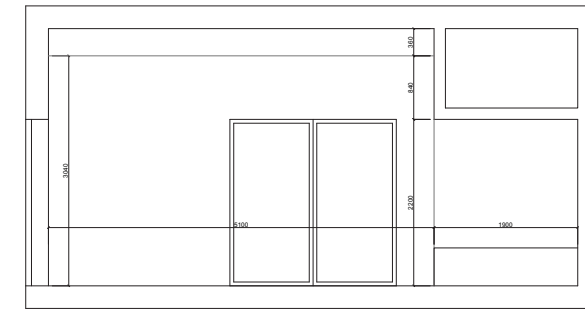
ROOF PLAN
1:50



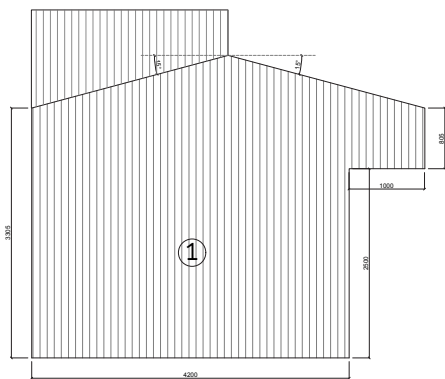
SECTION A-A
1:50



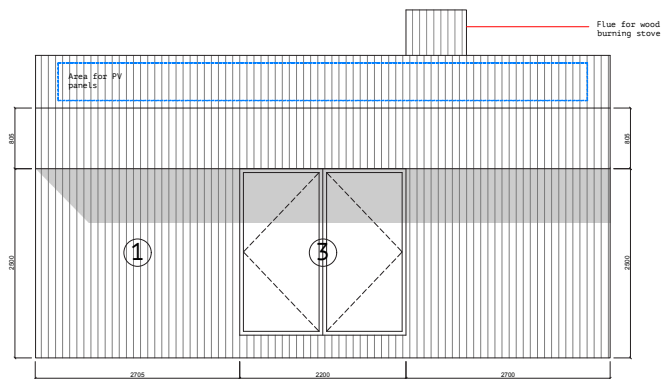
GROUND FLOOR PLAN
1:50



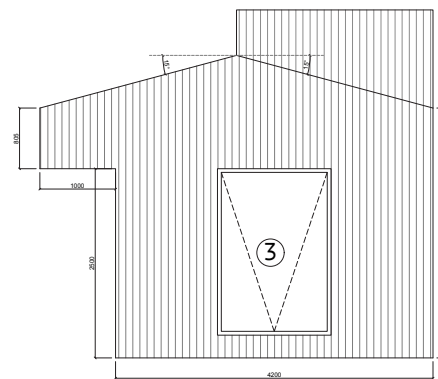
SECTION B-B
1:50



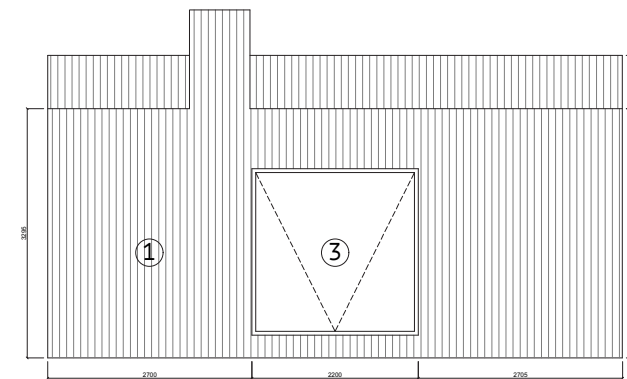
ELEVATION 1
1:50



ELEVATION 2
1:50



ELEVATION 3
1:50

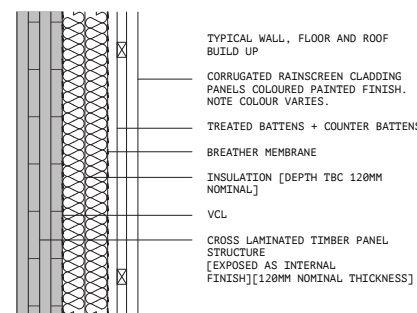


ELEVATION 4
1:50



Scale Bar 1:50

Typical Wall, Roof and Floor build up.
1:10



WINDOW SPECIFICATION:
INTERNORM TRIPPLE GLAZED WINDOWS
DRAINING FUNCTION TBC
COLOUR: RAL 7021

Material Notes

- ① Corrugated Rainscreen Cladding Panels with coloured finish - Refer to L[--]310 for details
- ③ Aluminium clad timber window - colour TBC

Bothy Type 3
25.2sqm

Revision	Description	Date	Chg
A	Planning	31.03.20	RC/I

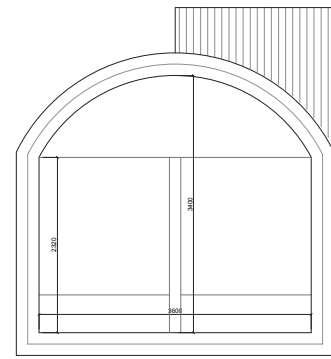
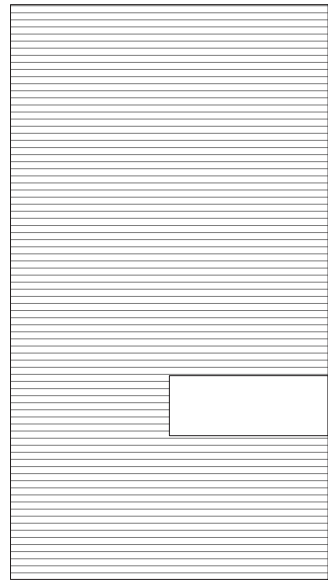
PLANNING

McGinlay Bell

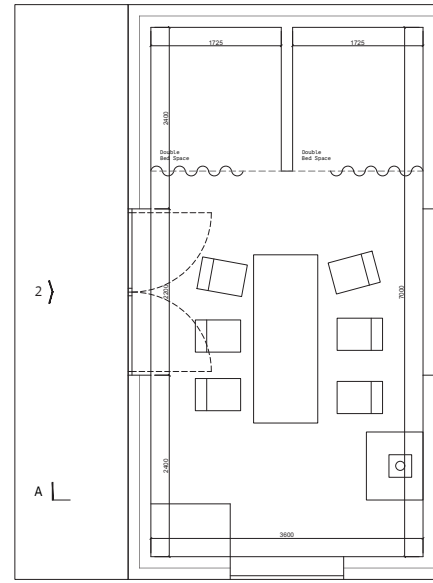
Baltic Chambers
Basement Suite 27
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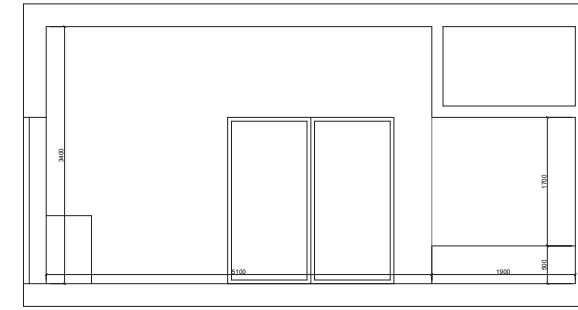
Project	The Red House	Project No	2018_01
Client	Kenny & Luzleen Neilson	Date	March 20
Scale / Format	1:50 @	Drawn / Checked	RC/I
Drawing Name	BOTHY - TYPE 3	Drawing No	L[--]12



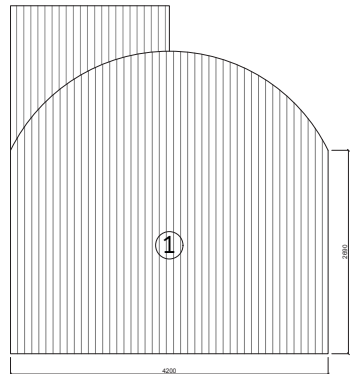
SECTION A-A
1:50



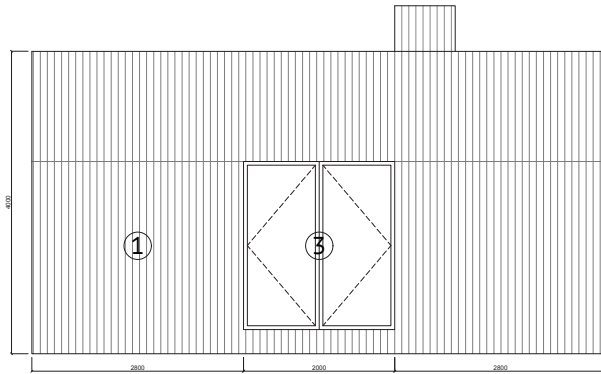
GROUND FLOOR PLAN
1:50



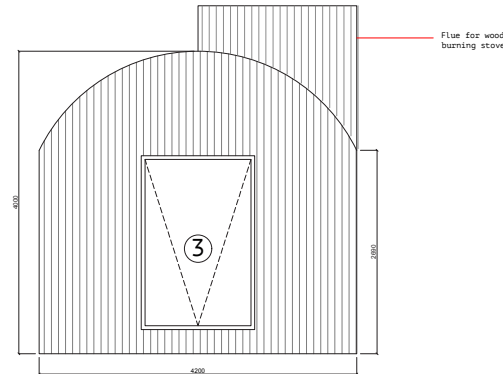
SECTION B-B
1:50



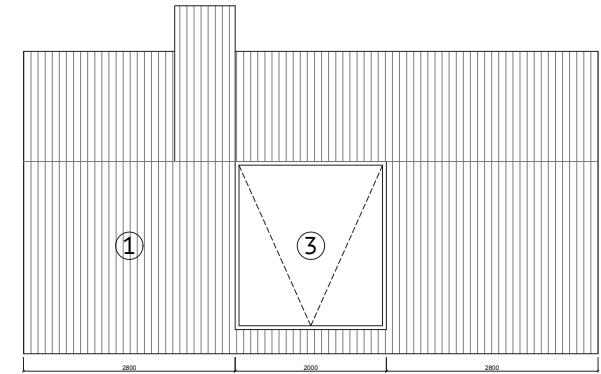
ELEVATION 1
1:50



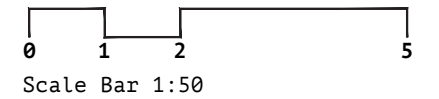
ELEVATION 2
1:50



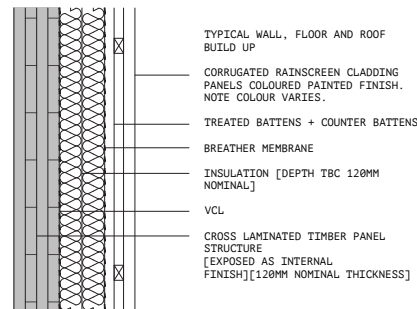
ELEVATION 3
1:50



ELEVATION 4
1:50



Typical Wall, Roof and Floor build up.
1:10



WINDOW SPECIFICATION:
INTERIOR TRIPPLE GLAZED WINDOWS
DRAINING FUNCTION TBC
COLOUR: RAL 7021

Material Notes

- ① Corrugated Rainscreen Cladding Panels with coloured finish - Refer to L[--]310 for details
- ③ Aluminium clad timber window - colour TBC

Bothy Type 4
25.2sqm

Revision	Description	Date	Chg
A	Planning	31.03.20	RC/I

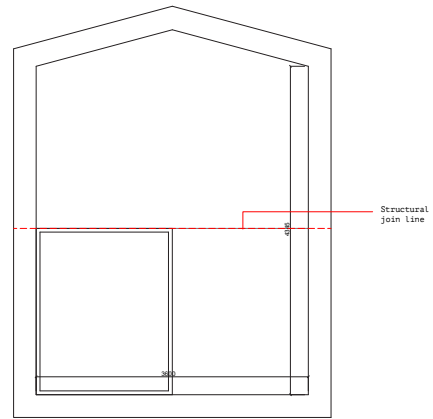
PLANNING

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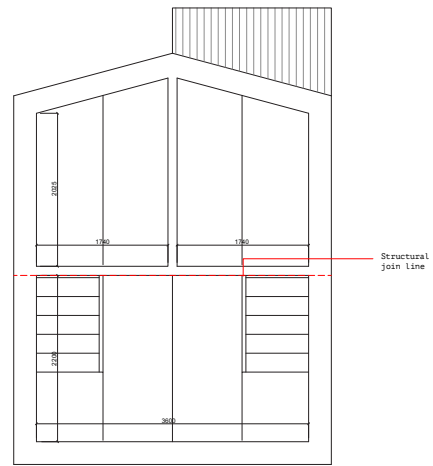
Baltic Chambers
Basement Suite 27
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G2 6HJ

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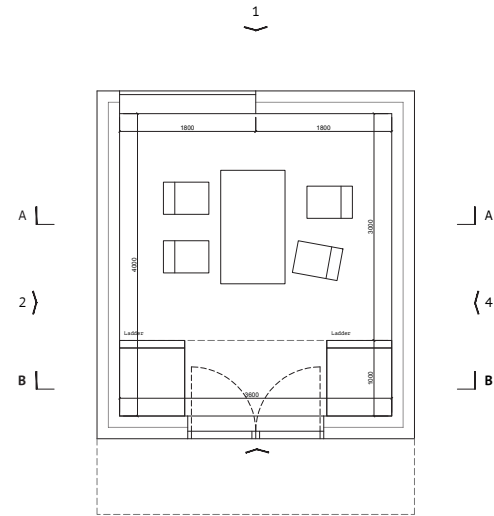
Project: **The Red House** 2018_01
Client: **Kenny & Luzleen Neilson**
Date: March 28
Scale / Format: 1:50 @ RC/I
Drawn / Checked: RC/I
Drawing Name: **BOTHY - TYPE 4**
Drawing No: **L[--]12**



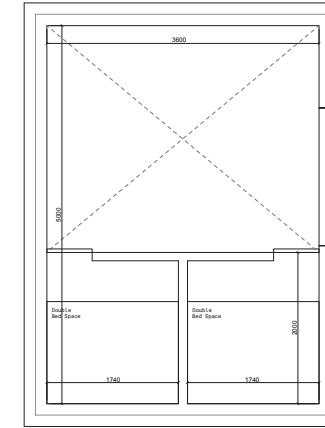
SECTION A-A
1:50



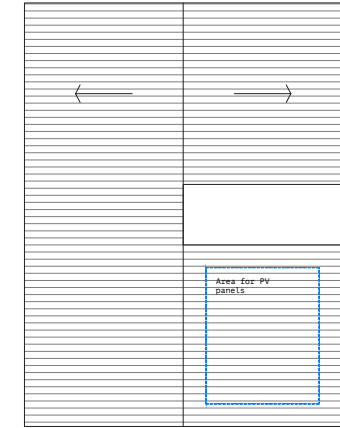
SECTION B-B
1:50



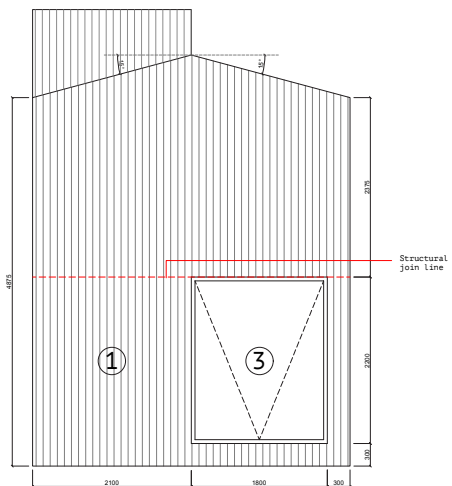
GROUND FLOOR PLAN
1:50



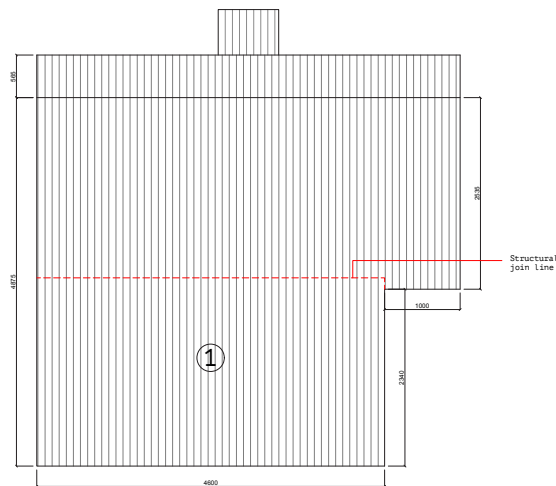
1st FLOOR PLAN
1:50



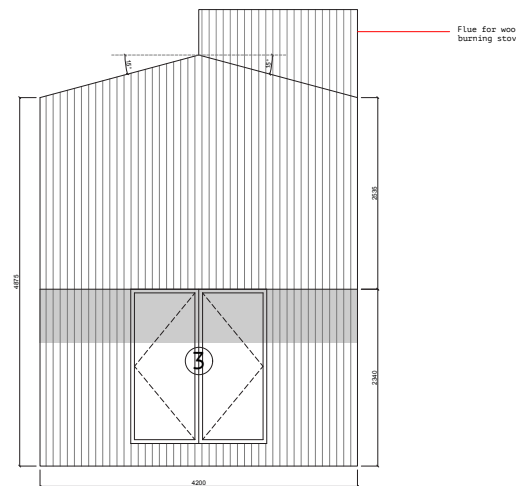
MODULE SPLIT
1:50



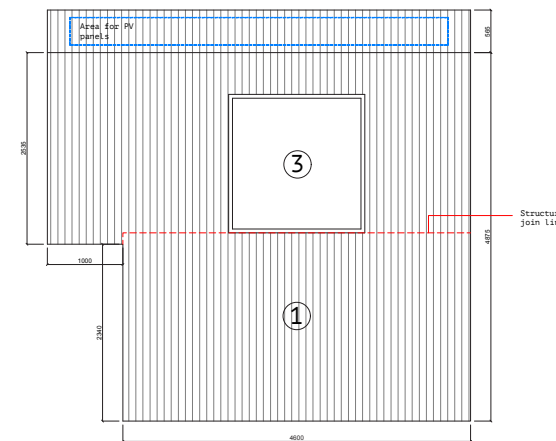
ELEVATION 1
1:50



ELEVATION 2
1:50



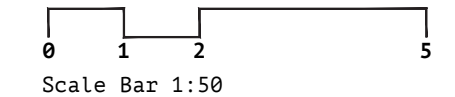
ELEVATION 3
1:50



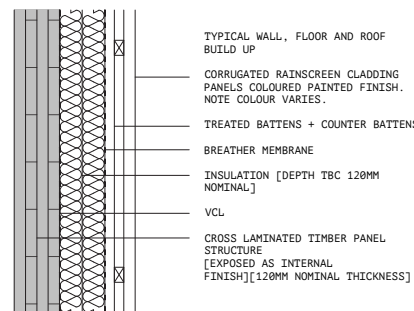
ELEVATION 4
1:50



MODULE SPLIT
1:50



Typical Wall, Roof and Floor build up.
1:10



WINDOW SPECIFICATION:
INTERIOR TRIPPLE GLAZED WINDOWS
OPENING FUNCTION TBC
COLOUR: RAL 7021

Material Notes

- ① Corrugated Rainscreen Cladding Panels with coloured finish - Refer to L[--]310 for details
- ③ Aluminium clad timber window - colour TBC

Notes:

-Bothy Type E is to be pre-fabricated in two sections and assembled on site - See Module diagram for details

-Junction in cladding and waterproofing between sections TBC with architect and manufacturer

Bothy Type 5
21.2sqm

Revision	Description	Date	Chg
A	Planning	31.03.20	RC/I

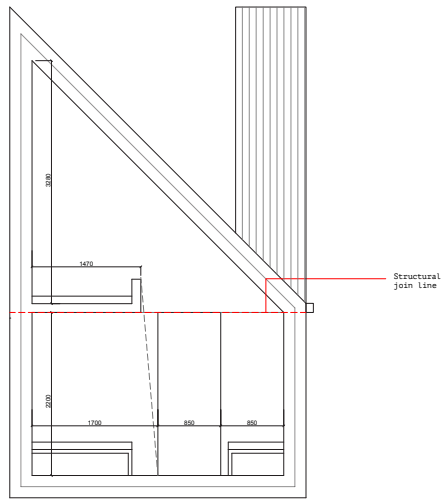
PLANNING

McGinlay Bell

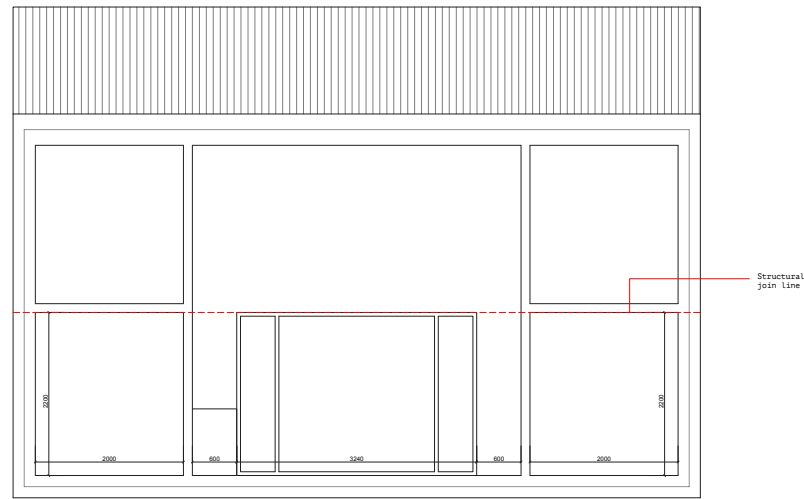
Baltic Chambers
Basement, Suite 27
58 Wellington Street
Glasgow
G2 6HJ

info@mcginlaybell.com

Project	The Red House	2018_01
Client	Kenny & Luzleen Neilson	
Date	March 20	
Scale / Format	1:20 @ G2 6HJ	
Drawn / Checked	RC/I	
Drawing Name	BOTHY - TYPE 5	
Drawing No	L[--]J12	

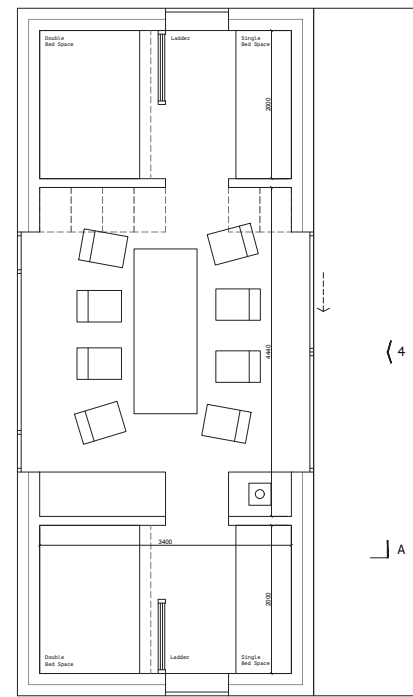


SECTION A-A
1:50



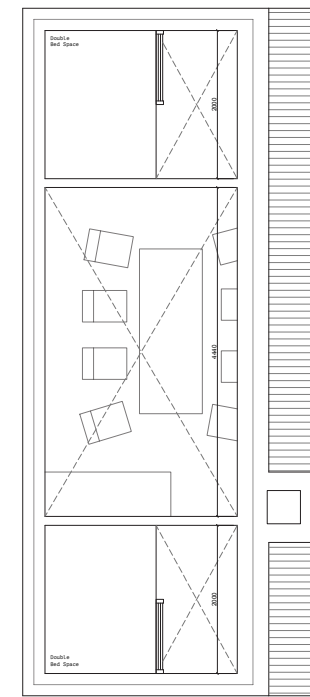
SECTION B-B
1:50

2)
A L

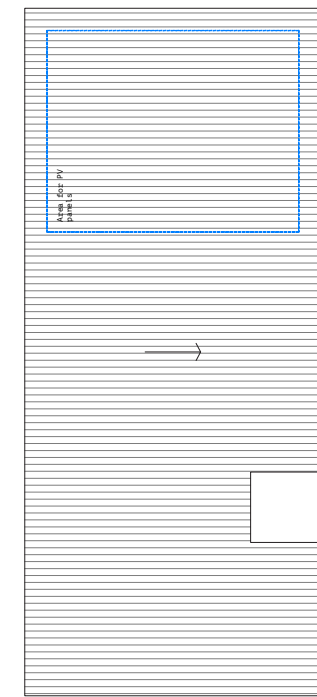


GROUND FLOOR PLAN
1:50

B 3



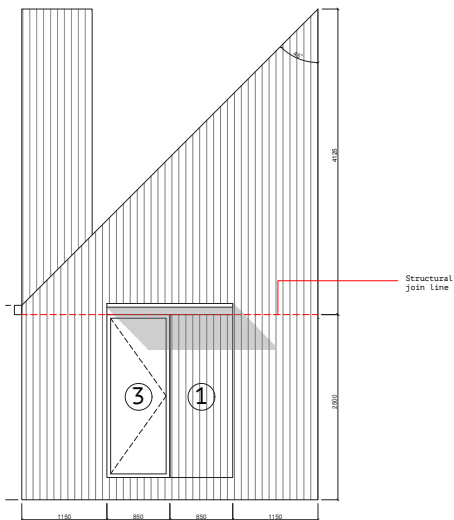
GROUND FLOOR PLAN
1:50



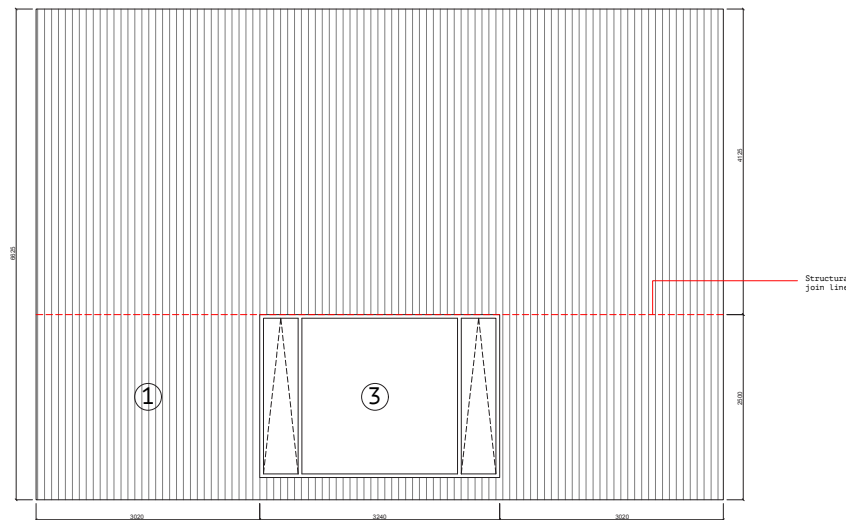
ROOF PLAN
1:50

M
B

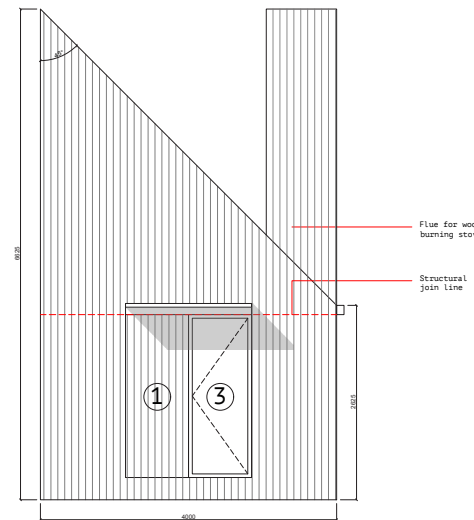
B
M



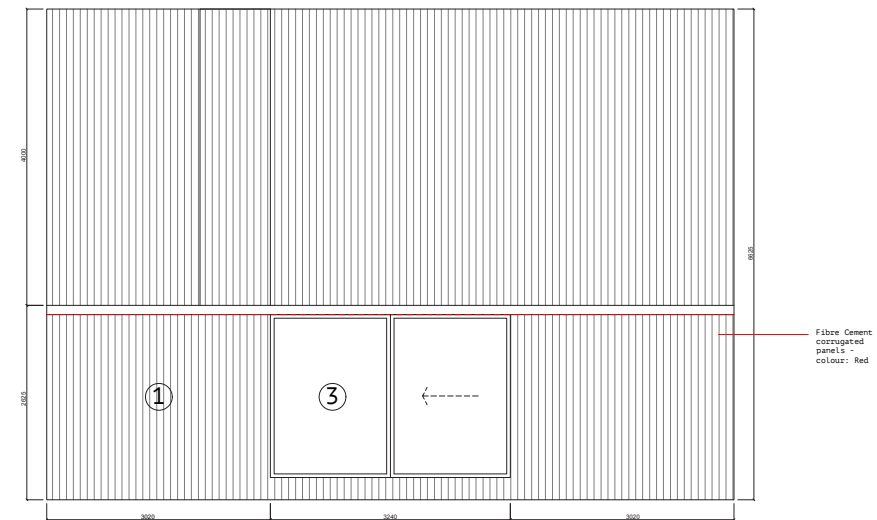
ELEVATION 1
1:50



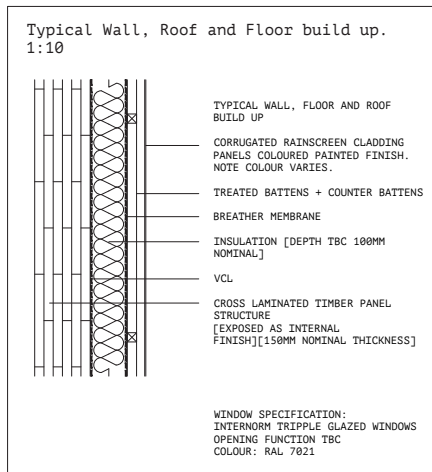
ELEVATION 2
1:50



ELEVATION 3
1:50



ELEVATION 4
1:50




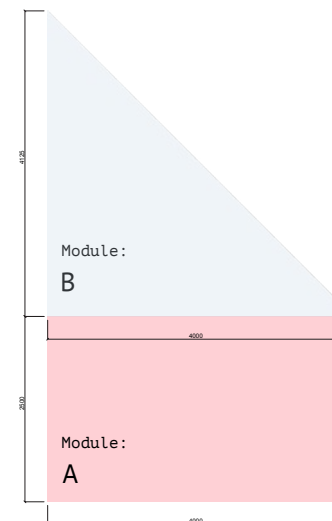
Material Notes

- ① Corrugated Rainscreen Cladding Panels with coloured finish - Refer to L[-]310 for details
- ③ Aluminium clad timber window - colour TBC

Notes:

- Bothy Type G is to be pre-fabricated in two sections and assembled on site - See Module diagram opposite for details
- Junction in cladding and waterproofing between sections TBC with architect and manufacturer

 Bothy Type G
35.5sqm



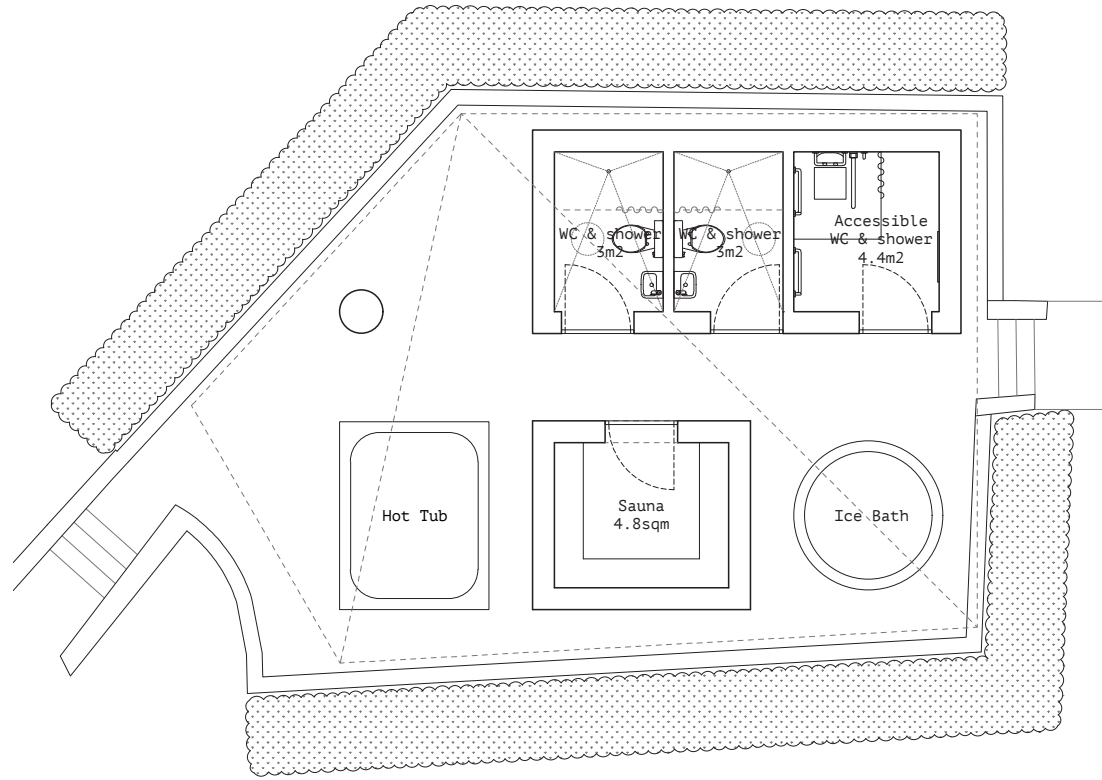
Revision	Description	Date	Check
A	PLANNING	31.03.20	RC

PLANNING

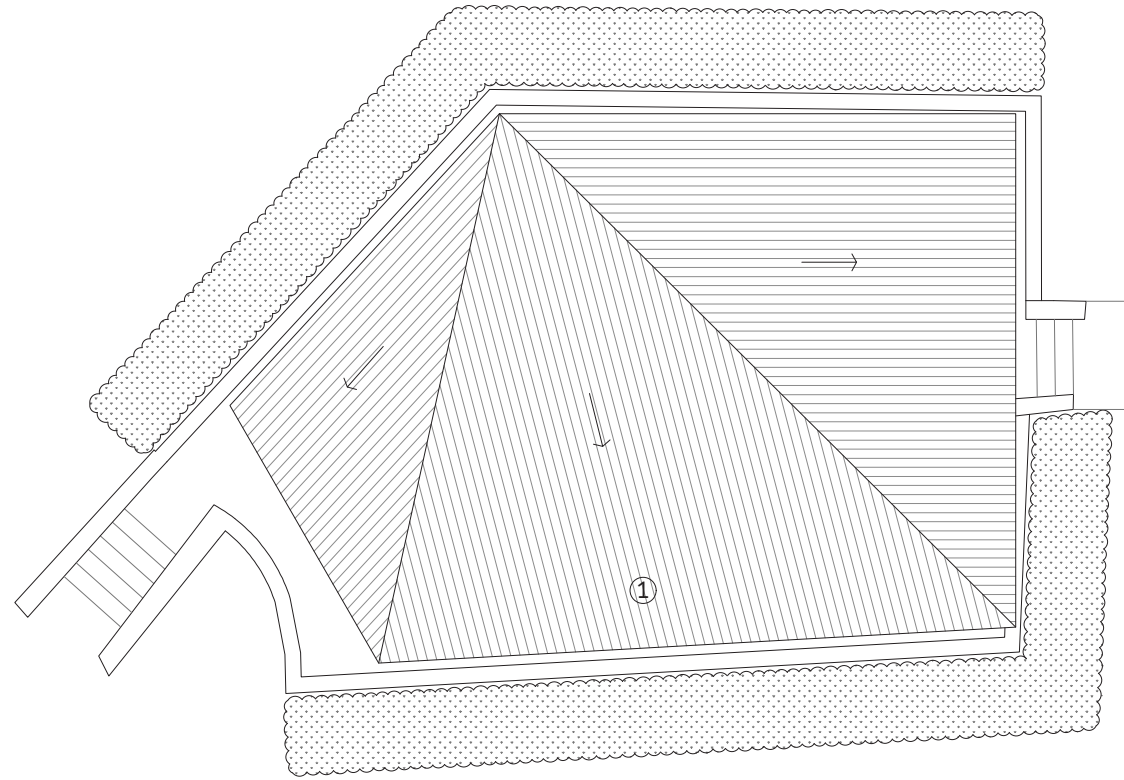
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50 Wellington Street
Glasgow
G2 6HJ
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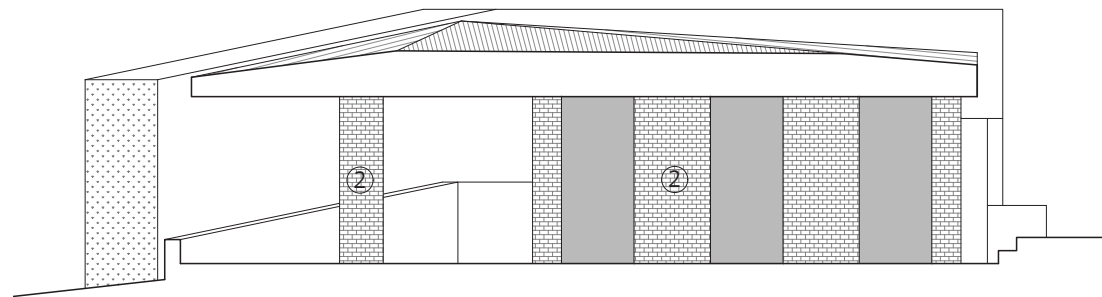
Project	The Red House	Project No.	2018_019
Client	Kenny & Luzleen Neilson	Date	March 2020
Scale / Format	1:50 @ A1	Drawn / Checked	RC/BN
Drawing Name	BOTHY - TYPE G	Drawing No.	L[-]125



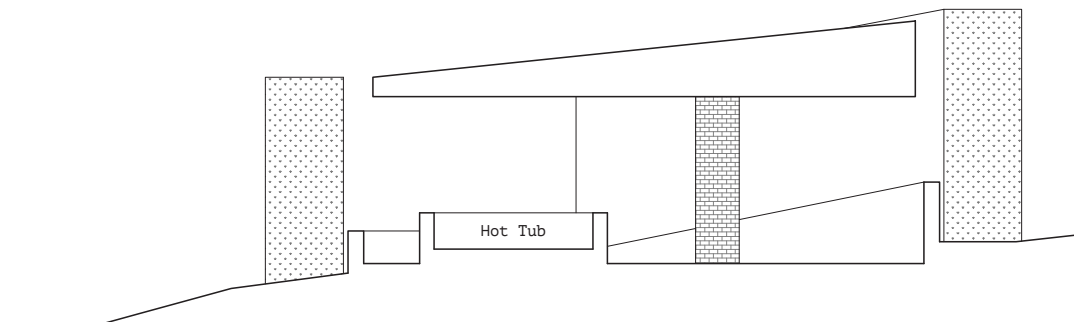
Ground Floor Plan



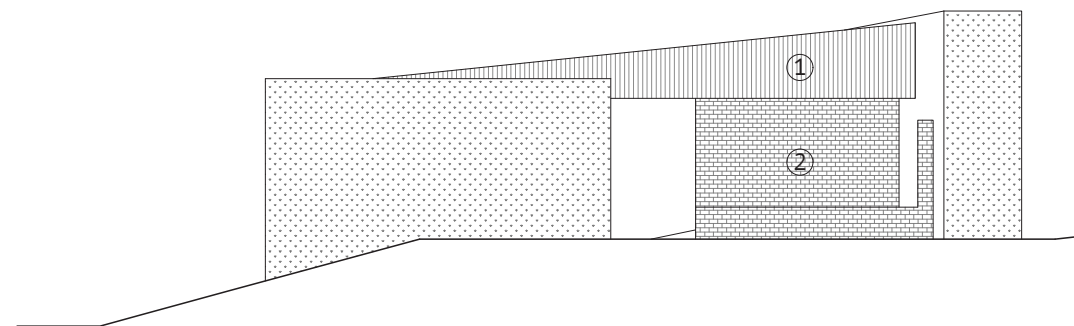
Roof Plan



Section B-B



Section A-A

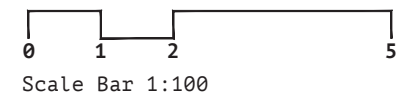


End Elevation

M B
B M

Material Notes

- ① Corrugated Rainscreen Cladding Panels with coloured finish - Refer to L[---]310 for details
- ② White brick with light grey mortar (2.1 - brick painted red to match existing)
- ③ Aluminium clad timber window - colour light grey
- ④ Existing Red painted brick - to be re-painted matte red
- ⑤ Existing slate roof - to be cleaned

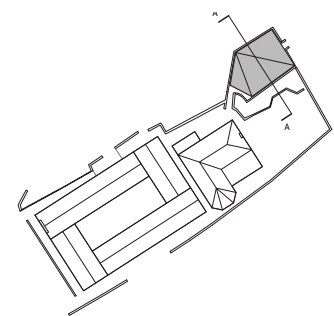


Notes

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- _All dimensions to be checked on site.

Revision	Description	Date	Check
A	PLANNING	31.03.20	RC/BM

PLANNING

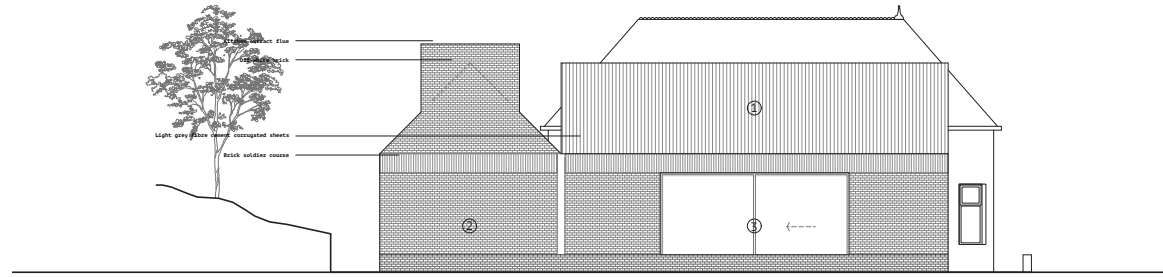


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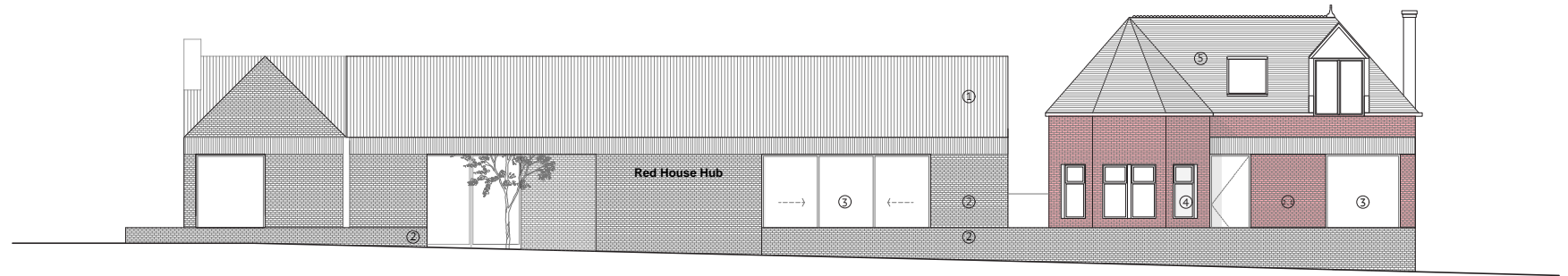
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Glasgow
G2 6HJ

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mcginlaybell.com

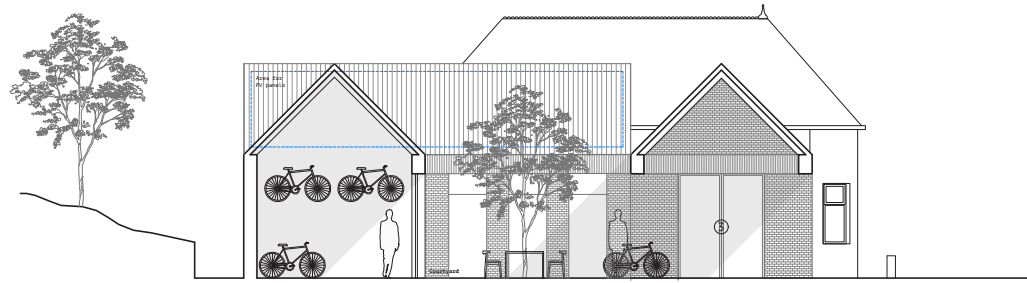
Project	The Red House	Project No.	2018_019
Client	Kenny & Lurleen Neilson		
Date	March 2020	Scale / Format	1:100 @ A3
Drawn / Checked	RC / BM	Drawing Name	WASH-BLOCK DRAWINGS AS PROPOSED
Drawing No.	L[---]150		



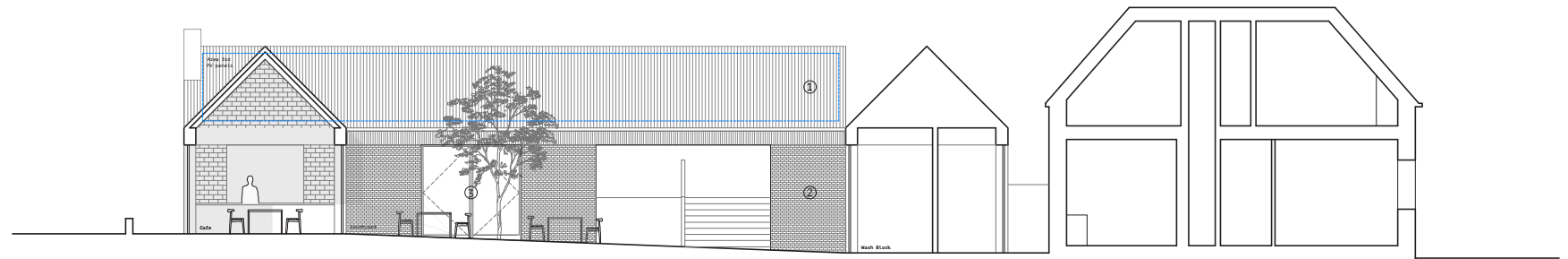
Side Elevation
1:200



Front Elevation
1:200

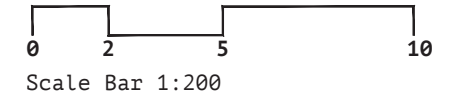


Section B-B
1:200



Section A-A
1:200

- ① Corrugated Rainscreen Cladding Panels with coloured finish - Refer to L[--]310 for details
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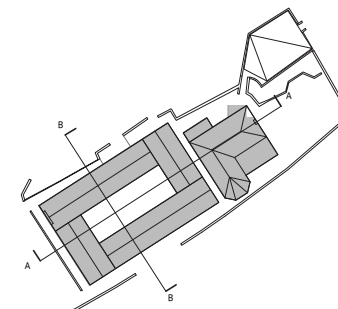
Revision	Description	Date
C	PLANNING	31
B	FEASIBILITY	15
A	FEASIBILITY	22

M

B

B

M



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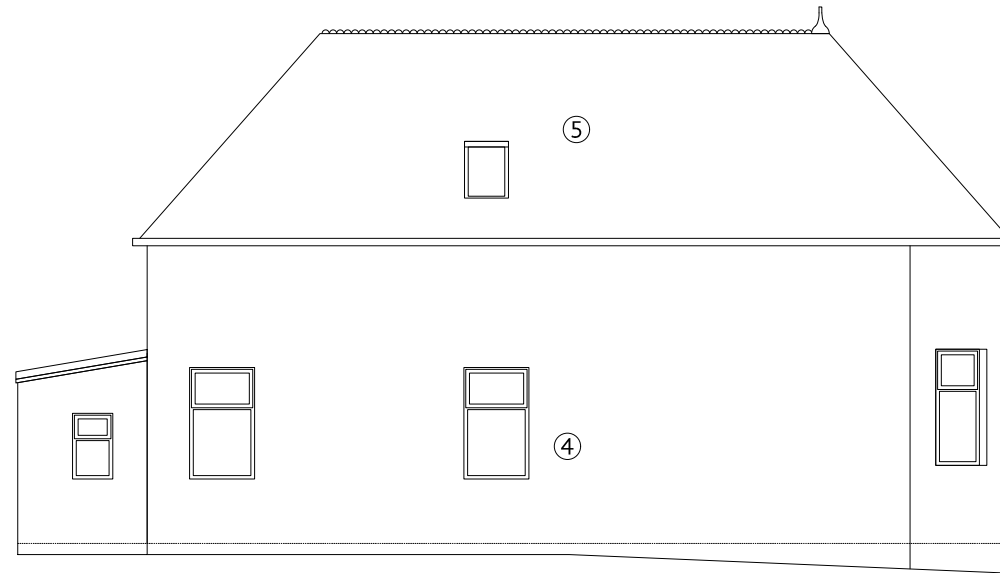
Project	The Red House	
Client	Kenny & Lurleen Neison	
Date		
Scale / Format		
Drawn / Checked		
Drawing Name	CYCLE HUB ELEVATIONS	

M B

B M



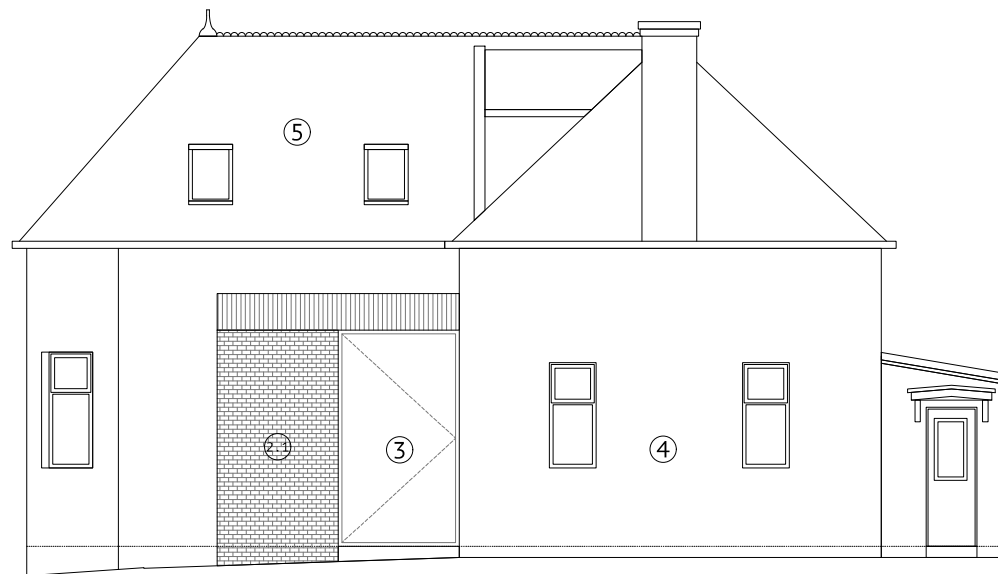
SOUTH ELEVATION
AS EXISTING



WEST ELEVATION
AS EXISTING



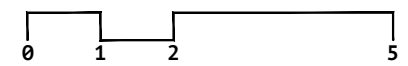
NORTH ELEVATION
AS EXISTING



EAST ELEVATION
AS EXISTING

Material Notes

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- ⑤ Existing slate roof - to be cleaned



Scale Bar 1:100

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Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM

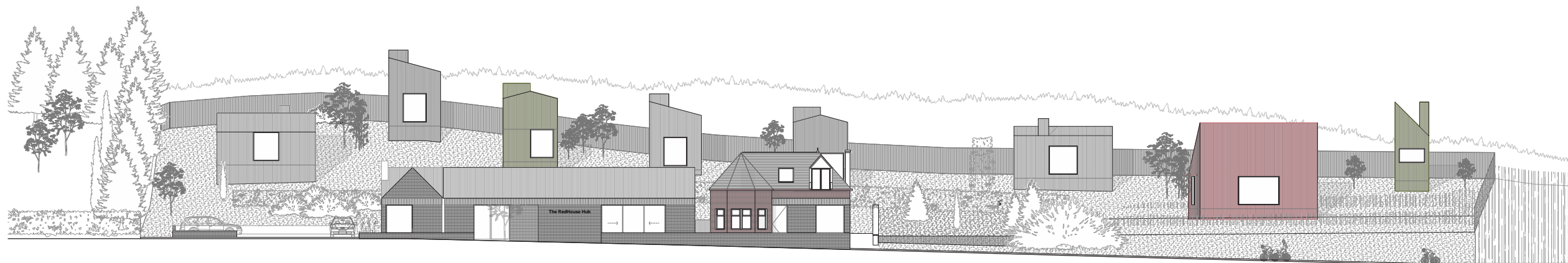
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Project	Project No.
The Red House	2018_019
Client	
Kenny & Lurleen Neison	
Date	March 2020
Scale / Format	1:100 @ A3
Drawn / Checked	RC / BM
Drawing Name	ELEVATIONS AS PROPOSED
Drawing No.	L[--]300

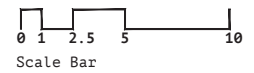


Bothy Cladding Key:

-  Grey Rainscreen Cladding
-  Dark Grey Rainscreen Cladding
-  Green Rainscreen Cladding
-  Red Rainscreen Cladding

NOTE:

All foundations and underbuild to Bothies TBC with Structural Engineer
 All wall build ups and details are indicative at this stage. TBC
 Ground slope shown is indicative. Exact slope beneath each Bothy and Floor levels TBC



Notes
 Do not scale from drawings.
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 To be used in conjunction with all relevant Architects' Services & Structural Engineers' drawings.
 All existing site, trees and building information has been compiled from different sources.
 All dimensions to be checked on site.

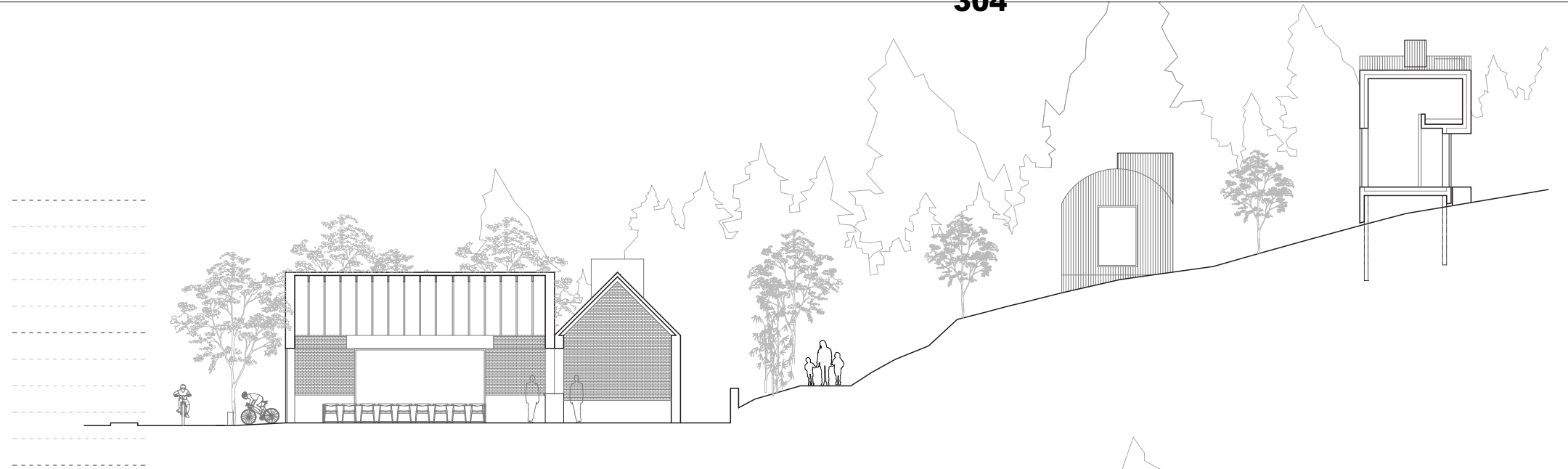
Revision	Description	Date	Check
A	PLANNING	31.03.20	AK/BN

PLANNING

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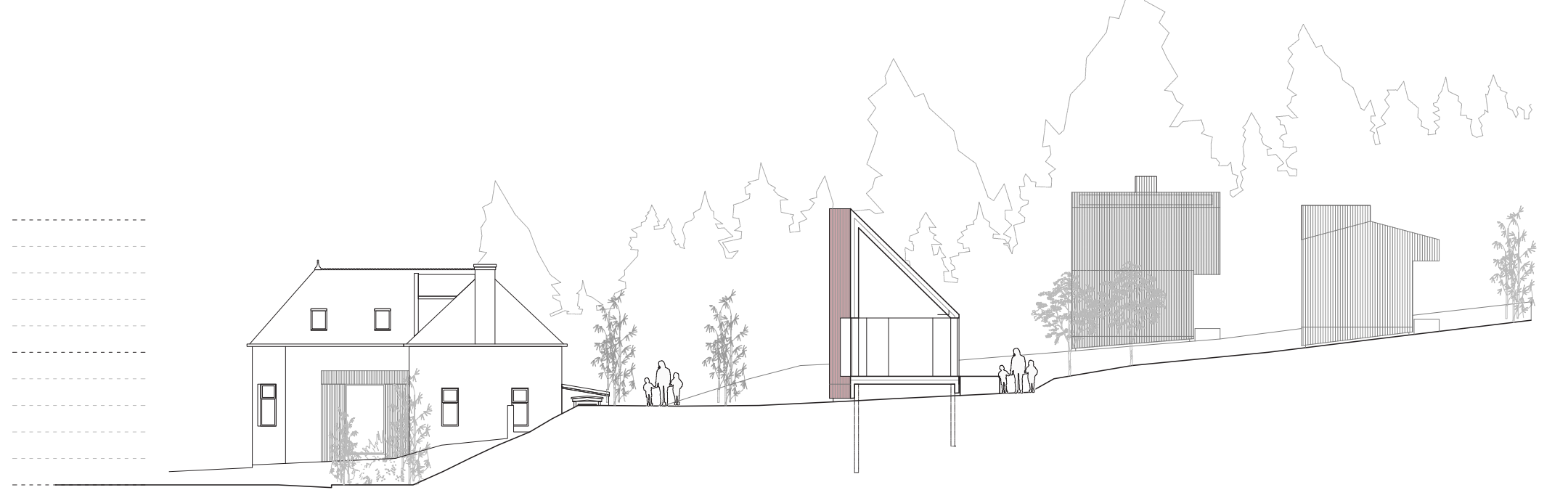
Project: **The Red House** 2018_019
 Client: **Kenny & Lurleen Neilson**
 Date: FEBRUARY 2020
 Scale / Format: 1:250 @ A2
 Drawn / Checked: AK/BN
 Drawing Name: ELEVATION AS PROPOSED
 Drawing No: L(-)-310



CROSS SECTION C-C

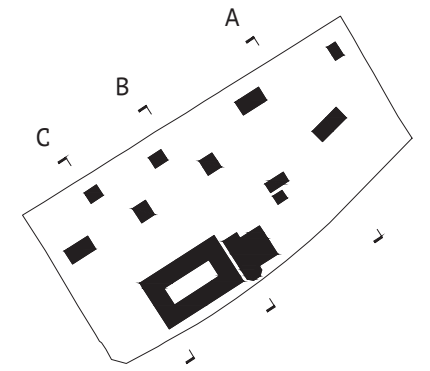


CROSS SECTION B-B

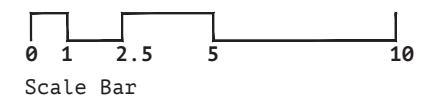


CROSS SECTION A-A

M B
B M



NOTE:
 All foundations and underbuild to Bothies TBC with Structural Engineer
 All wall build ups and details are indicative at this stage. TBC
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Notes

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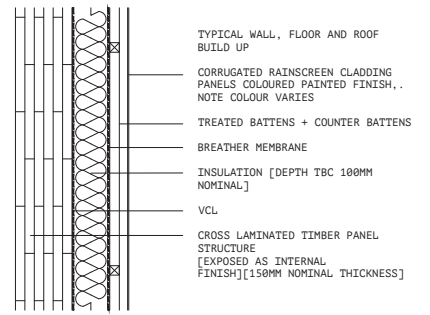
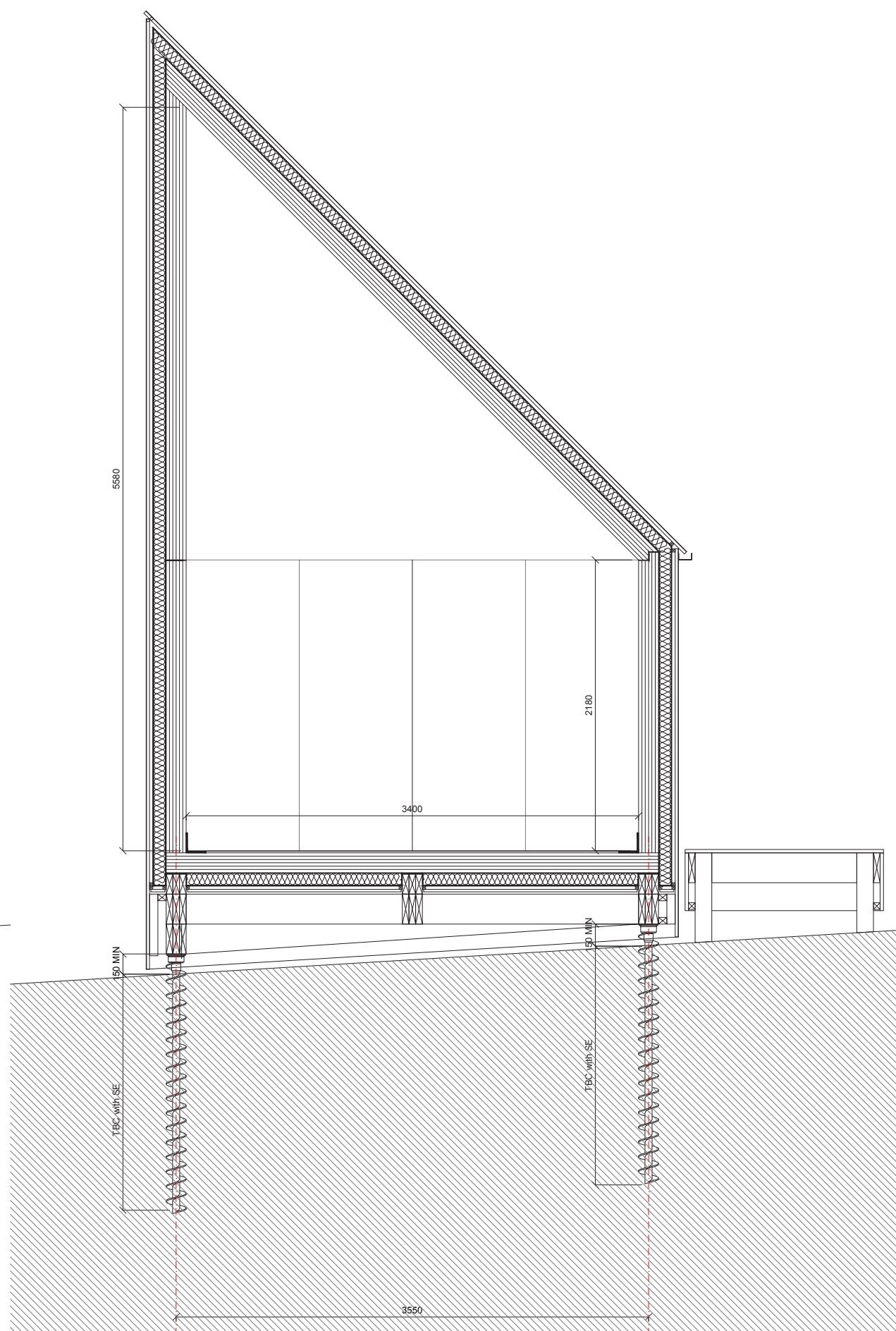
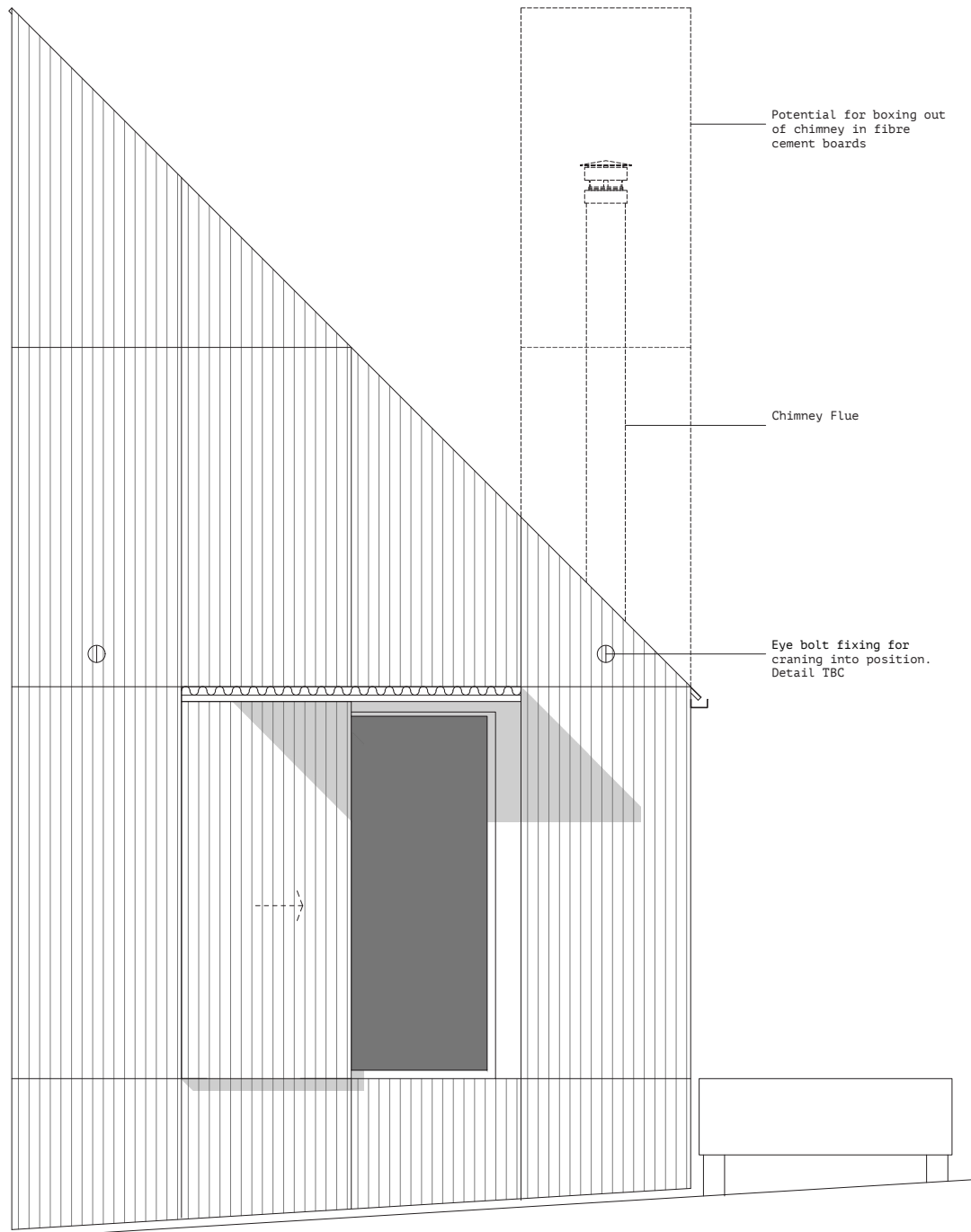
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C	PLANNING	31.03.20	AR/BM
B	BOTHY FEASIBILITY	15.10.19	RC
A	Feasibility Issue	17.01.19	AR/BM

PLANNING

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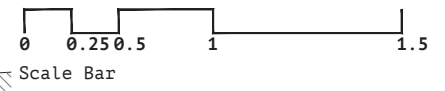
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Project	The Red House	Project No.	2018_019
Client	Kenny & Luzleen Neilson		
Date			November 2018
Scale / Format			1:200 @ A3
Drawn / Checked			RC / BM
Drawing Name	SITE SECTION AS PROPOSED	Drawing No.	L[- -]350



WINDOW SPECIFICATION:
 INTERNORM TRIPPLE GLAZED WINDOWS
 OPENING FUNCTION TBC
 COLOUR: TBC

NOTE:
 All foundations and underbuild to Bothies TBC with Structural Engineer
 All wall build ups and details are indicative at this stage. TBC
 Ground slope shown is indicative. Exact slope beneath each Bothy and Floor levels T



Revision	Description	Date	C
B	PLANNING	31.03.20	f
A	INFORMATION	31.03.20	B

PLANNING

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Project: **The Red House** 2018_0
 Client: **Kenny & Lurleen Neison**
 Date: JANUARY
 Scale / Format: 1:20
 Drawn / Checked: f
 Drawing Name: **BOTHY - TYPE 6 TECHNICAL SECTION A(-)**
 Drawn: f

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G2 6HF

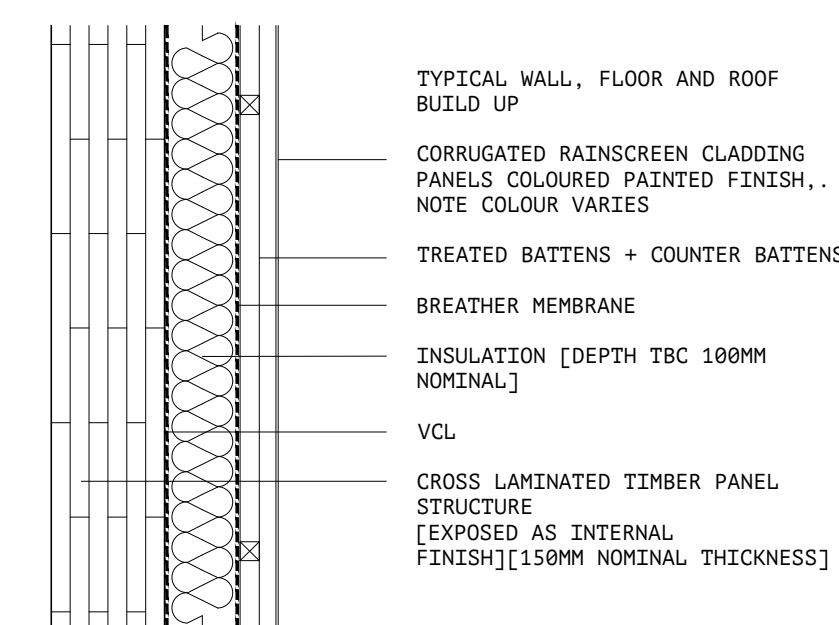
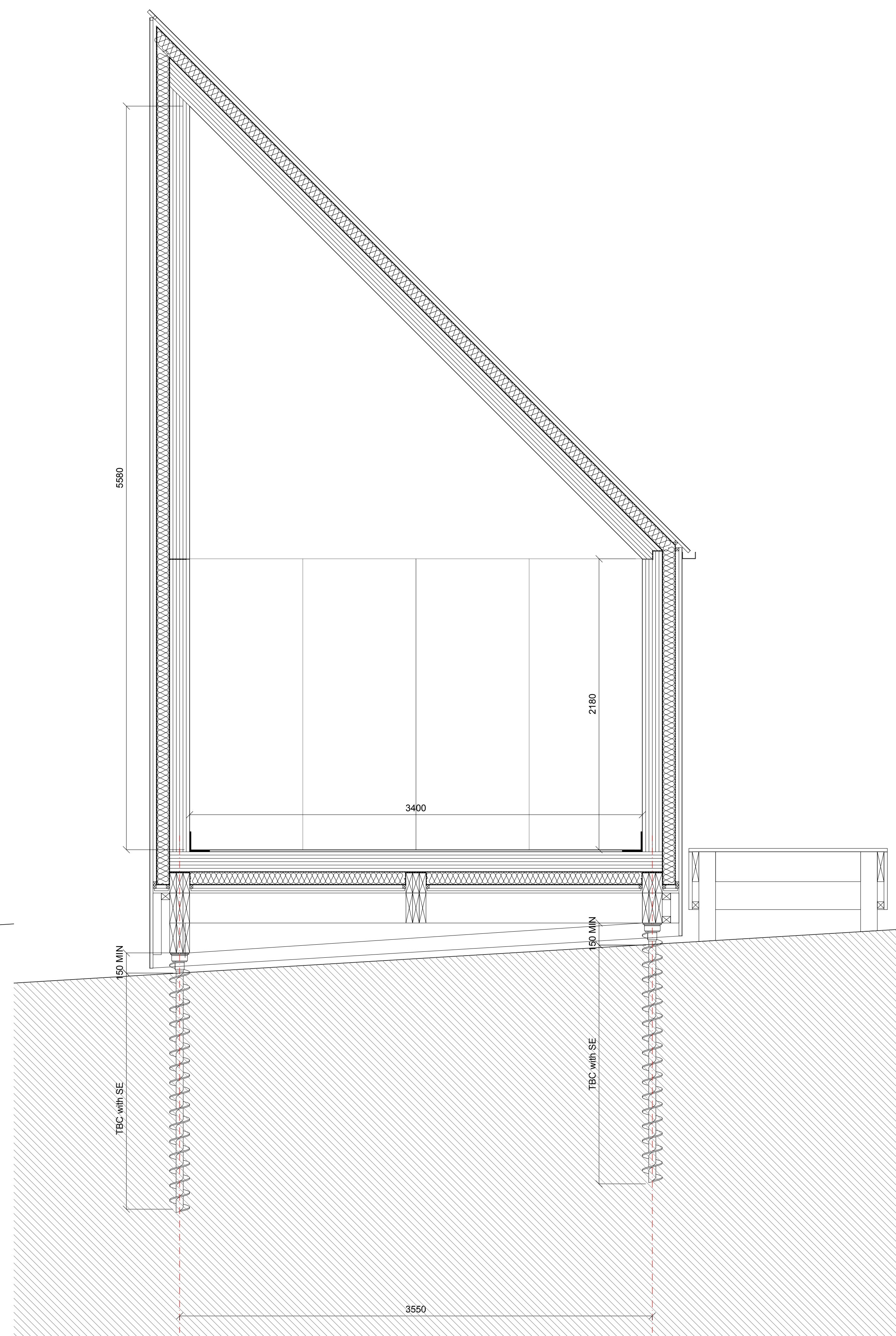
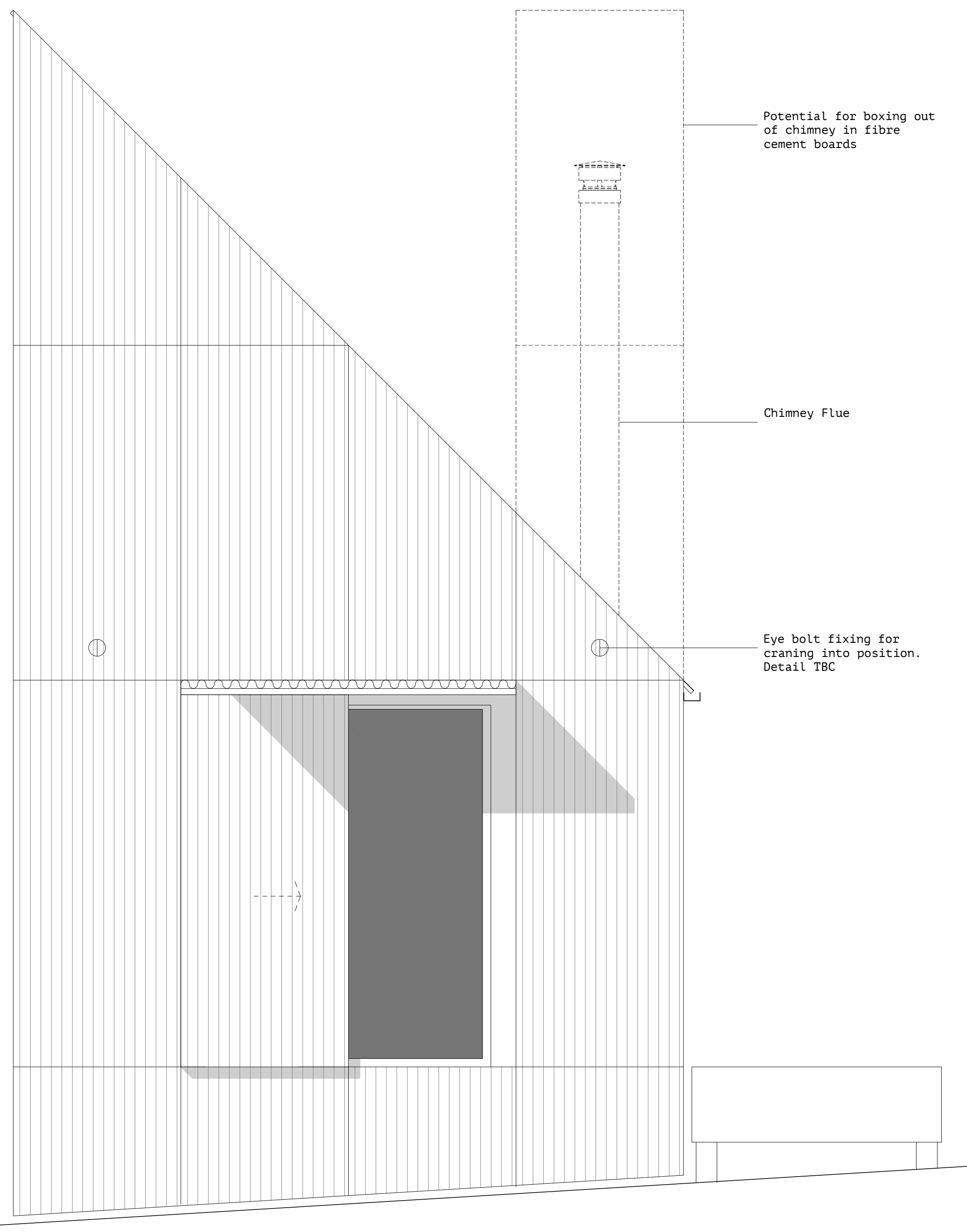
www.mcginlaybell.com

+44(0)141 202 0687

Company No. SC521047

M B

B M



TYPICAL WALL, FLOOR AND ROOF BUILD UP

CORRUGATED RAINSCREEN CLADDING PANELS COLOURED PAINTED FINISH, NOTE COLOUR VARIES

TREATED BATTENS + COUNTER BATTENS

BREATHER MEMBRANE

INSULATION [DEPTH TBC 100MM NOMINAL]

VCL

CROSS LAMINATED TIMBER PANEL STRUCTURE [EXPOSED AS INTERNAL FINISH][150MM NOMINAL THICKNESS]

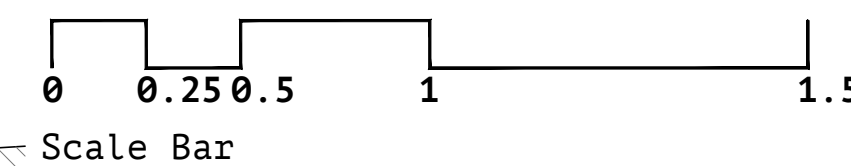
WINDOW SPECIFICATION:
 INTERIOR TRIPPLE GLAZED WINDOWS
 OPENING FUNCTION TBC
 COLOUR: TBC

NOTE:

All foundations and underbuild to Bothies TBC with Structural Engineer

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Revision	Description	Date	Check
B	PLANNING	31.01.20	AR
A	INFORMATION	31.01.20	RC

PLANNING

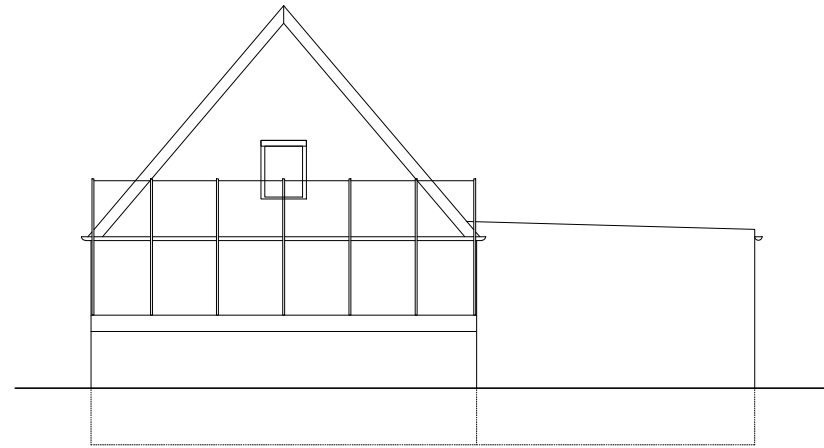
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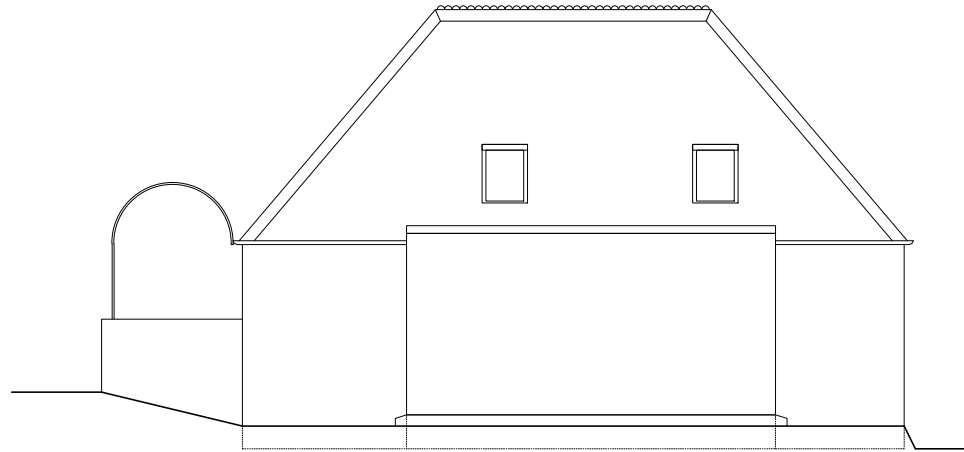
Project	The Red House	Project No.	2018_019
Client	Kenny & Luzleen Neilson	Date	JANUARY 2020
Scale / Format	1:20 @ A1	Drawn / Checked	RC/BH
Drawing Name	BOTHY - TYPE 6 TECHNICAL SECTION	Drawing NB.	A(-)-128

M B

B M



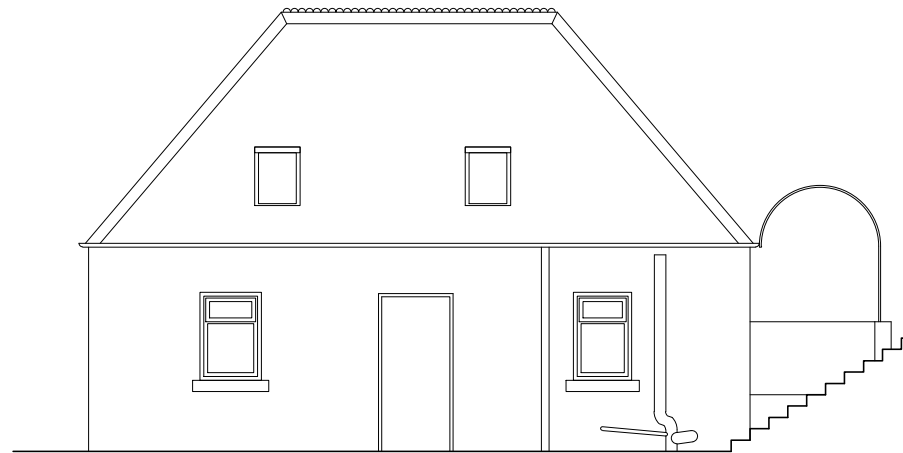
NORTH ELEVATION
AS EXISTING



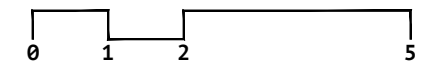
WEST ELEVATION
AS EXISTING



SOUTH ELEVATION
AS EXISTING



EAST ELEVATION
AS EXISTING



Scale Bar 1:100

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Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM

PLANNING

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Project	The Red House	Project No.	2018_019
Client	Kenny & Lurleen Neison		
Date		Date	March 2020
Scale / Format		Scale / Format	1:100 @ A3
Drawn / Checked		Drawn / Checked	RC / BM
Drawing Name	CLAN HOUSE ELEVATIONS AS EXISTING		
Drawing No.	L(EX)301		

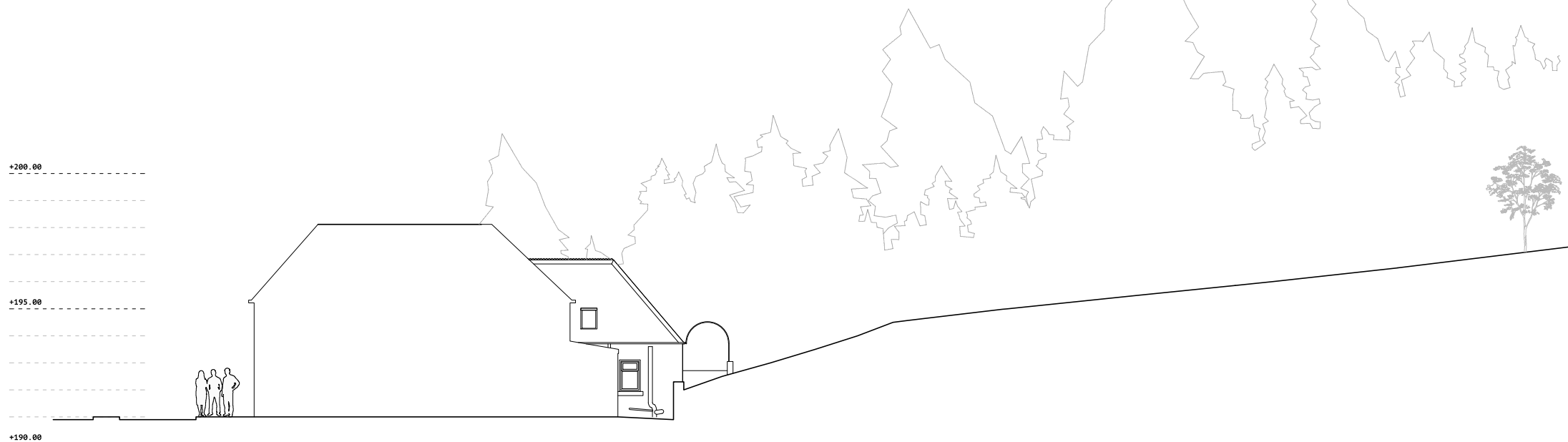
309

M B

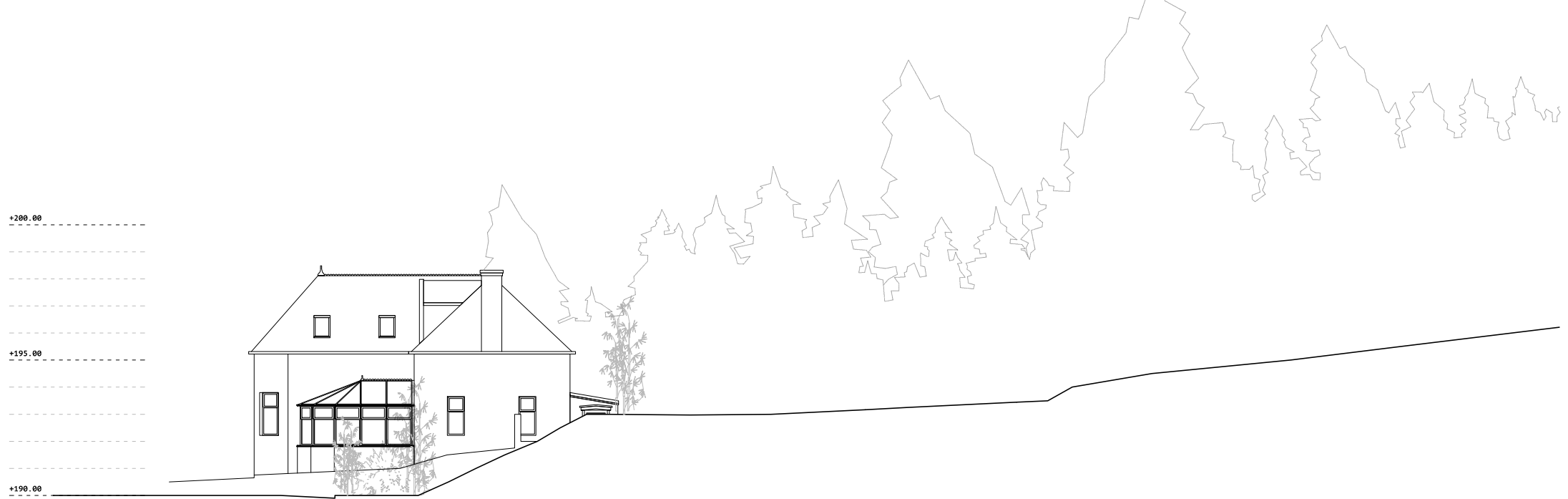
B M



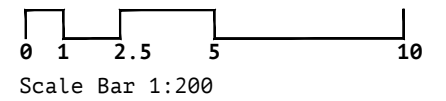
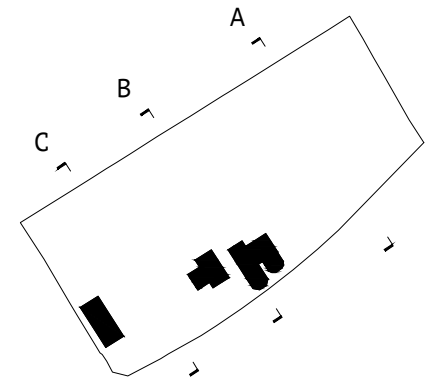
CROSS SECTION C-C



CROSS SECTION B-B



CROSS SECTION A-A



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Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM

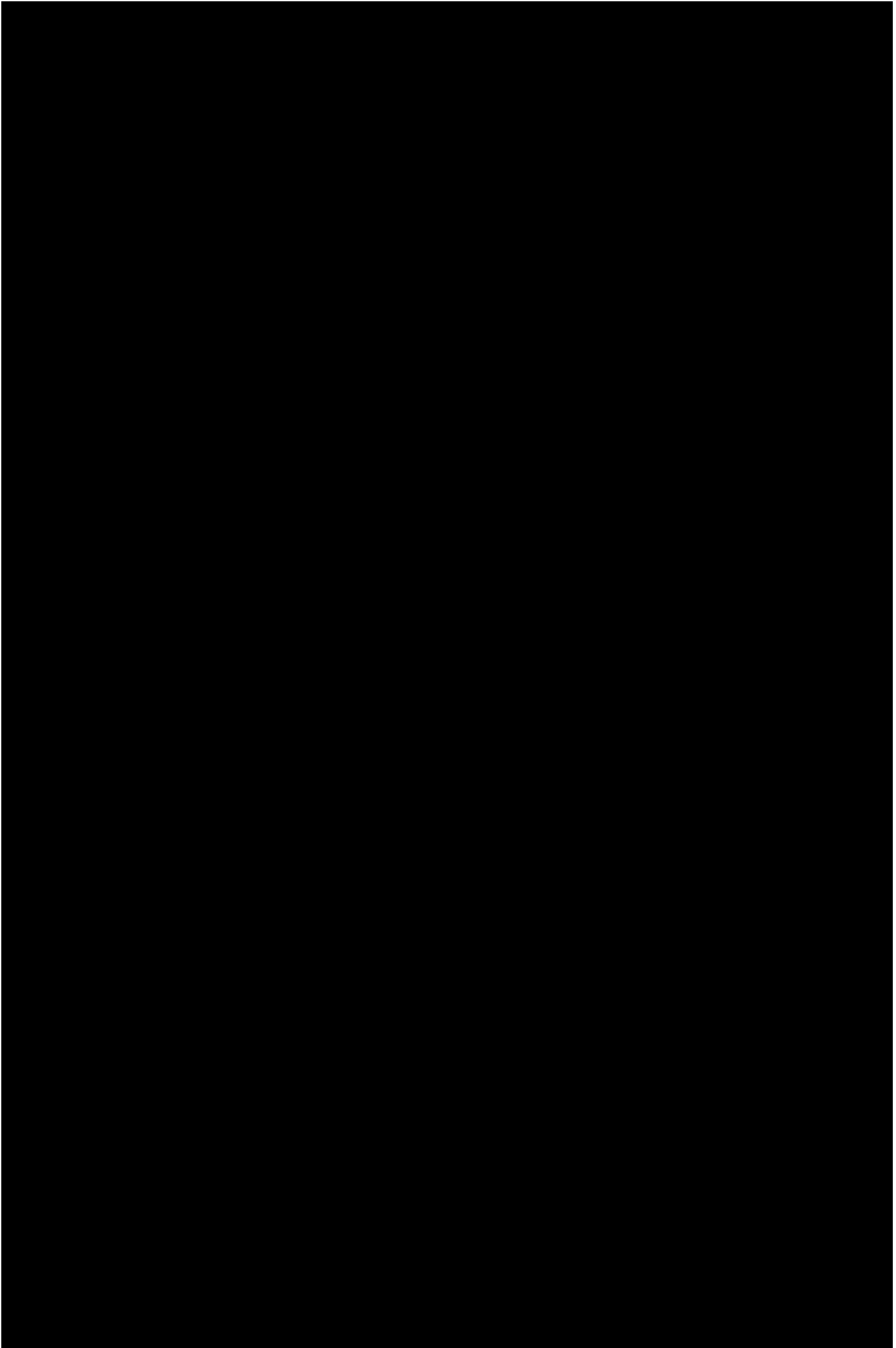
PLANNING

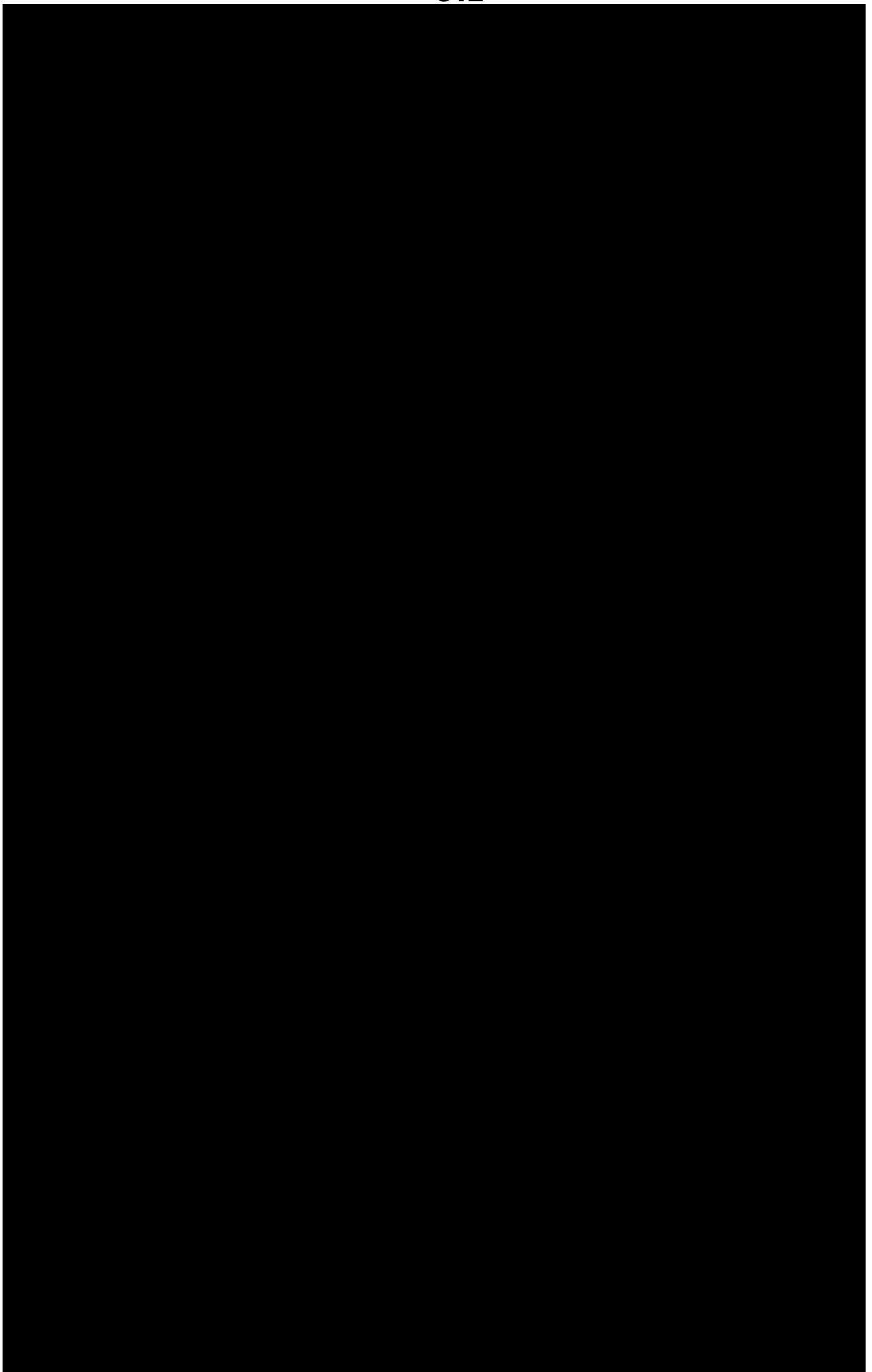
McGinlay Bell

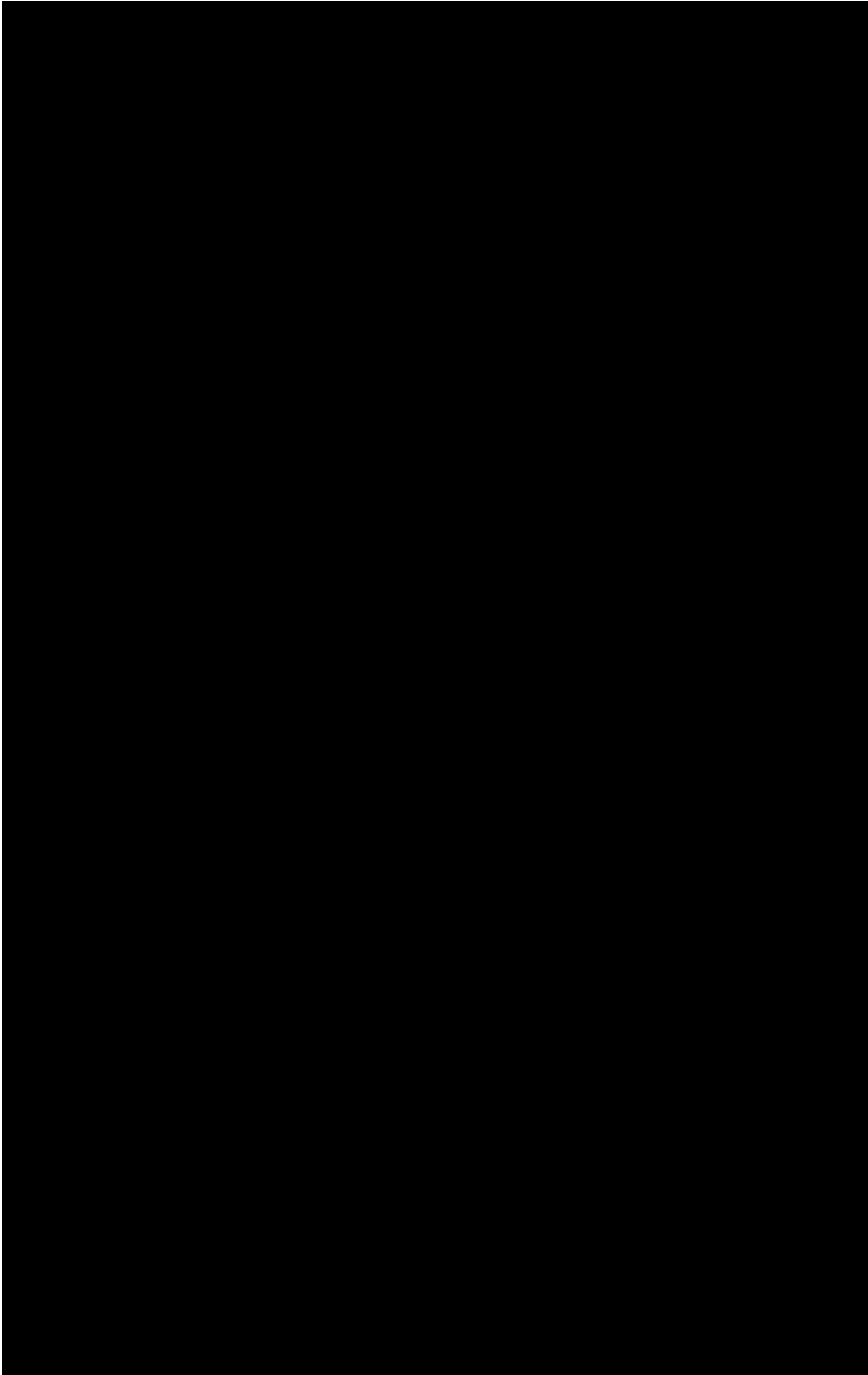
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 Glasgow
 G2 6HJ
 info @
 mcginlaybell.com

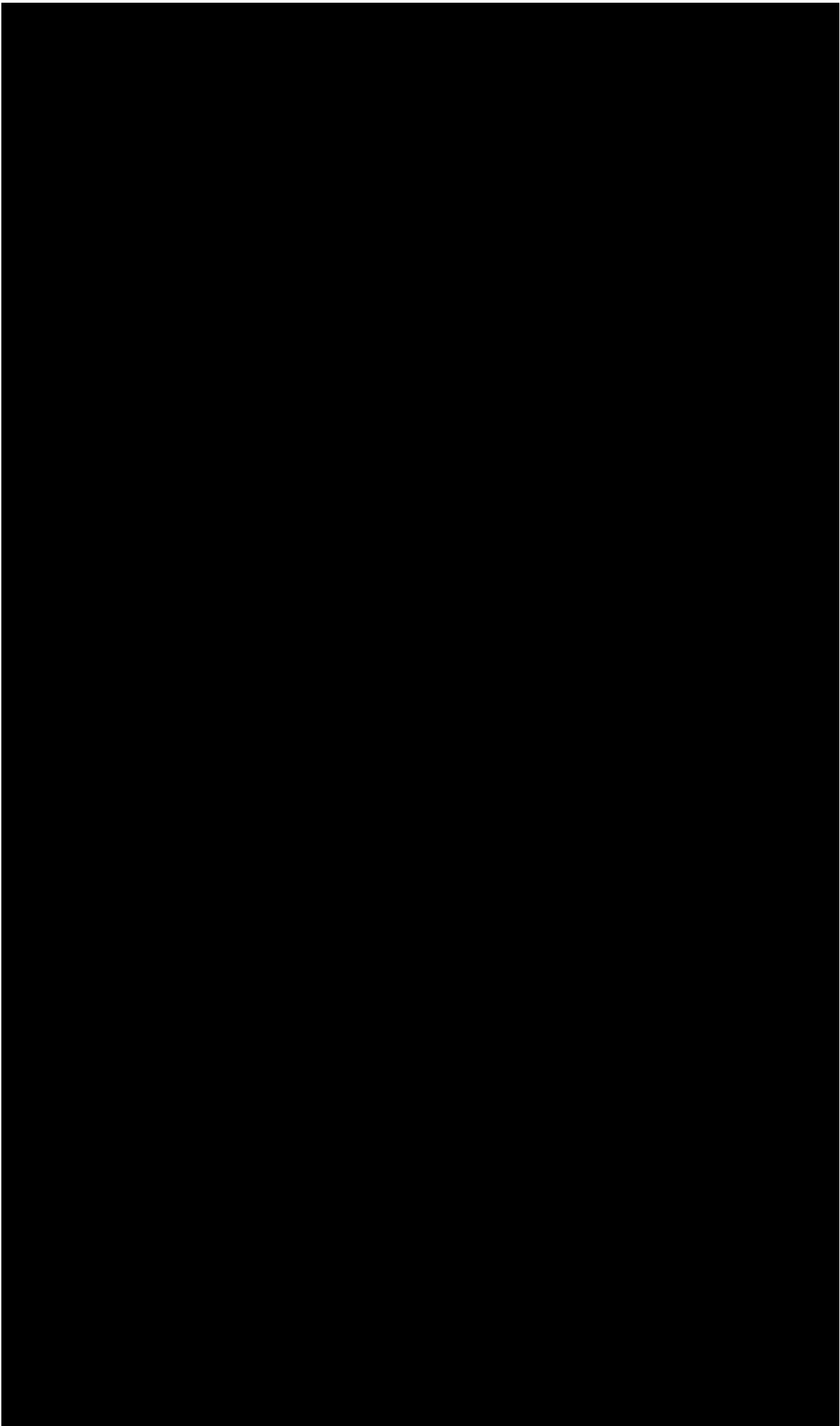
Project	Project No.
The Red House	2018_019
Client	Kenny & Lurleen Neison
Date	March 2020
Scale / Format	1:200 @ A3
Drawn / Checked	RC / BM
Drawing Name	SITE SECTION AS EXISTING
Drawing NO.	L(EX)350

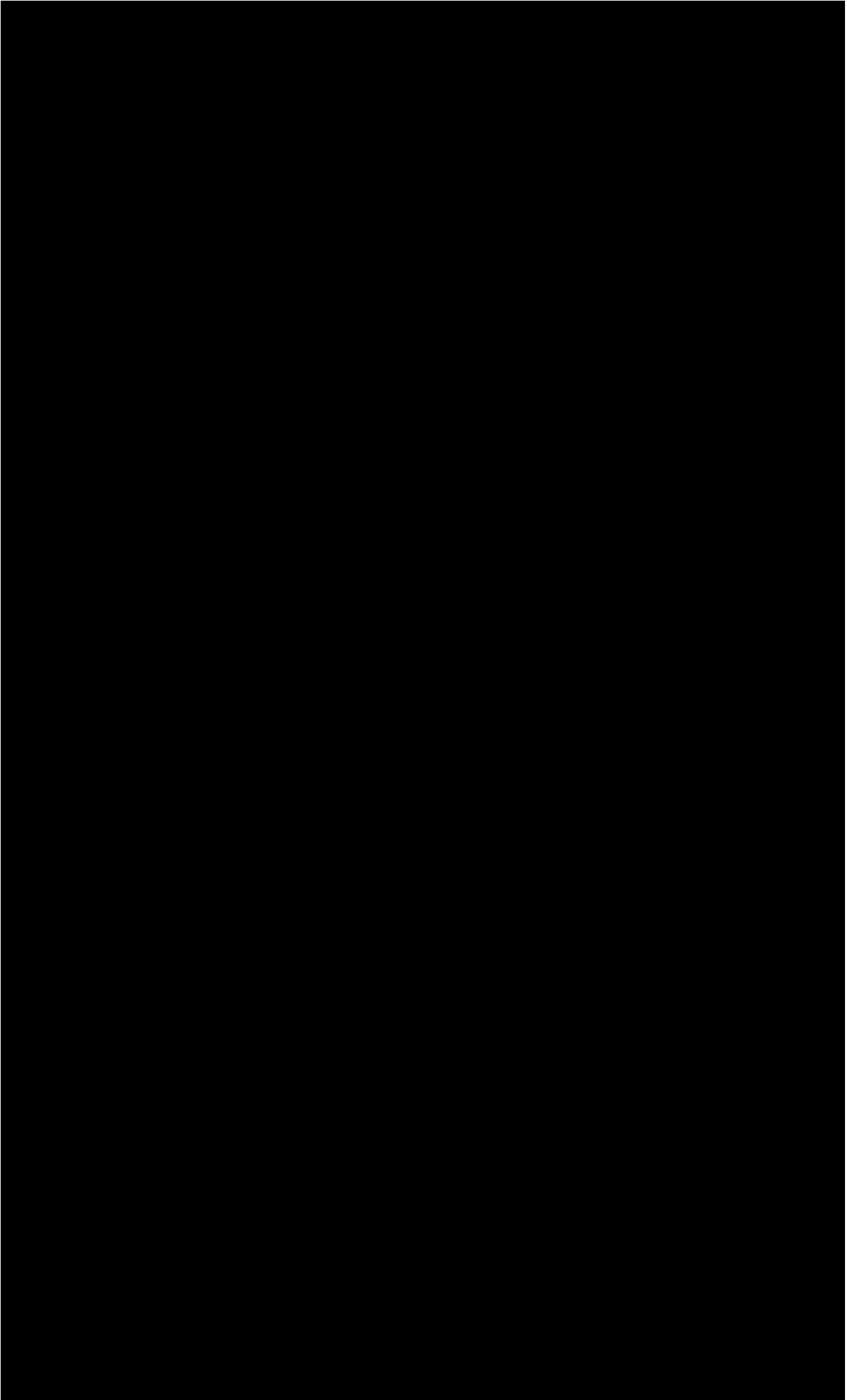
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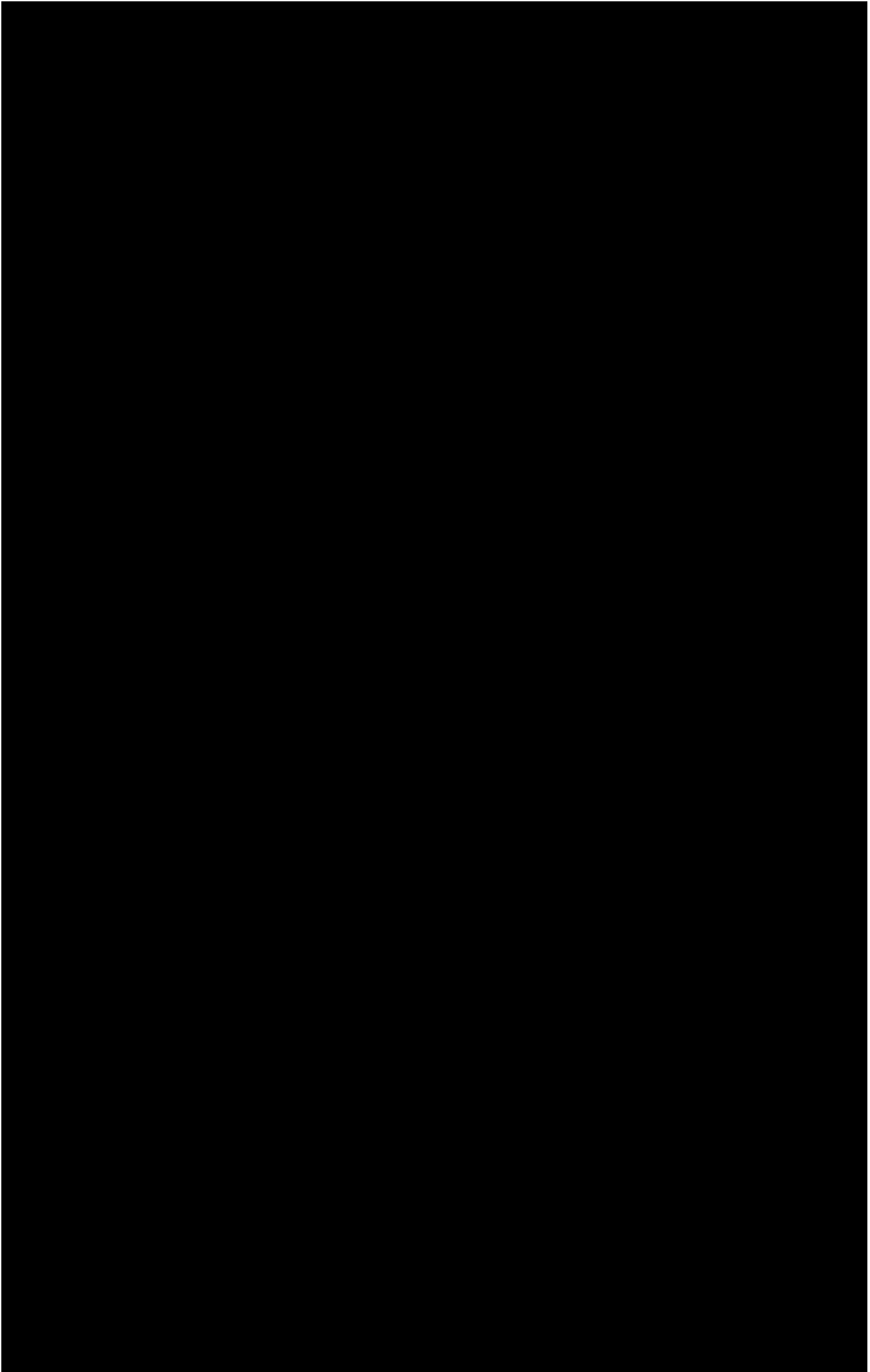


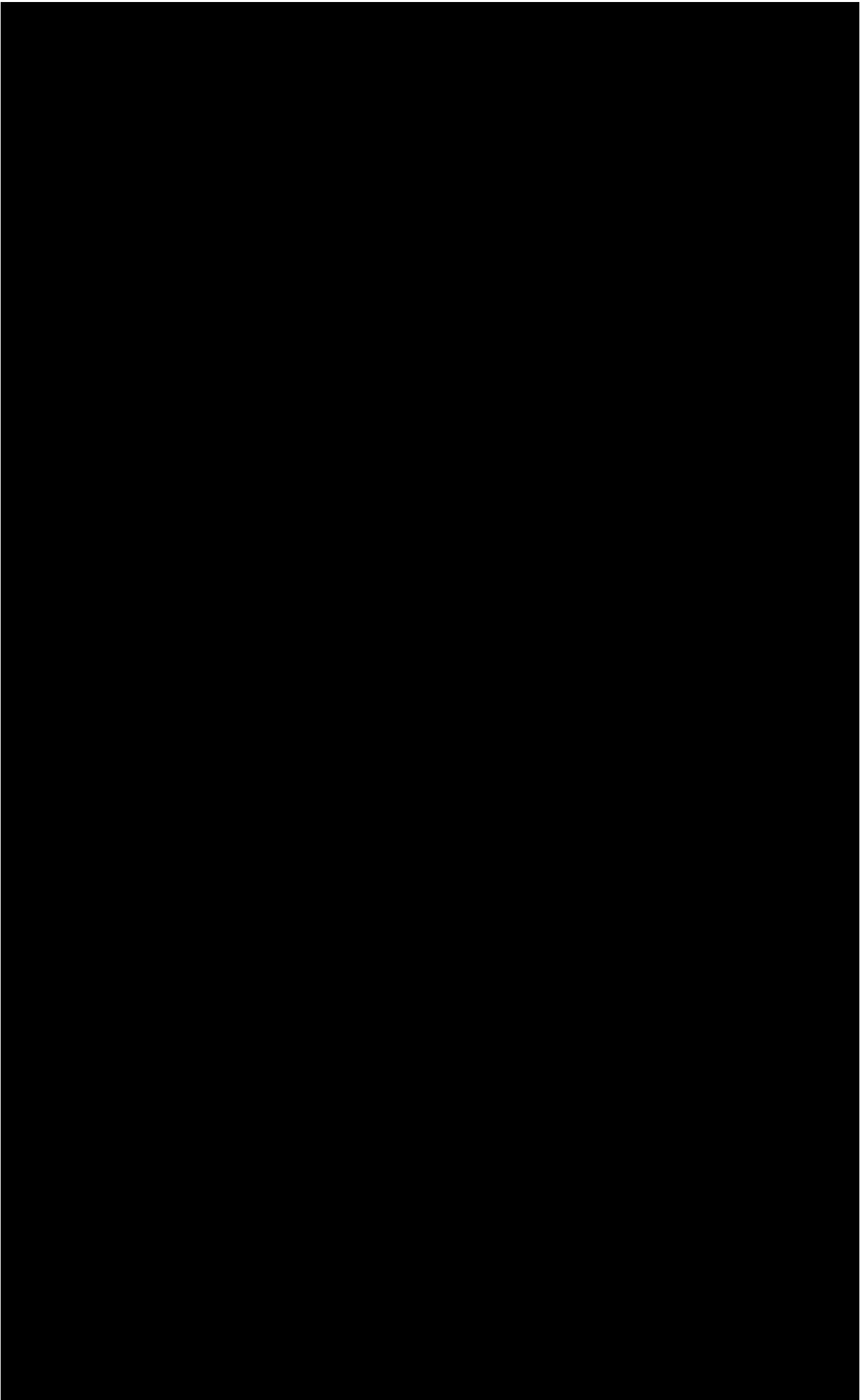


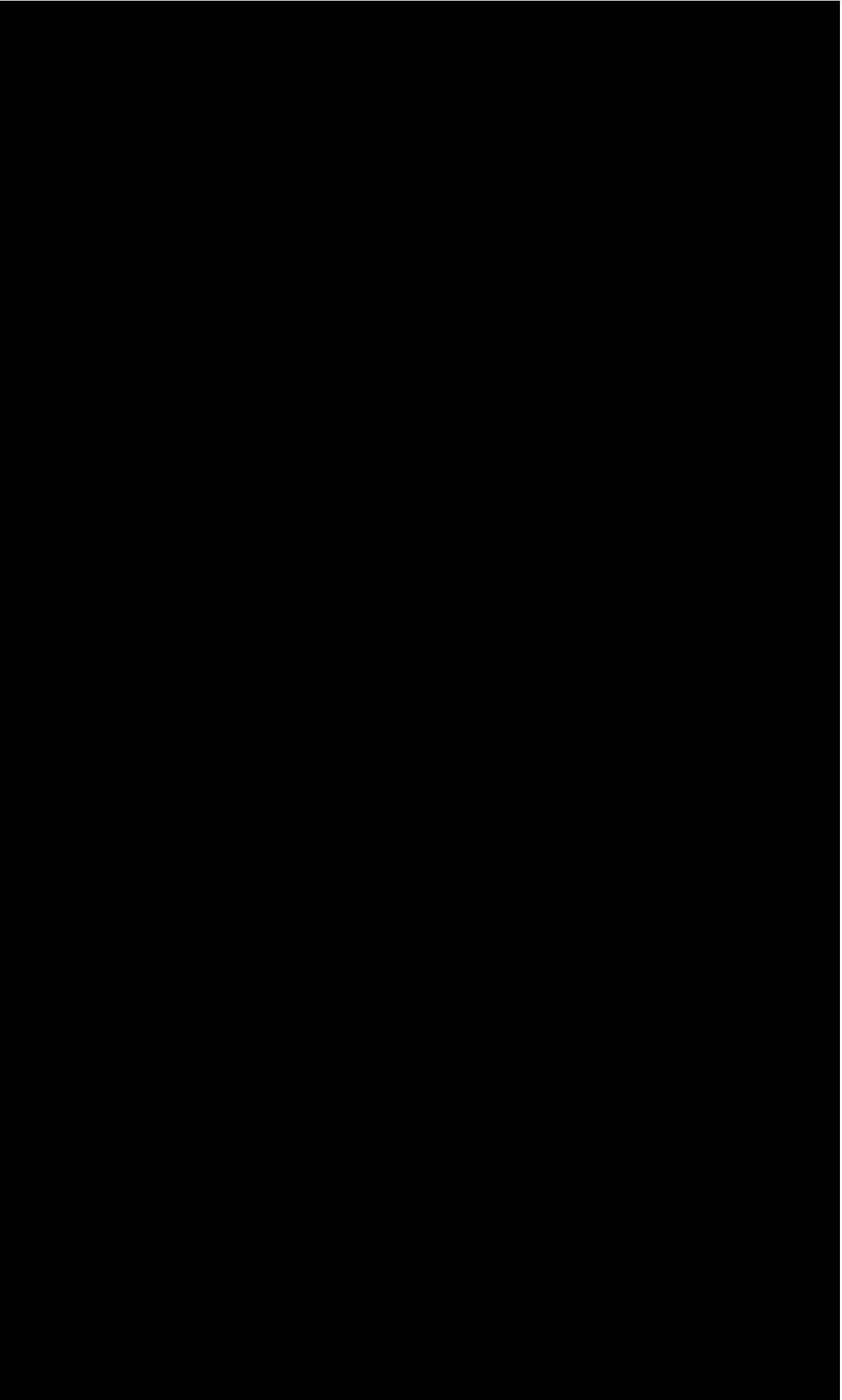


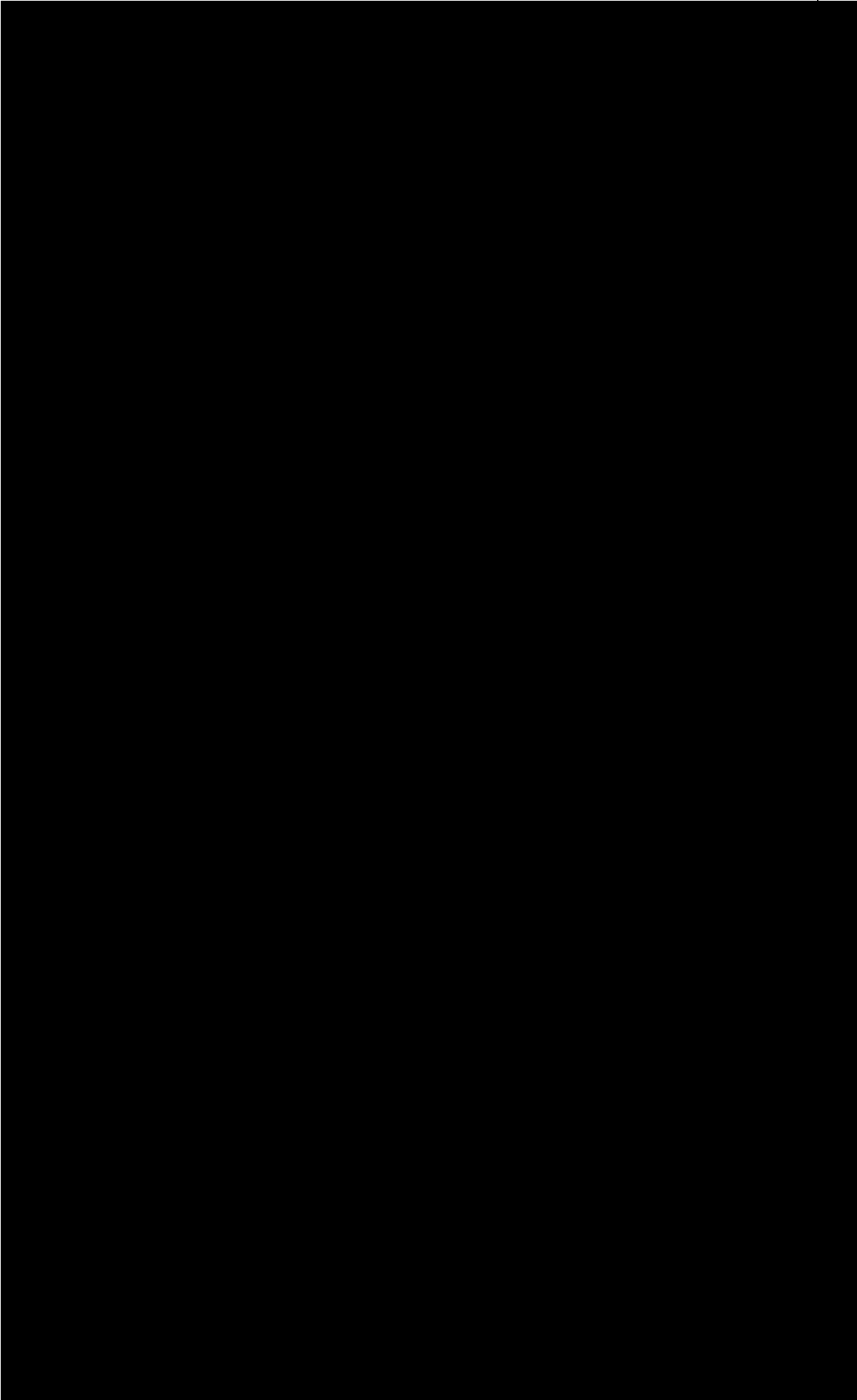


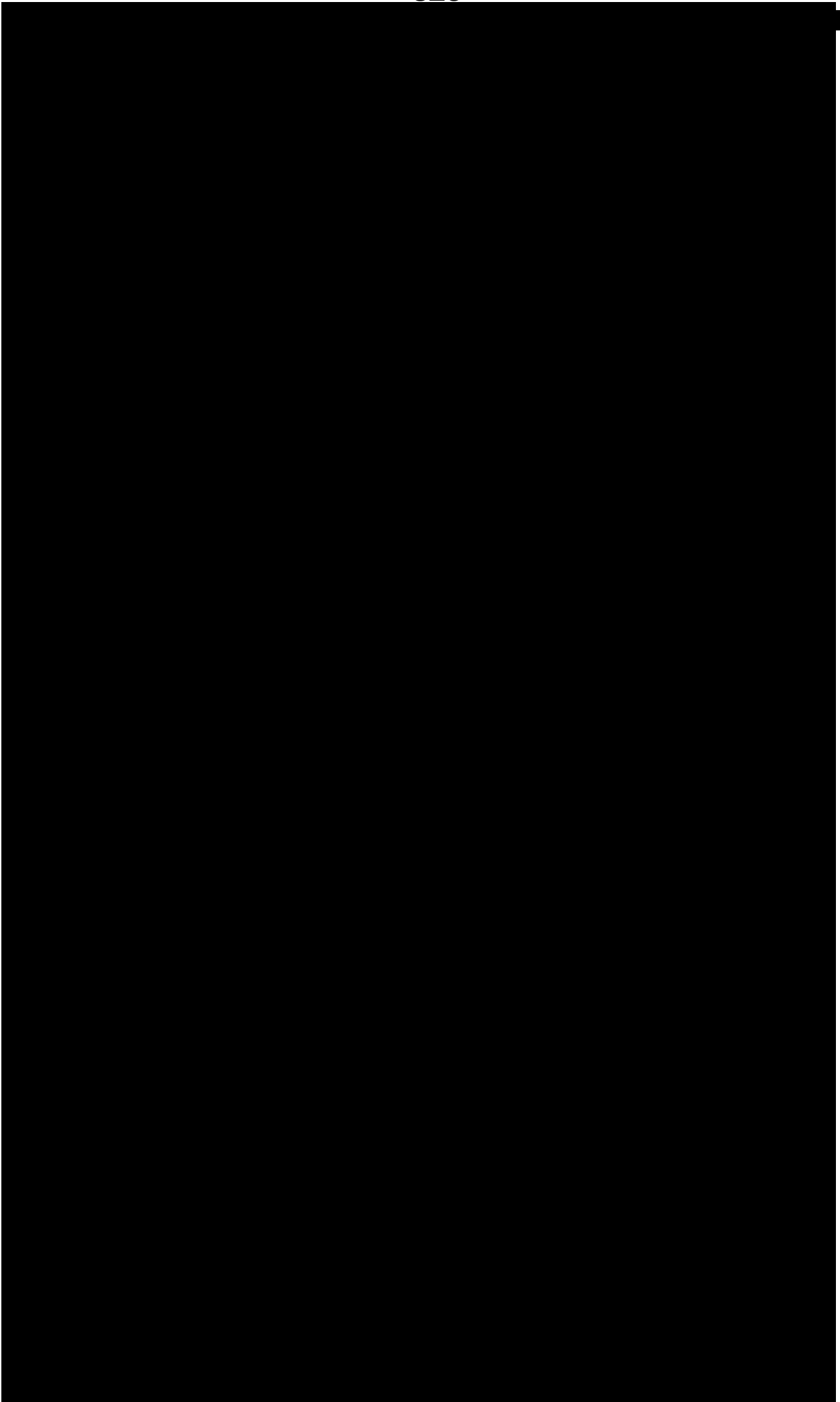


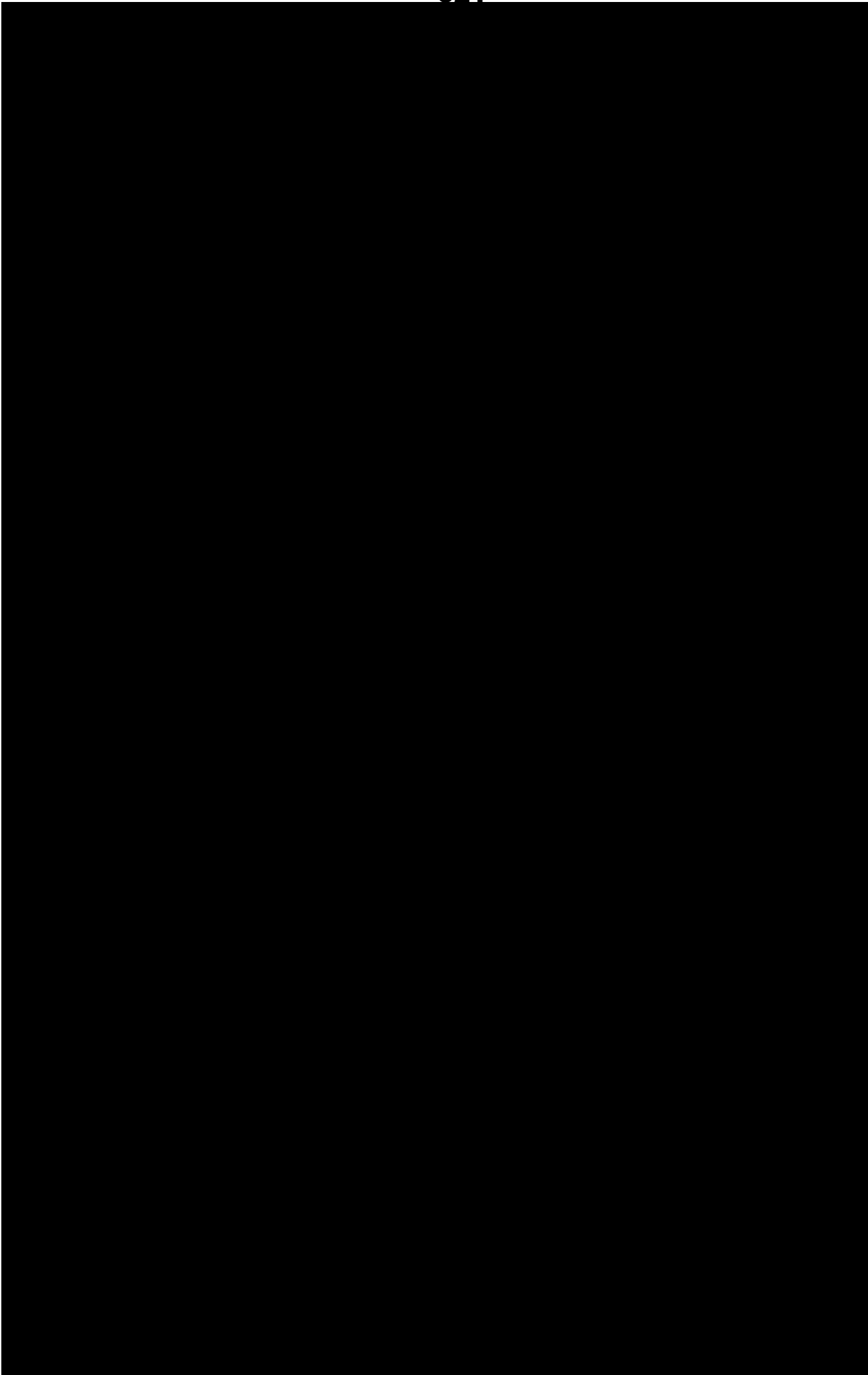


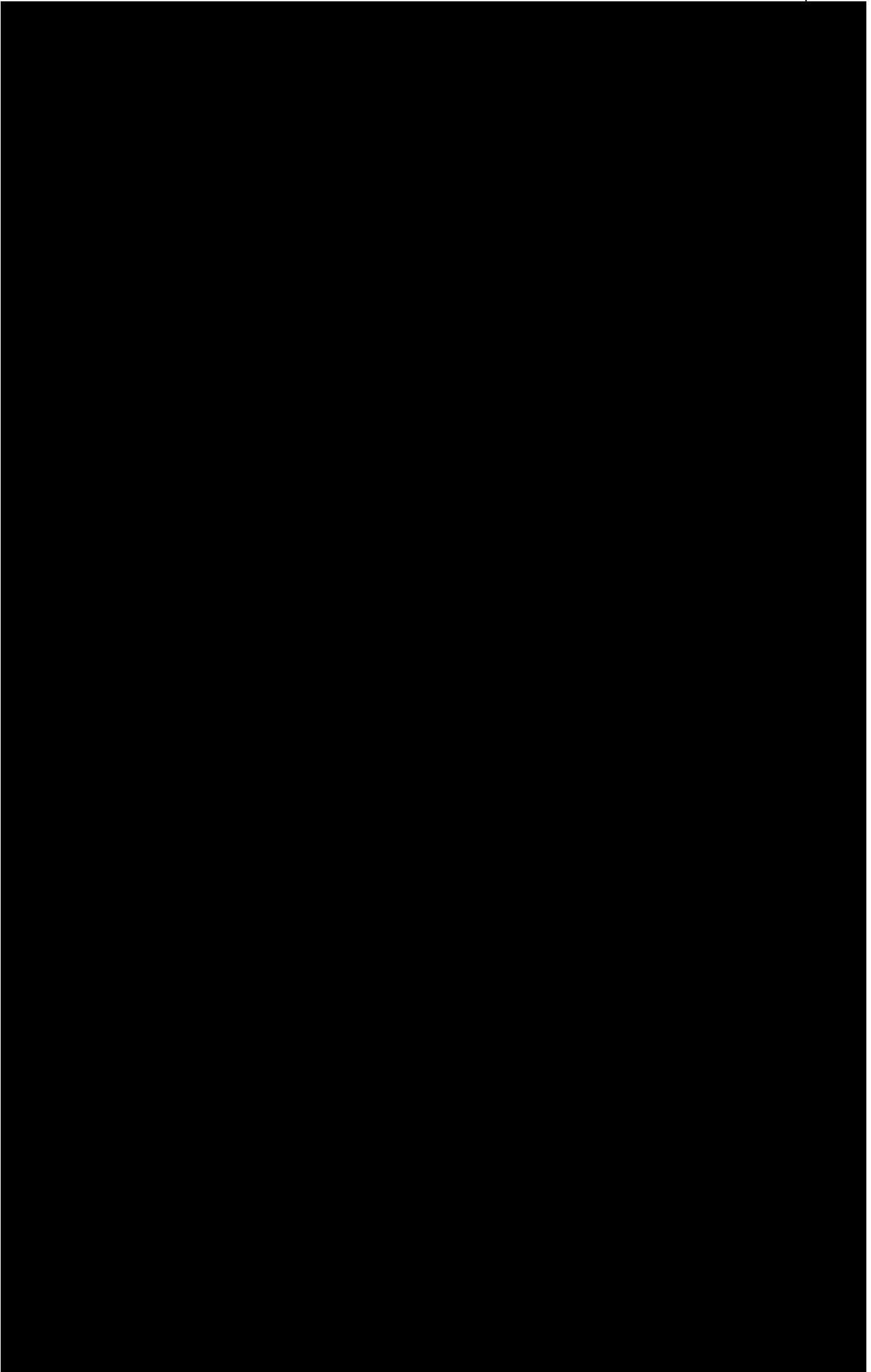


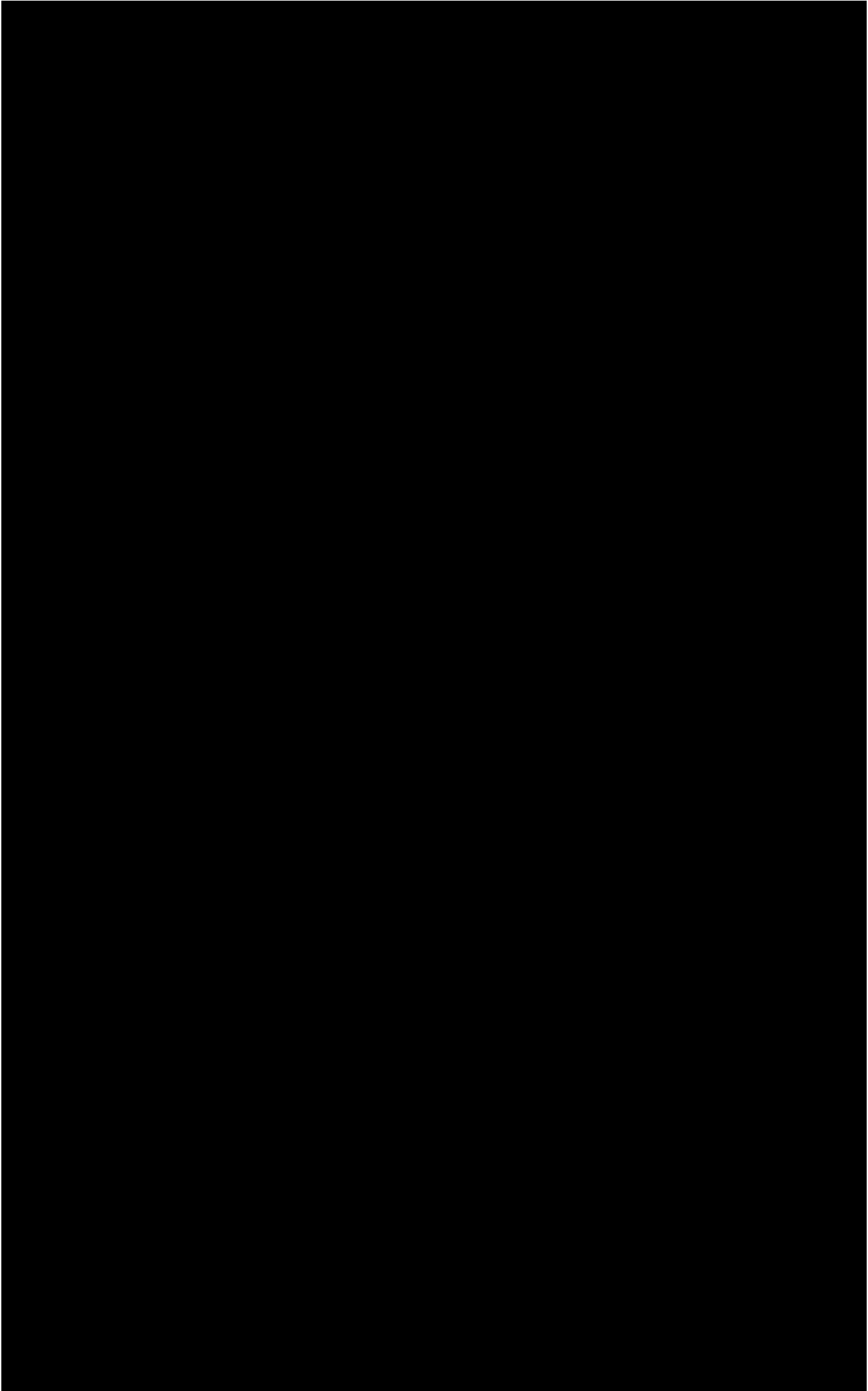


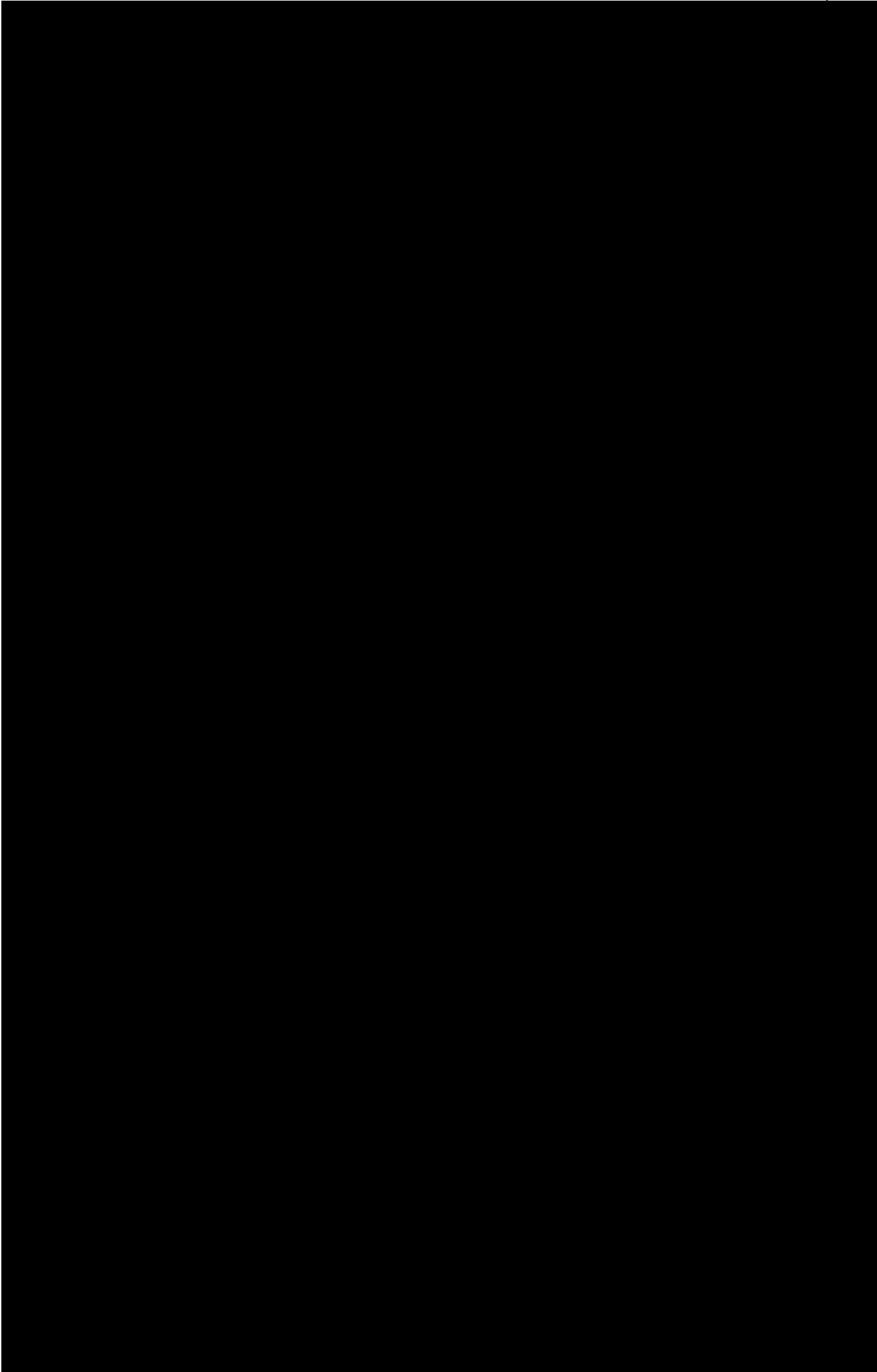


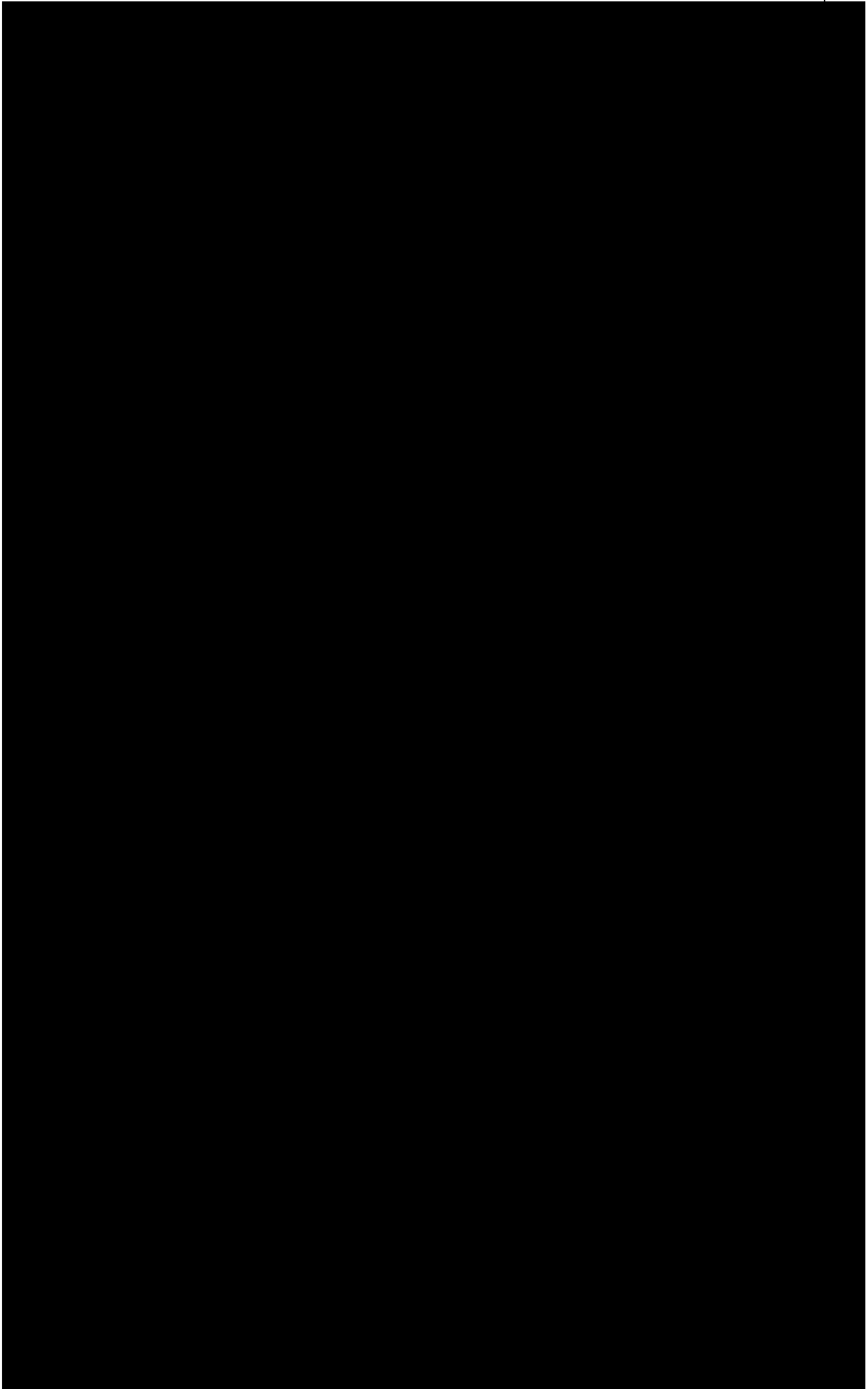


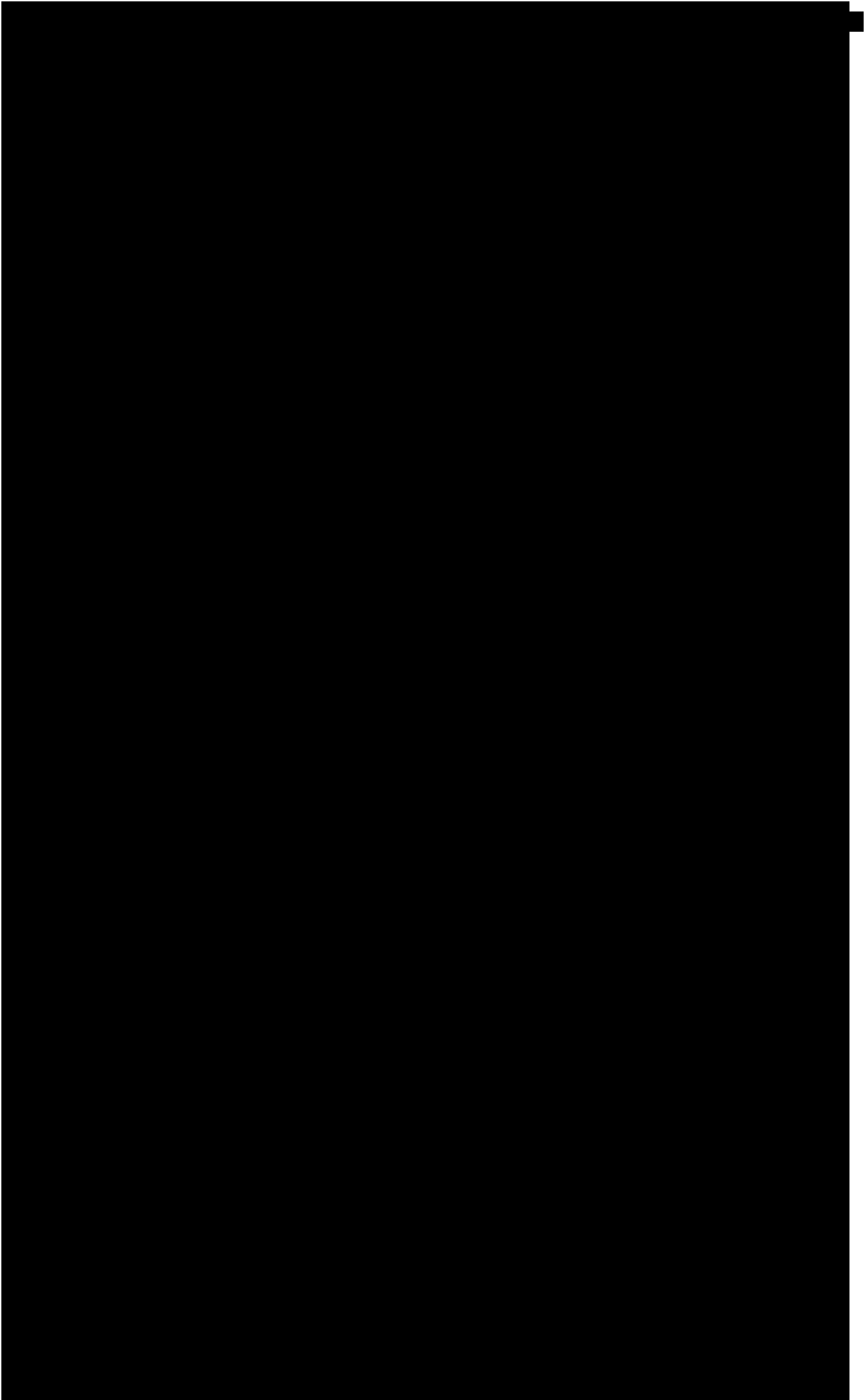


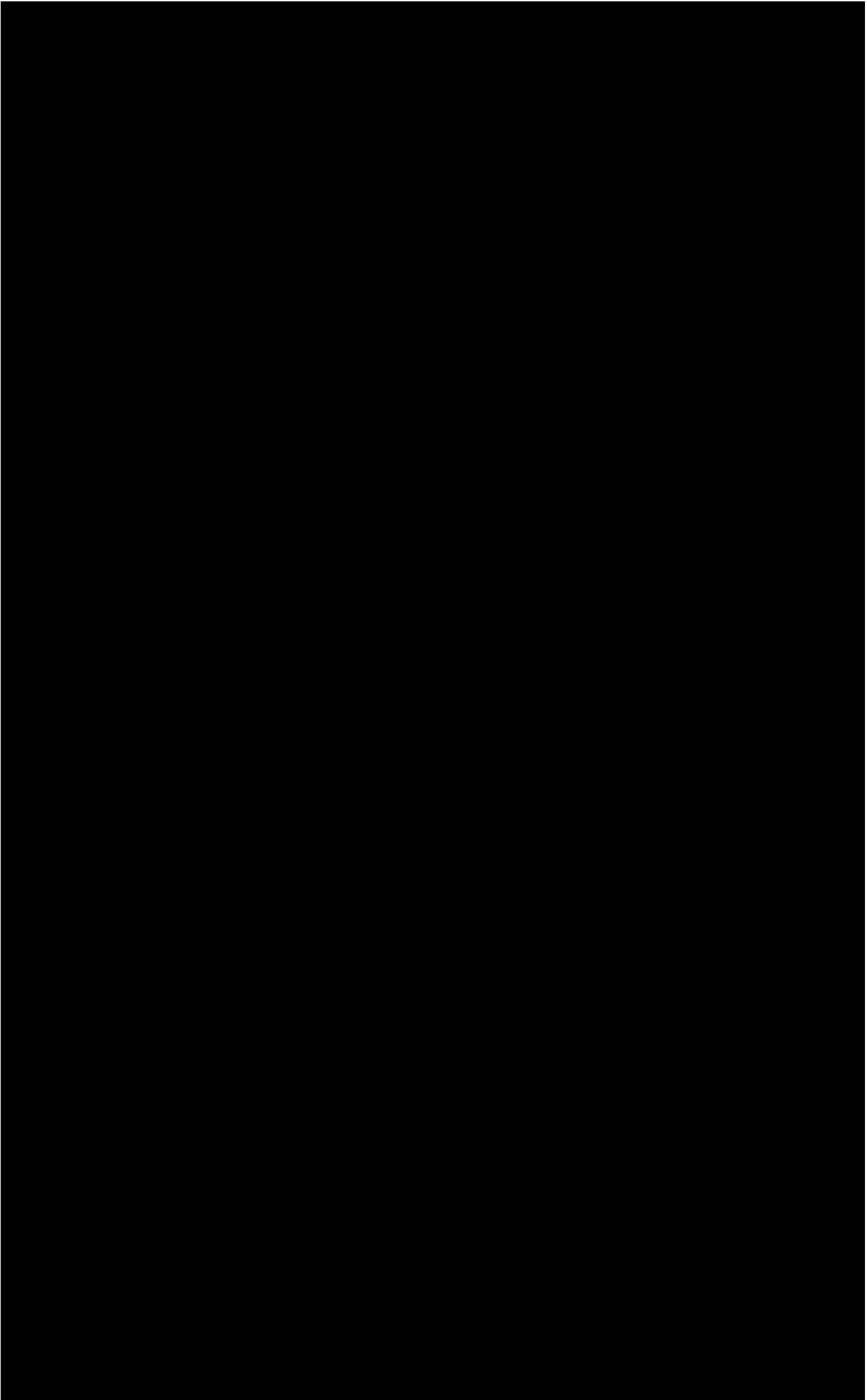


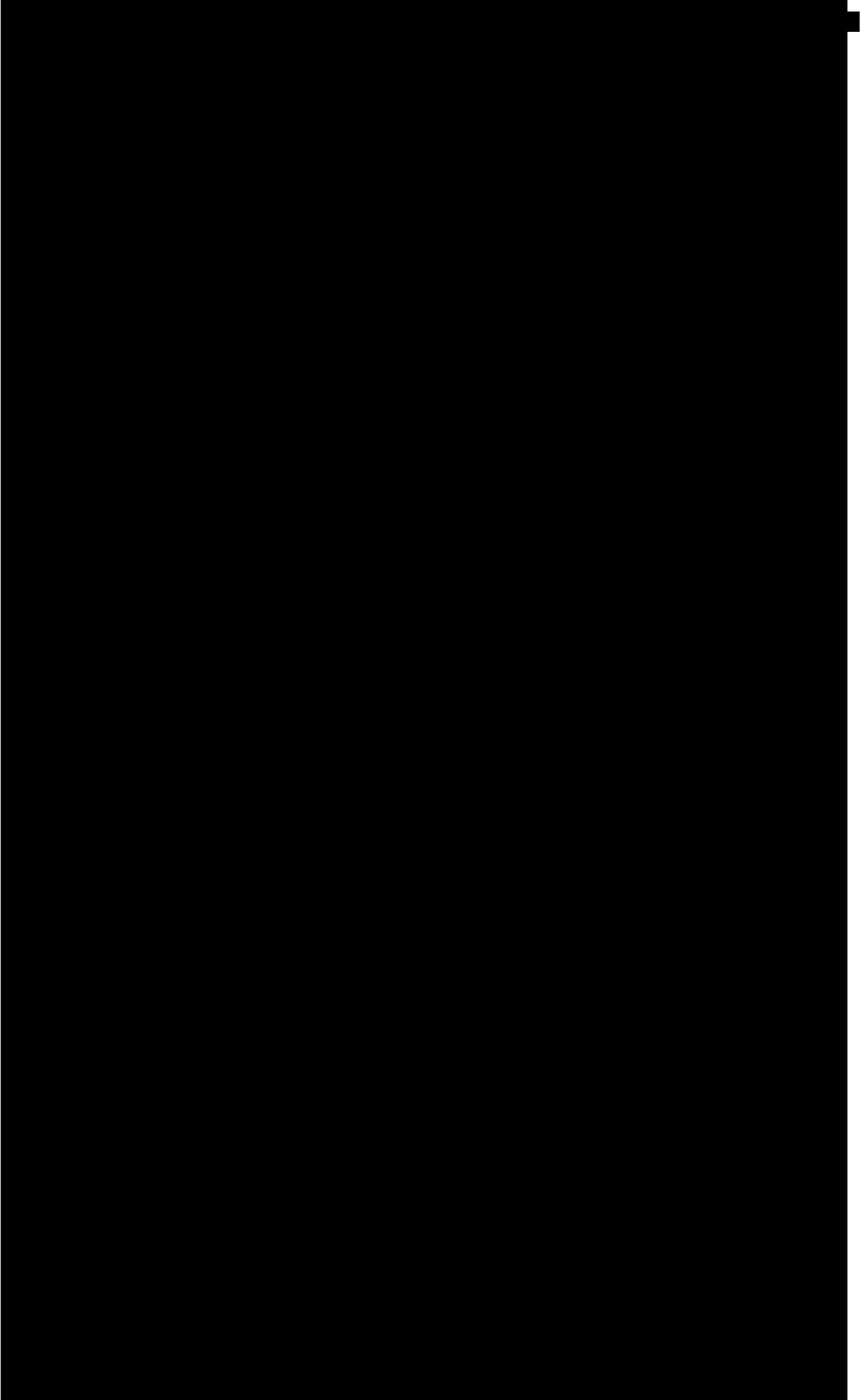












PLANS/PHOTOGRAPHS/DRAWINGS

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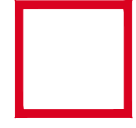
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M

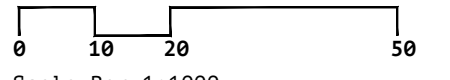
B

B

M



Indicates Site Boundary

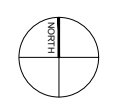


Scale Bar 1:1000

Notes

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- All dimensions to be checked on site.

Revision	Description	Date	Check
A	Planning	31.03.20	RC/BN



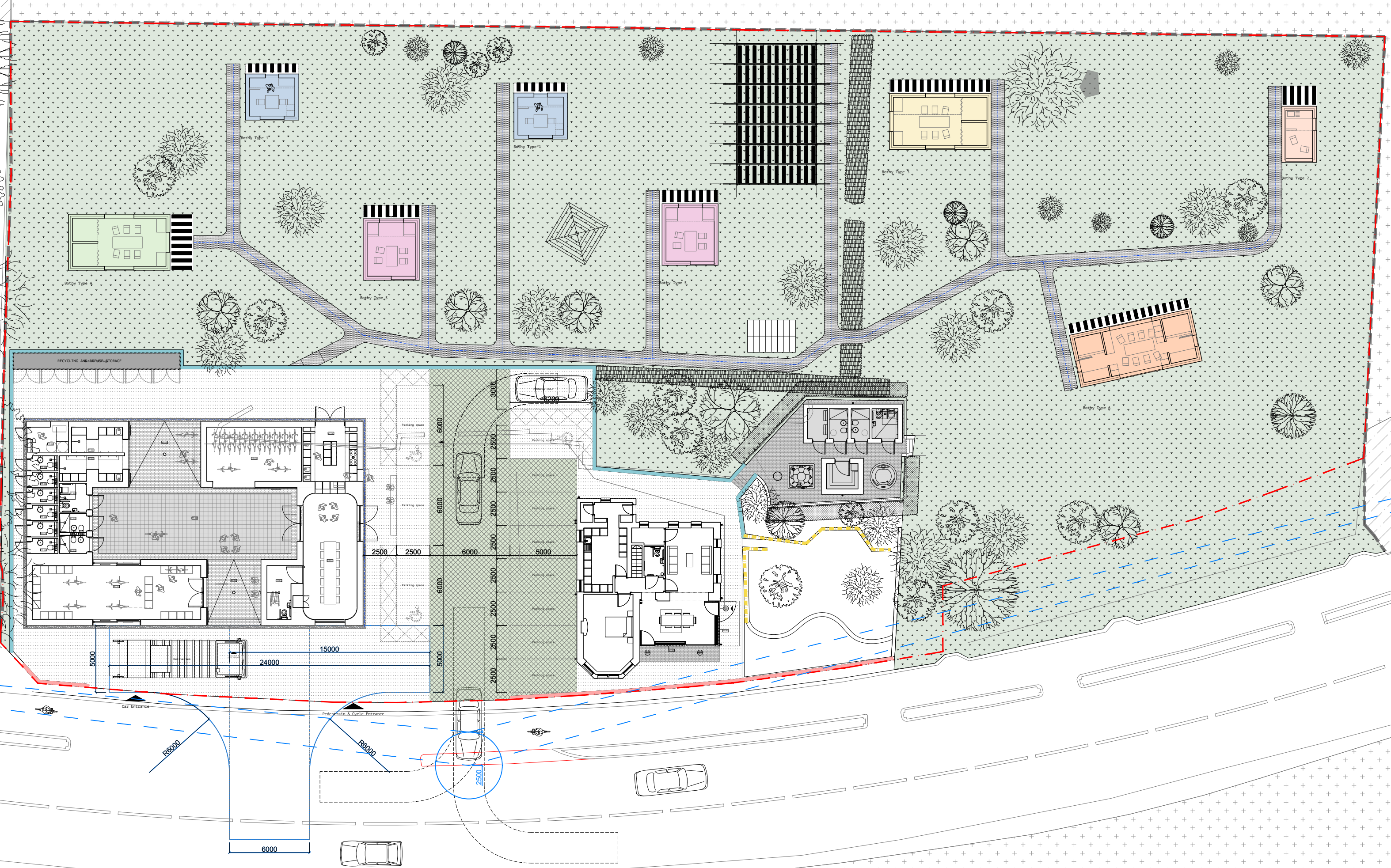
PLANNING

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 Glasgow
 G2 6HZ
 info @
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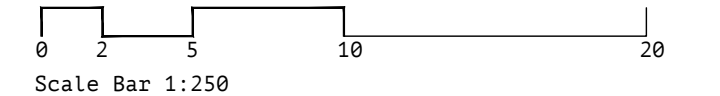
Project: **The Red House** Project No: **2018_019**
 Client: **Kenny & Luzleen Neilson**
 Date: March 2020
 Scale / Format: 1:1000 @ A3
 Drawn / Checked: RC / BN
 Drawing Name: LOCATION PLAN
 Drawing No: L(EX)001

M B
B M



- Re-wilded grass
- Loose gravel paths with french drain and services below
- Brick paving
- Concrete Permeable Paving
- Self bound gravel
- Grass Crete
- Existing timber boundary fence
- New Retaining Wall
Height varies depending on site levels
- New brick high wall
Height varies 450mm - 1400mm depending on site levels
- Existing brick walls - to be re-painted
- Site Curtilage
- 2.5 x 120m Visibility Splay
- Bothy Type 1
14sqm
- Bothy Type 2
11sqm
- Bothy Type 3
32sqm
- Bothy Type 4
32sqm
- Bothy Type 5
19sqm
- Bothy Type 6
37sqm

* NOTE LOCATION OF SOLAR STRUCTURE INDICATIVE ONLY TBC



Revision	Description	Date	Check
K	Roads Comments	15.01.21	AR/BN
J	Warrant Issue	12.08.20	AR/BN
H	Landscape Update	04.09.20	AR/BN
G	Landscape Update	13.07.20	AR/BN
F	Solar Structure Noted	22.06.20	AR/BN
E	General Update	22.05.20	BN
D	Planning	31.03.20	HC/BN
C	INFORMATION	31.01.20	HC
B	BOTHY FEASIBILITY	15.10.19	HC
A	FEASIBILITY	18.01.19	AR

Notes
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 _All dimensions to be checked on site.

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




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Project: The Red House
 Client: Kenny & Luzleen Neilson

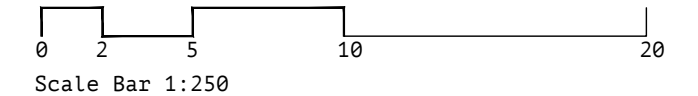
Date: MARCH 2020
 Scale / Format: 1:250 @ A2
 Drawn / Checked: AR / BN
 Drawing Name: SITE PLAN AS PROPOSED
 Drawing No: L[-]-1002

PLANNING

M B
B M

-  Re-wilded grass
-  Loose gravel paths with french drain and services below
-  Brick paving to courtyard
-  Self bound gravel
-  Grass Crete
-  Site Curtilage
-  2.5 x 120m Visibility Splay

* NOTE LOCATION OF SOLAR STRUCTURE INDICATIVE ONLY TBC



Notes

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- To be read in conjunction with all relevant Architects' Services & Structural Engineers' drawings.
- All existing site, trees and building information has been omitted from different sources.
- All dimensions to be checked on site.

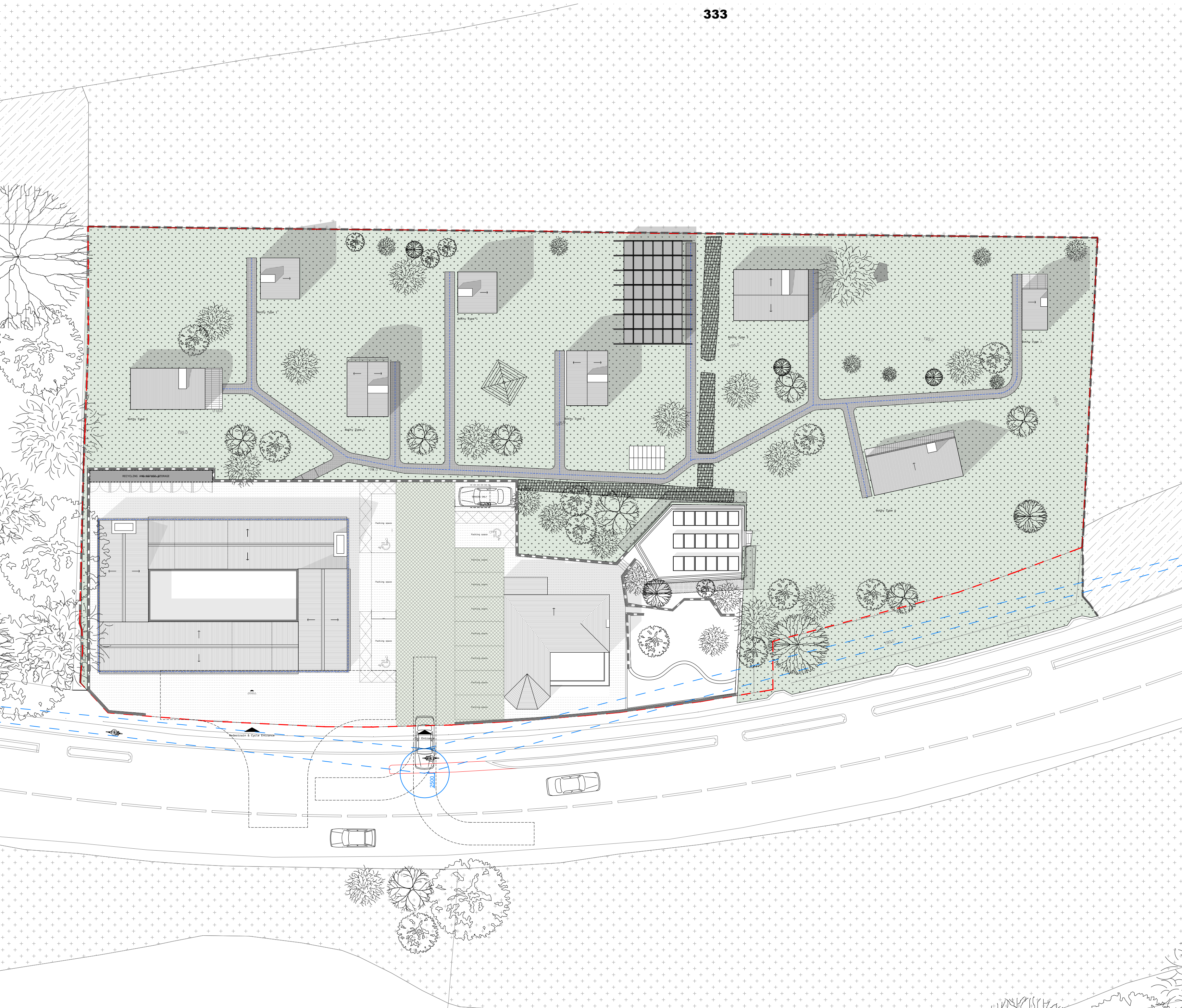
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E	Roof Corners	15.01.21	AK/BN
D	Worked Issue	22.06.20	AK/BN
C	Solar Structure Worked	22.06.20	AK/BN
B	General Update	29.05.20	BN
A	Planning	31.03.20	RC/BN

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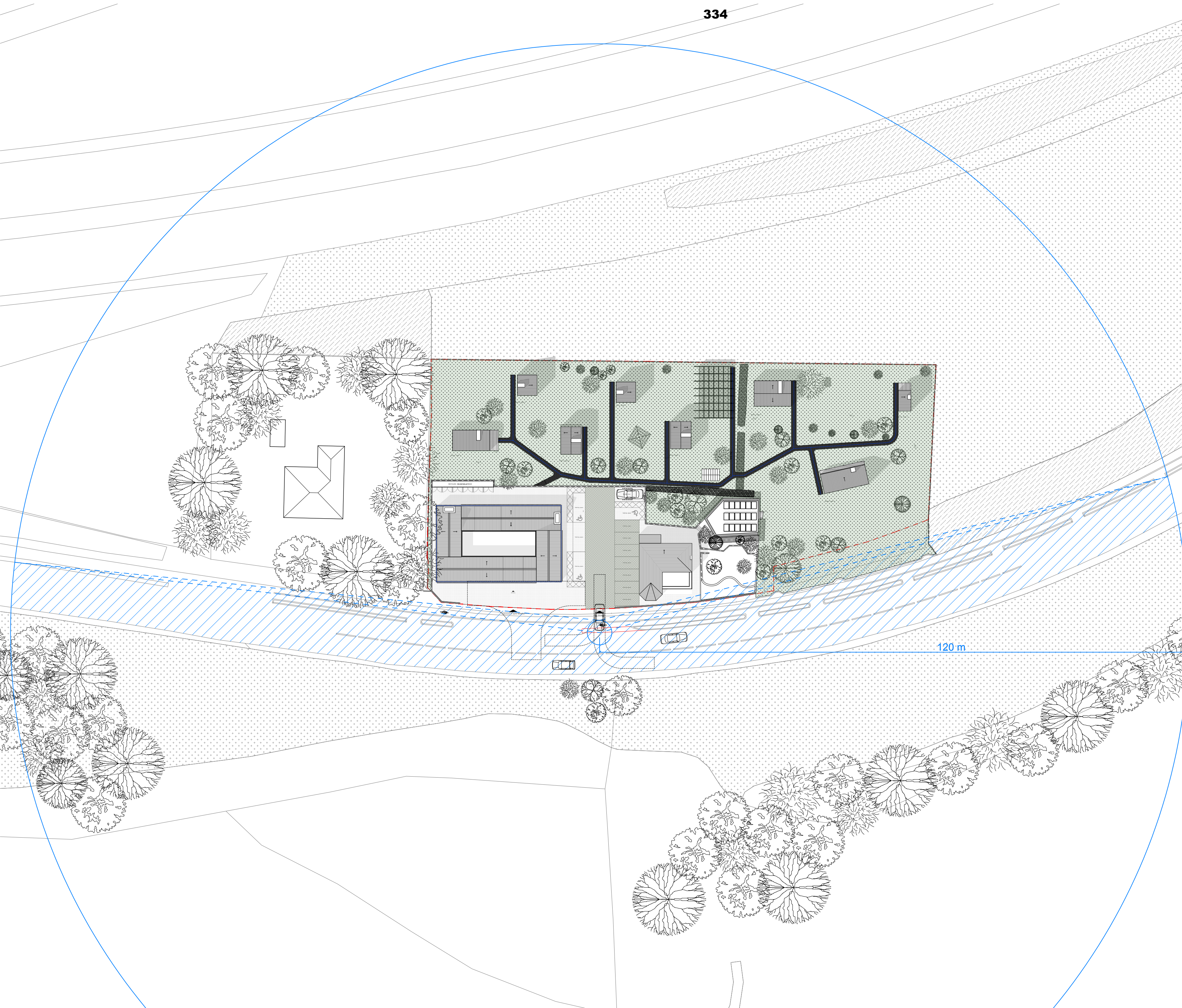
Baltic Chambers
Basement Suite 27
59 Melnington Street
Glasgow
G2 6HD
info@mcginlaybell.com

PLANNING

Project: The Red House 2018_019
Client: Kenny & Luzleen Neilson
Date: MARCH 2020
Scale / Format: 1:1250 @ A2
Drawn / Checked: AK / BN
Drawing Name: SITE ROOF PLAN AS PROPOSED
Drawing No: L[-]-1003



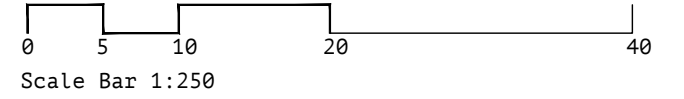
M B
B M



- Existing timber boundary fence
- New brick high wall
Height varies 450mm - 1400mm depending on site levels
- Existing brick walls - to be re-painted
- Site Curtilage
- 2.5 x 120m Visibility Splay

120 m

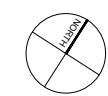
* NOTE LOCATION OF SOLAR STRUCTURE INDICATIVE ONLY TBC



Notes

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- _All dimensions to be checked on site.

Revision	Description	Date	Check
E	Roads Comments	15.01.21	AK/BN
D	Nearest Issue	12.08.20	AK/BN
C	Solar Structure Noted	22.06.20	AK/BN
B	General Update	29.05.20	BN
A	Planning	31.03.20	HC/BN



PLANNING

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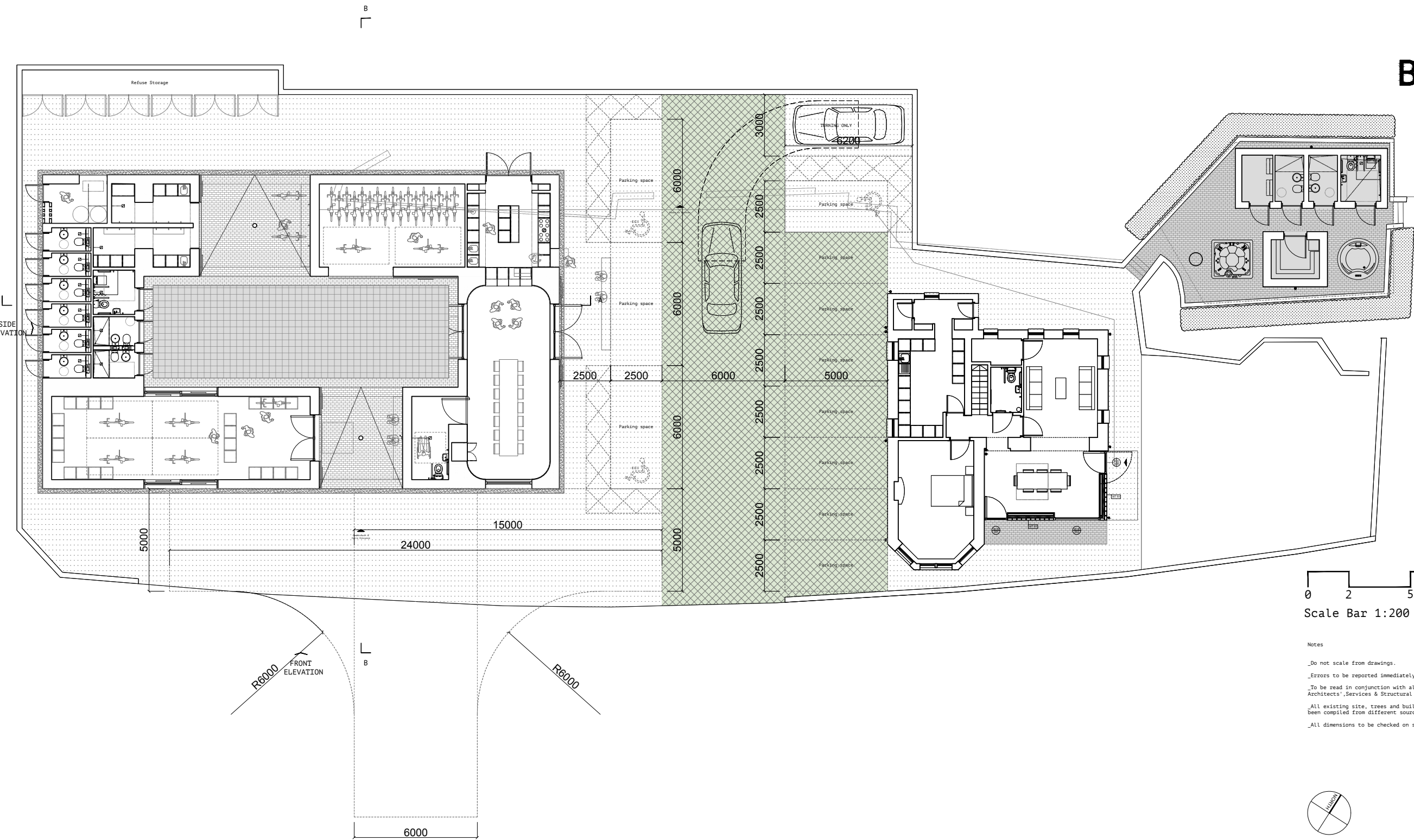
Baltic Chambers
Basement Suite 27
59 Wellington Street
Glasgow
G2 6HD




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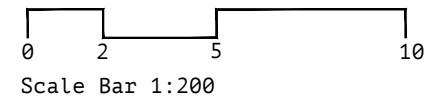
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The Red House	2018_019
Client	Kenny & Luzleen Neilson
Date	MARCH 2020
Scale / Format	1:500 @ A2
Drawn / Checked	AK / BN
Drawing Name	Drawing No.
AREA PLAN AS PROPOSED	L[-]-1004

M B

B M



-  Brick paving
-  Self bound gravel
-  Grass Crete



Notes

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Revision	Description	Date	Check
G	ROADS COMMENTS	15.01.21	AR/BM
F	WARRANT ISSUE	12.05.20	AR/BM
E	GENERAL UPDATE	04.05.20	AR/BM
D	PV BATTERIES	22.06.20	AR/BM
C	PLANNING	31.03.20	RC/BM
B	FEASIBILITY	15.10.19	RC
A	FEASIBILITY	18.01.19	AR



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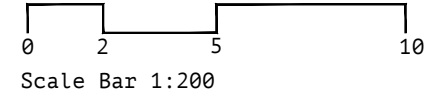
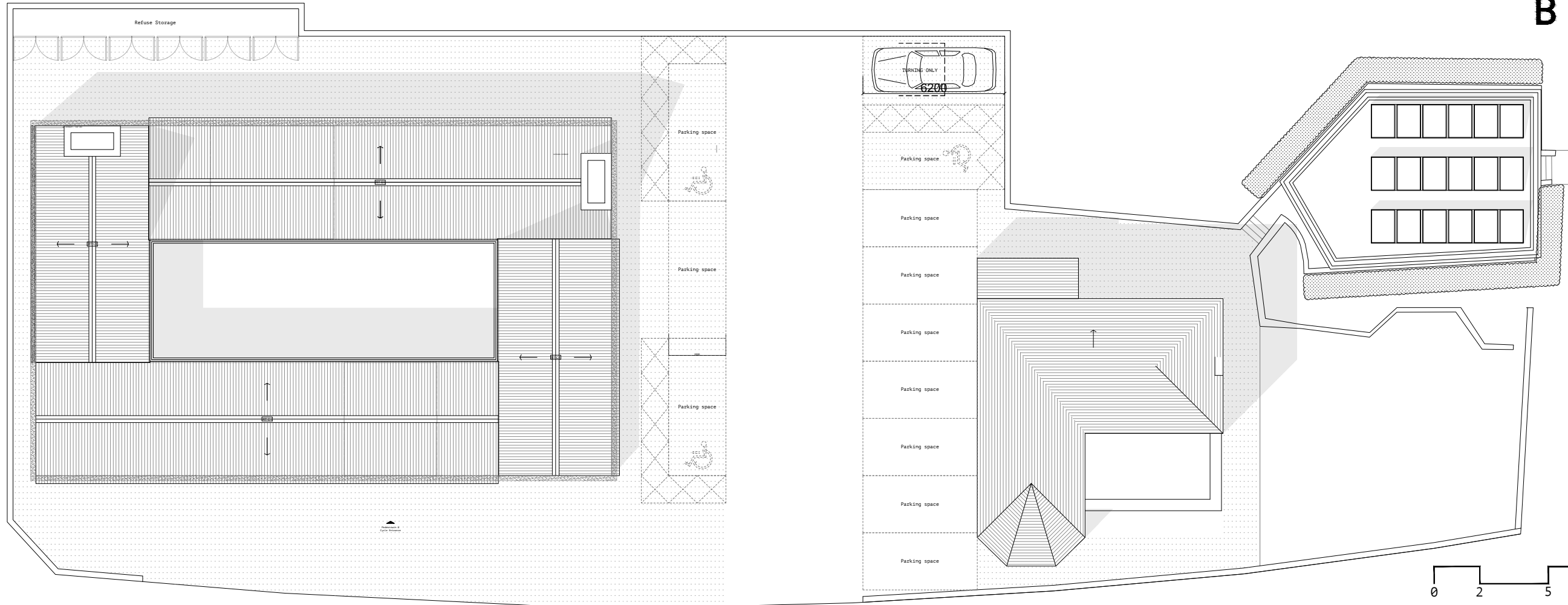
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Project: The Red House
Client: Kenny & Lurleen Neison

Project No: 2018_019
Date: March 2020
Scale / Format: 1:200 @ A3
Drawn / Checked: RC / BM
Drawing Name: CYCLE HUB SITE LAYOUT AS PROPOSED
Drawing No: L[-]-050

M B

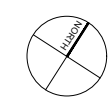
B M



Notes

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Revision	Description	Date	Check
F	ROADS COMMENTS	15.01.21	AR/BM
E	WARRANT ISSUE	12.08.20	AR/BM
D	PV PANELS NOTED	22.06.20	AR/BM
C	PLANNING	31.03.20	RC/BM
B	FEASIBILITY	15.10.19	RC
A	FEASIBILITY	18.01.19	AR



PLANNING

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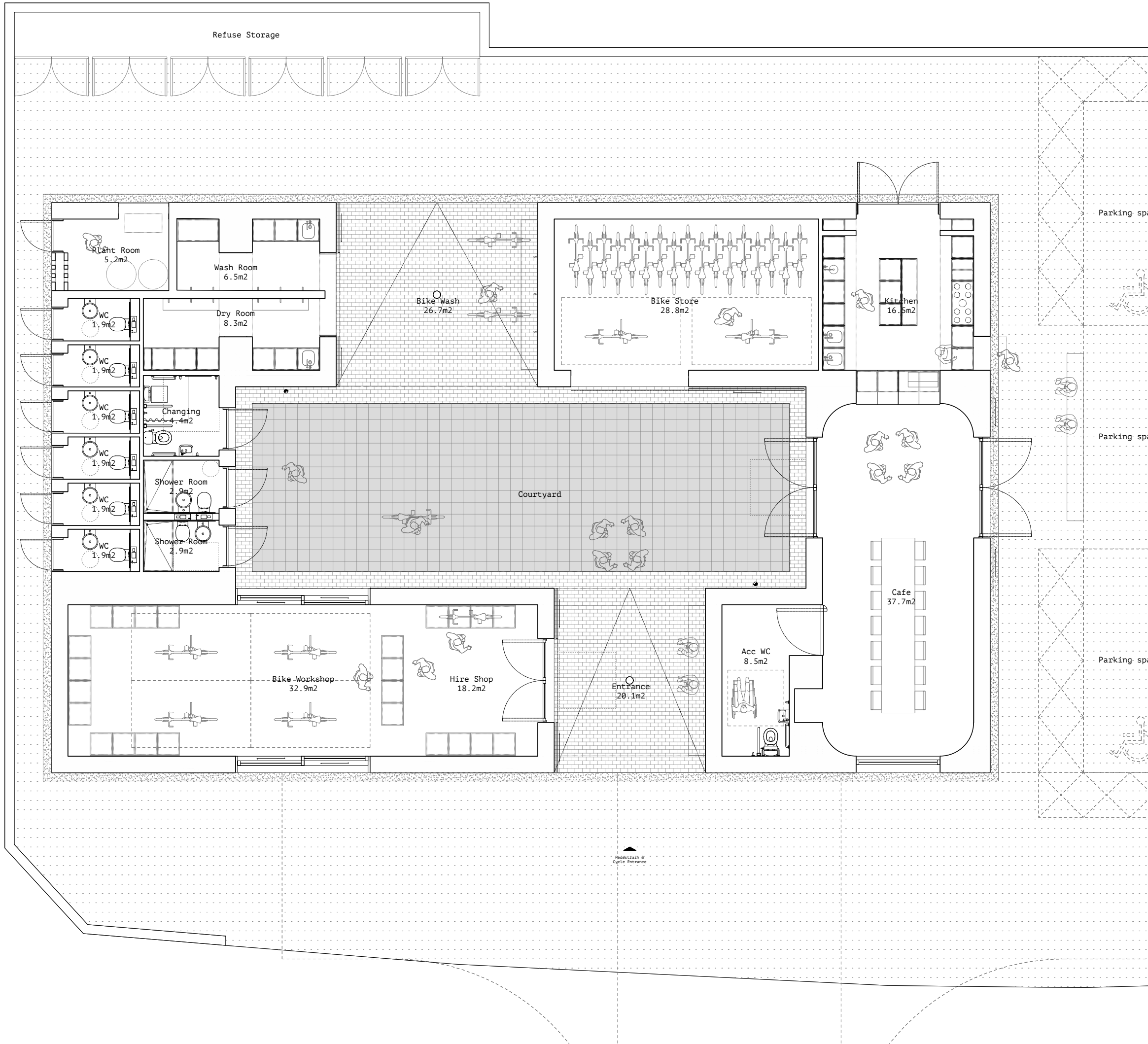
Baltic Chambers
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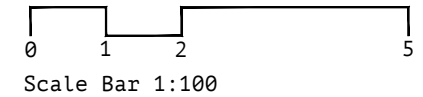
Project: The Red House
 Client: Kenny & Lurleen Neison

Project No.: 2018_019

Date: March 2020
 Scale / Format: 1:200 @ A3
 Drawn / Checked: RC / BM
 Drawing Name: CYCLE HUB ROOF LAYOUT AS PROPOSED
 Drawing No.: L[-]-J051



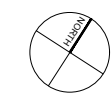
M B
B M



Notes

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- All dimensions to be checked on site.

Revision	Description	Date	Check
B	ROADS COMMENTS	15.01.21	AR/BH
A	PLANNING	20.05.20	RC/BH



PLANNING

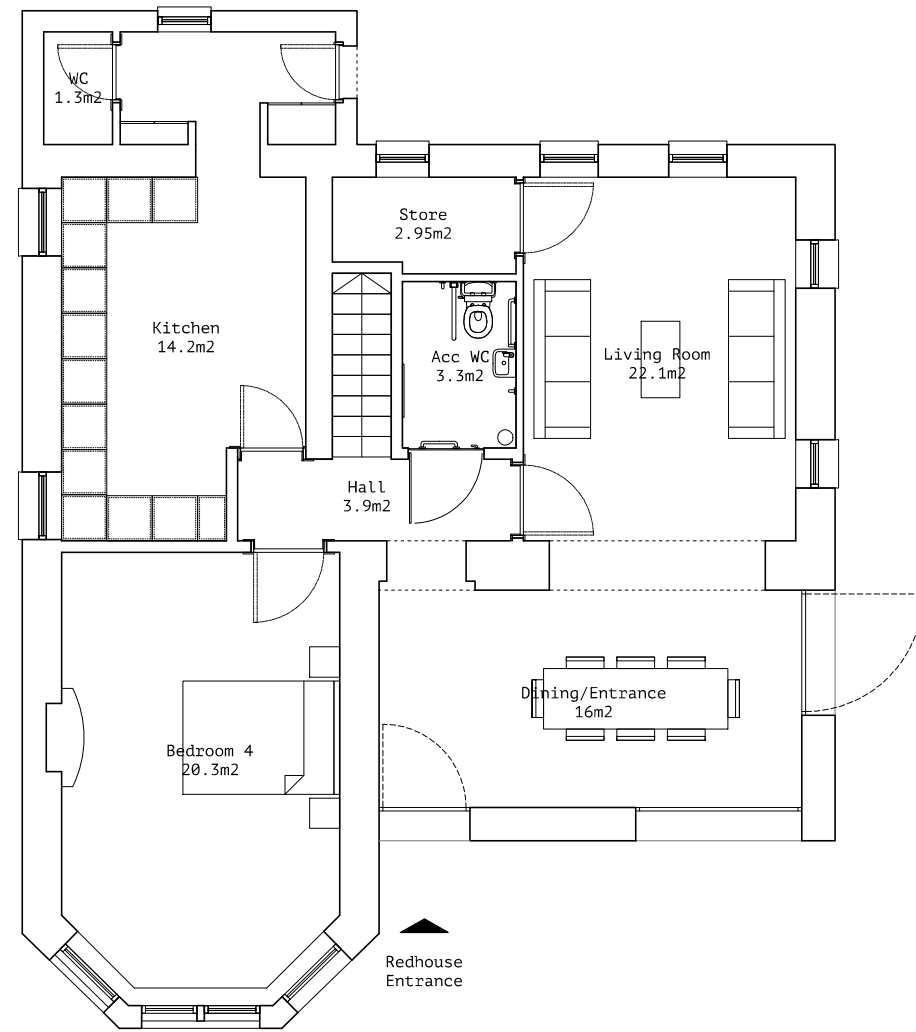
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G2 6HJ

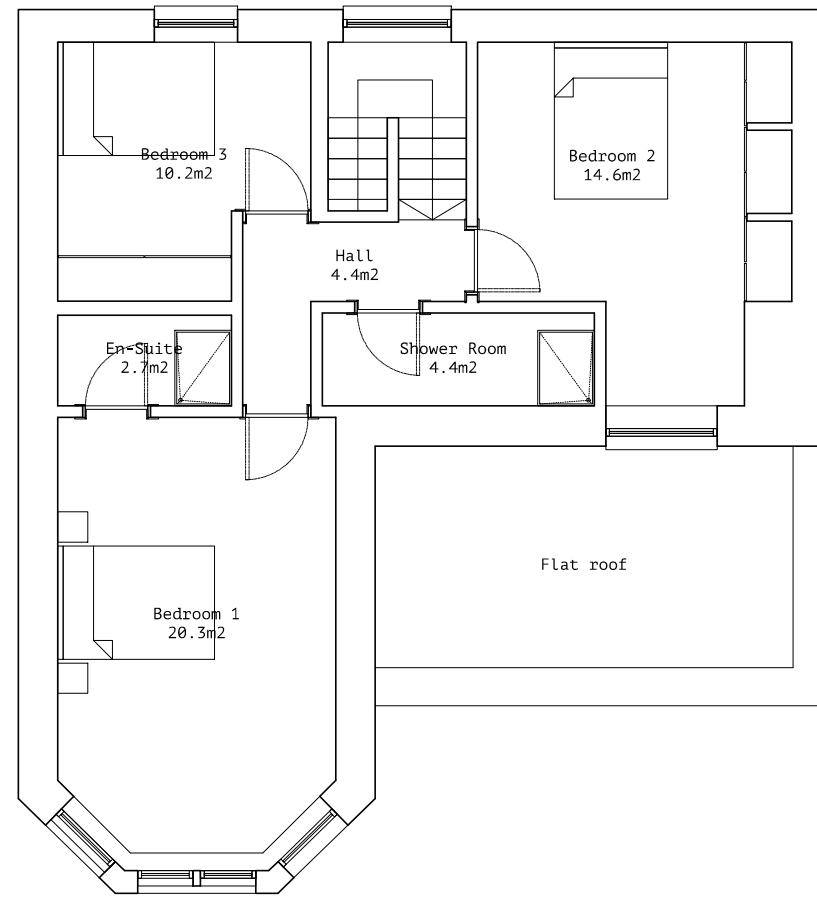
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Project	Project No.
The Red House	2018_019
Client	Kenny & Lurleen Neison
Date	March 2020
Scale / Format	1:100 @ A3
Drawn / Checked	RC / BH
Drawing Name	CYCLE HUB GROUND FLOOR PLAN AS PROPOSED
Drawing No.	L[-]-052

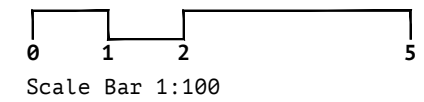
M B
B M



GROUND FLOOR PLAN
AS PROPOSED



FIRST FLOOR PLAN
AS PROPOSED



Notes

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Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM



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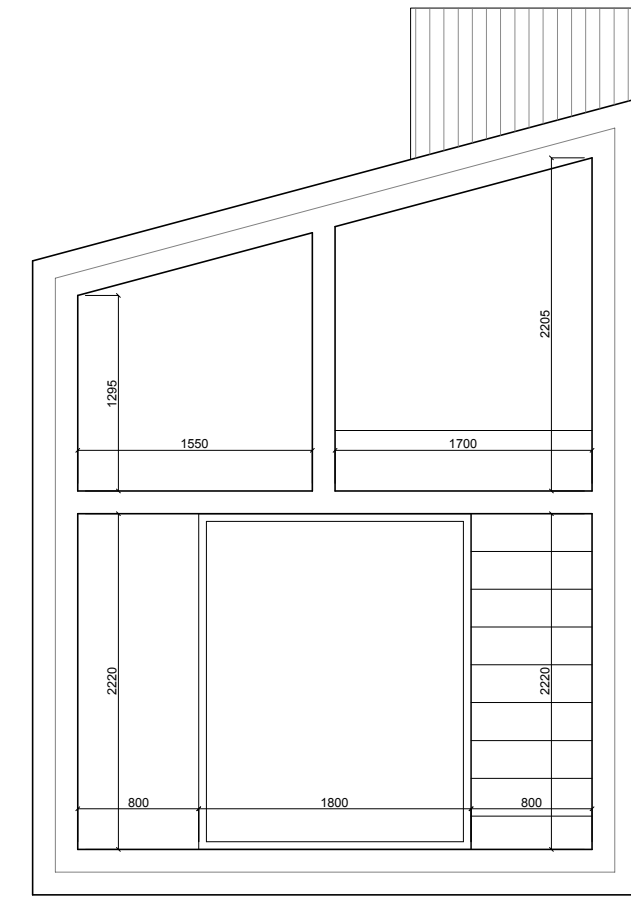
Baltic Chambers
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50 Wellington Street
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PLANNING

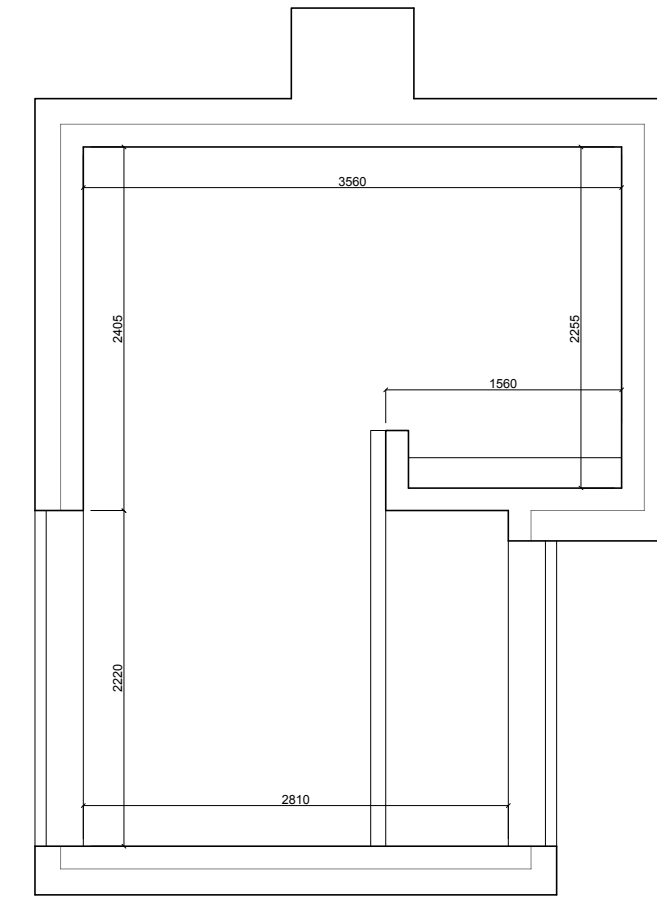
Project	The Red House	Project No.	2018_019
Client	Kenny & Lurleen Neison	Date	March 2020
Scale / Format		Drawn / Checked	1:100 @ A3 RC / BM
Drawing Name	REDHOUSE PLANS AS PROPOSED	Drawing NO.	L[-]100

M B

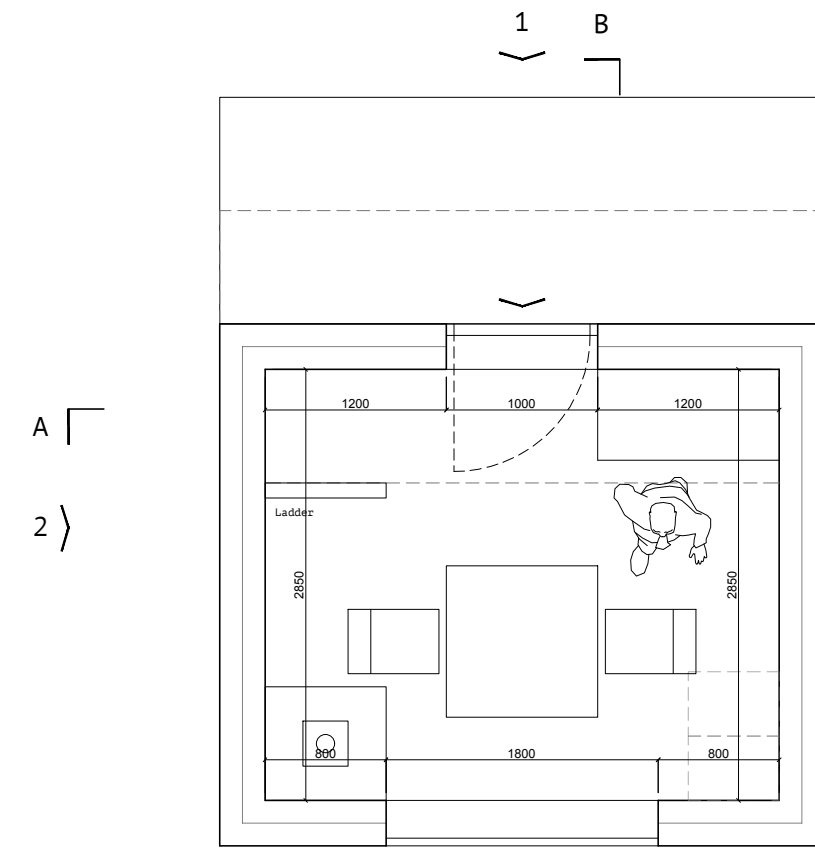
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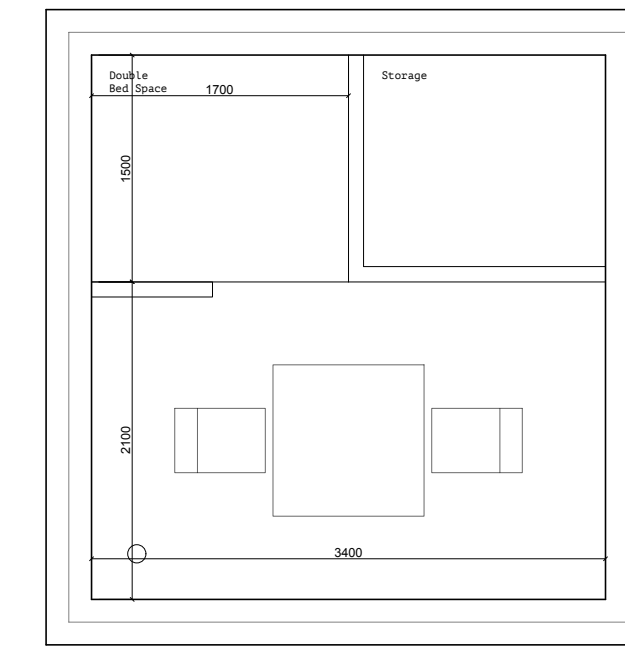
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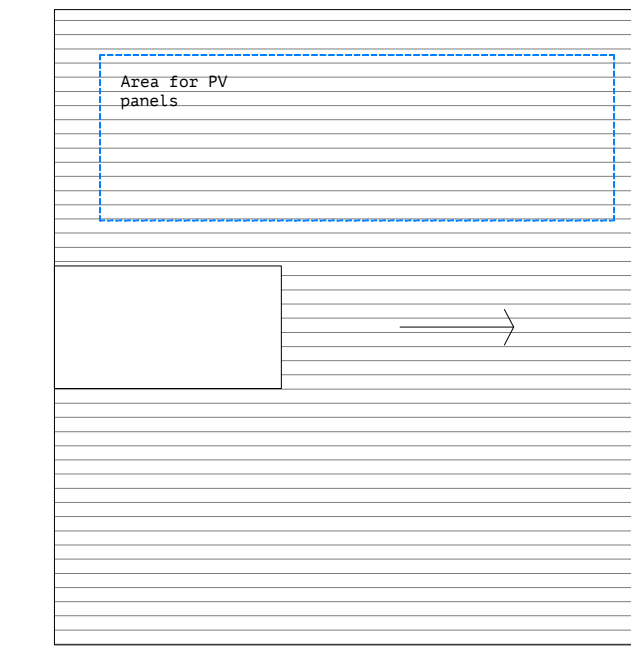
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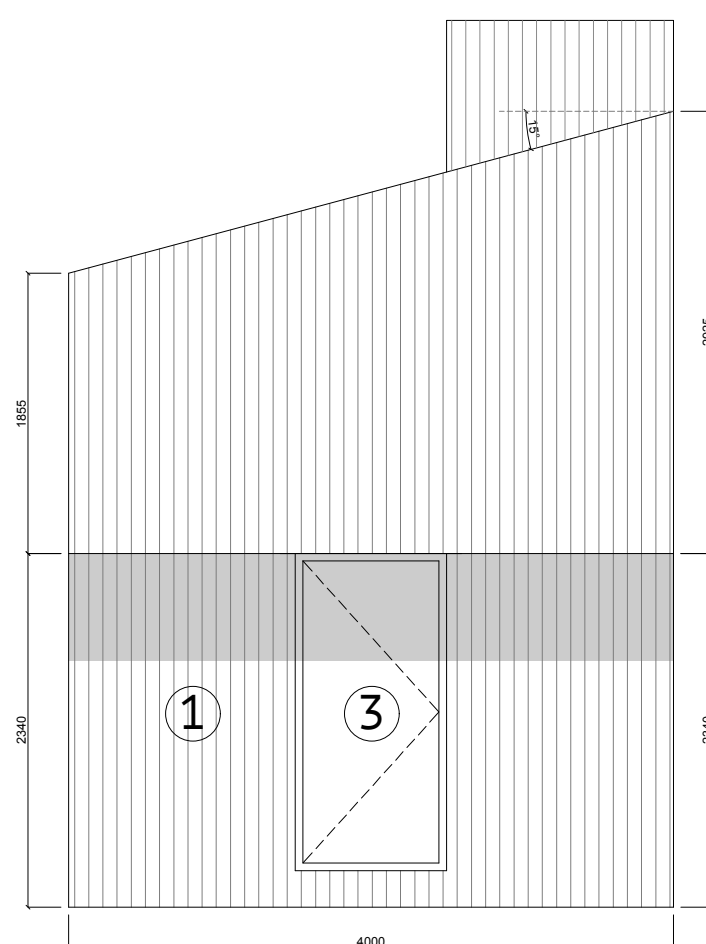
GROUND FLOOR PLAN
1:50



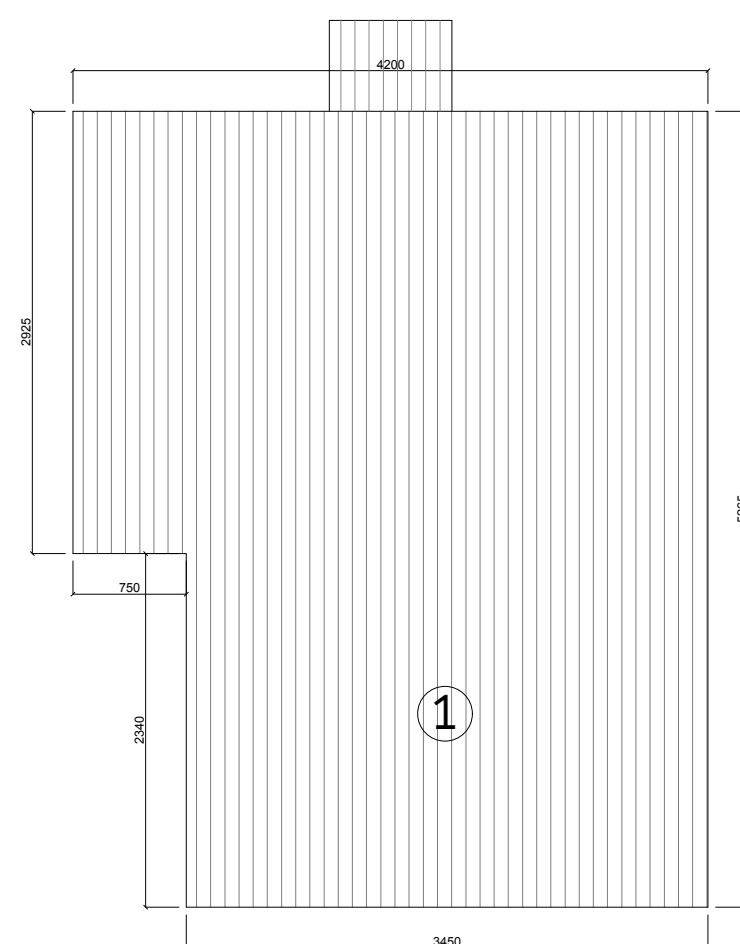
FIRST FLOOR PLAN
1:50



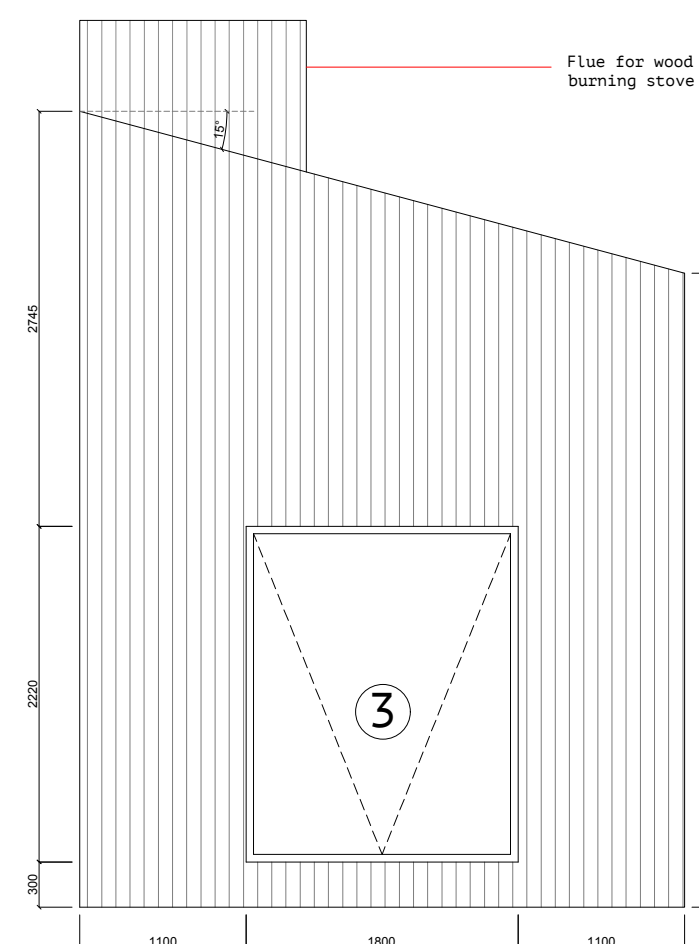
ROOF PLAN
1:50



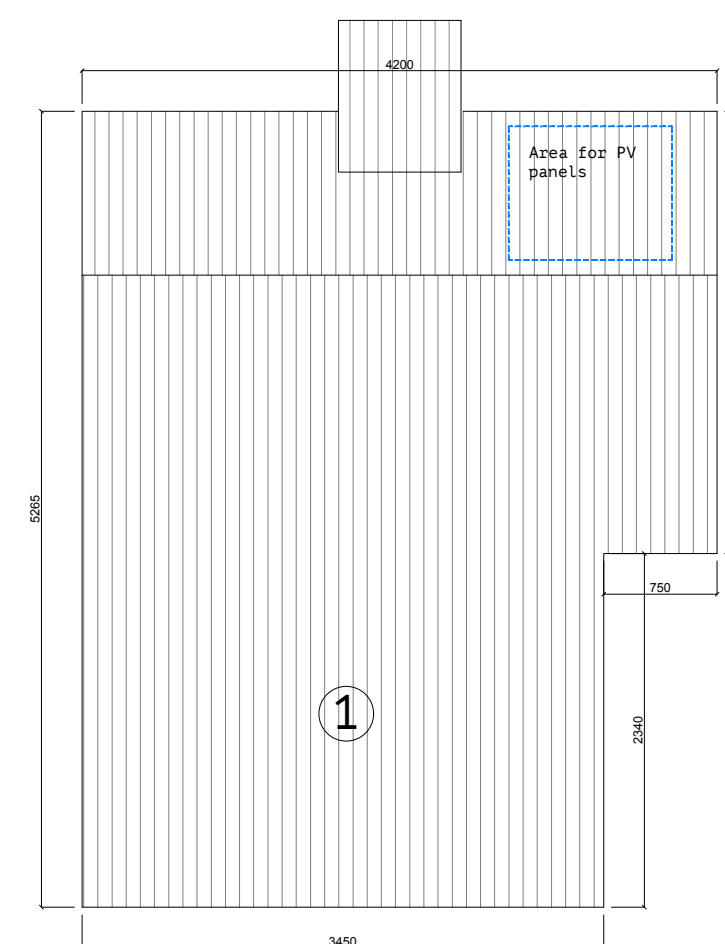
ELEVATION 1
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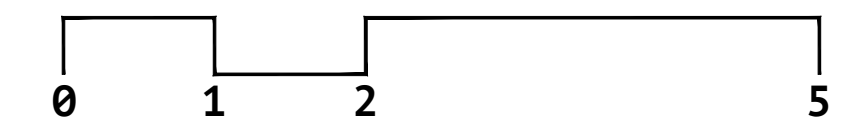
ELEVATION 2
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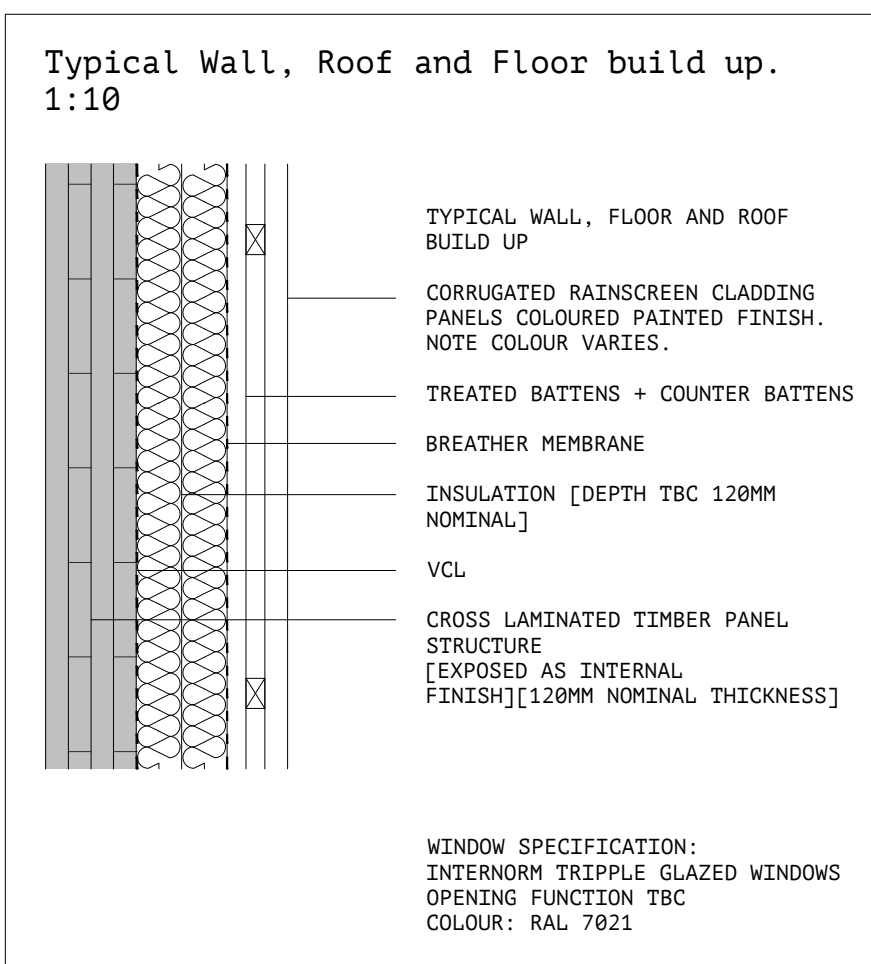
ELEVATION 3
1:50



ELEVATION 4
1:50



Scale Bar 1:50



Material Notes

- ① Corrugated rainscreen cladding panels with coloured finish - Refer to L[--]310 for details
- ③ Aluminium clad timber window - colour TBC

Bothy Type 1
9.7sqm

Revision	Description	Date	Check
A	Planning	31.03.20	RC/BH

PLANNING

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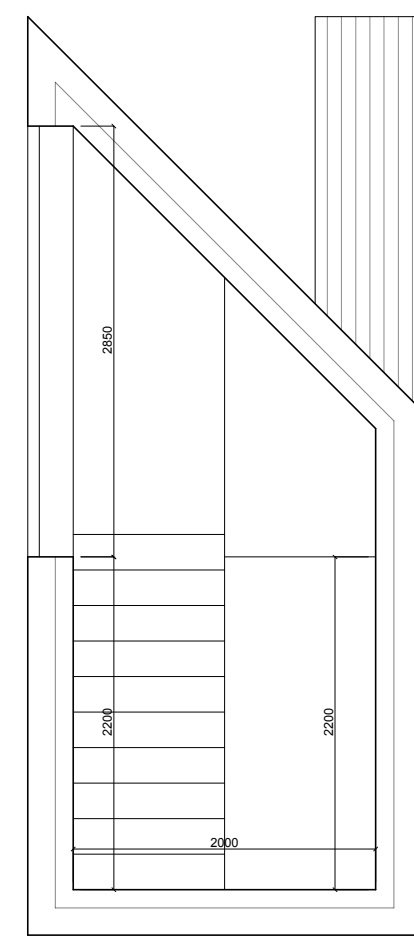
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Glasgow
G2 6HJ

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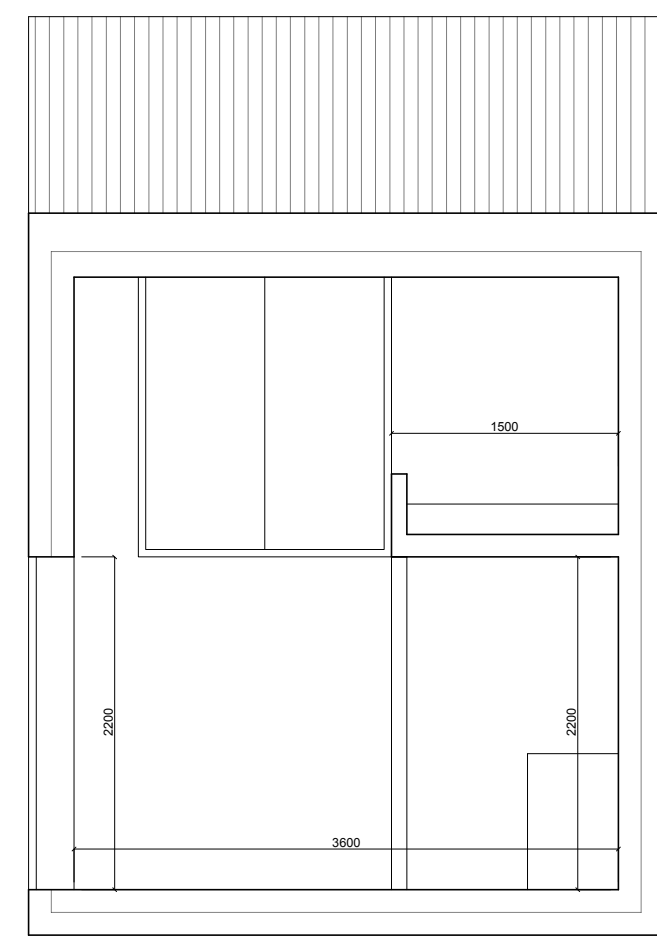
Project	Project No.
The Red House	2018_019
Client	
Kenny & Luzleen Neilson	
Date	March 2020
Scale / Format	1:50 @ A1
Drawn / Checked	RC/BH
Drawing Name	BOTHY - TYPE 1

M B

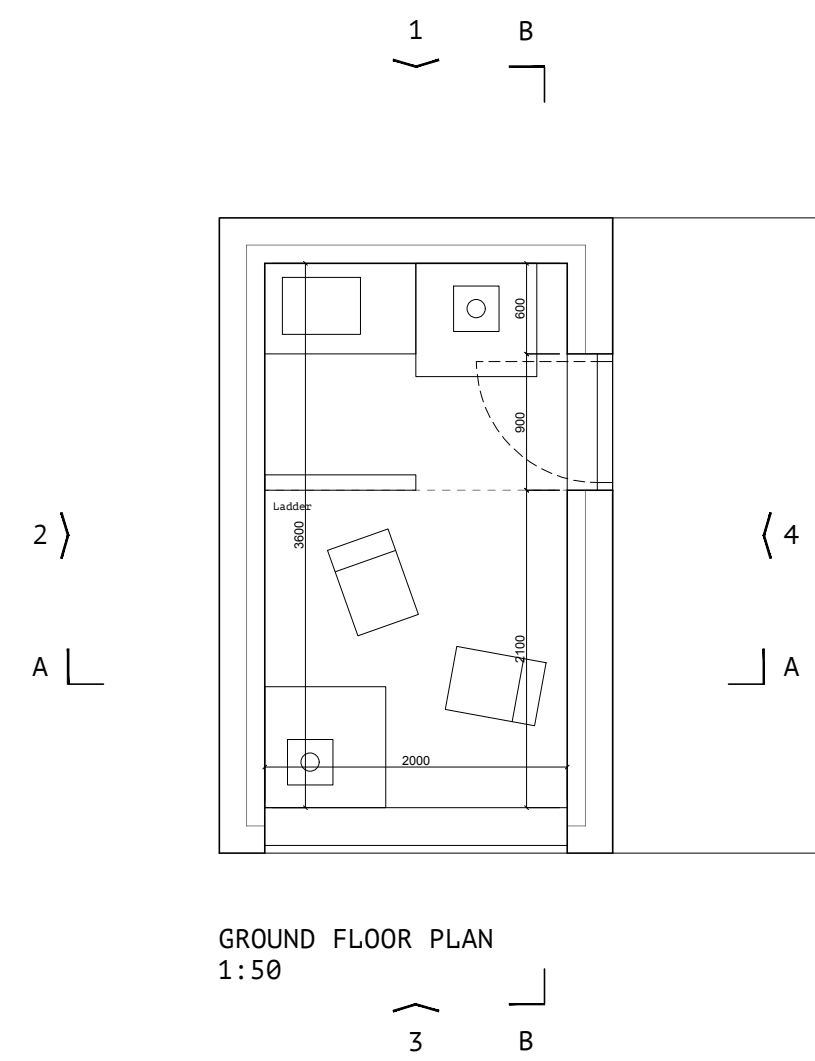
B M



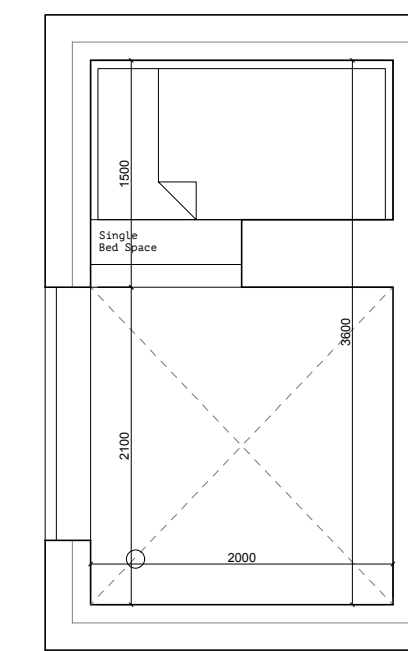
SECTION A-A
1:50



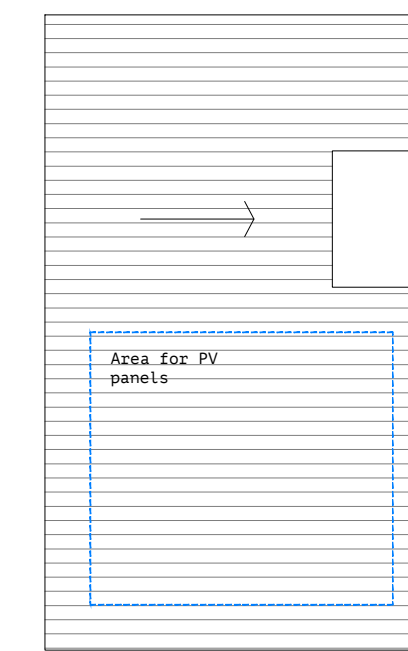
SECTION B-B
1:50



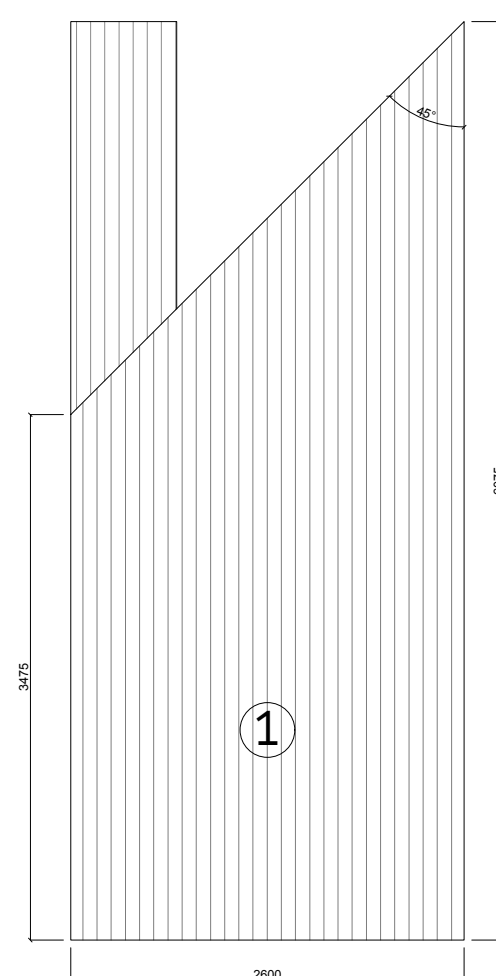
GROUND FLOOR PLAN
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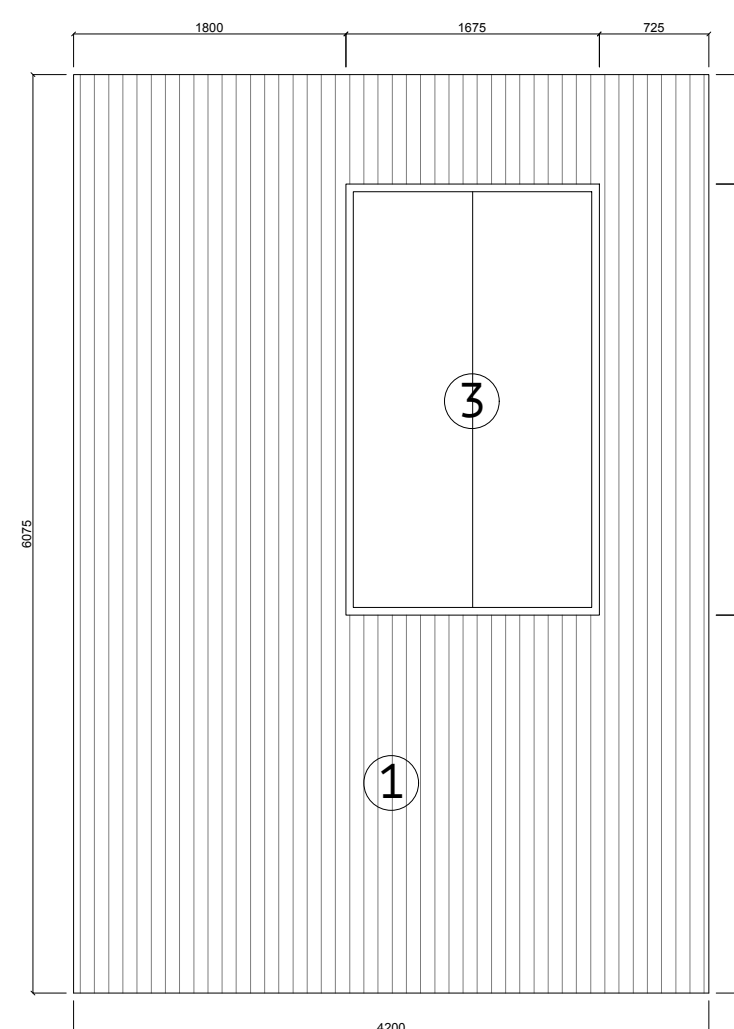
FIRST FLOOR PLAN
1:50



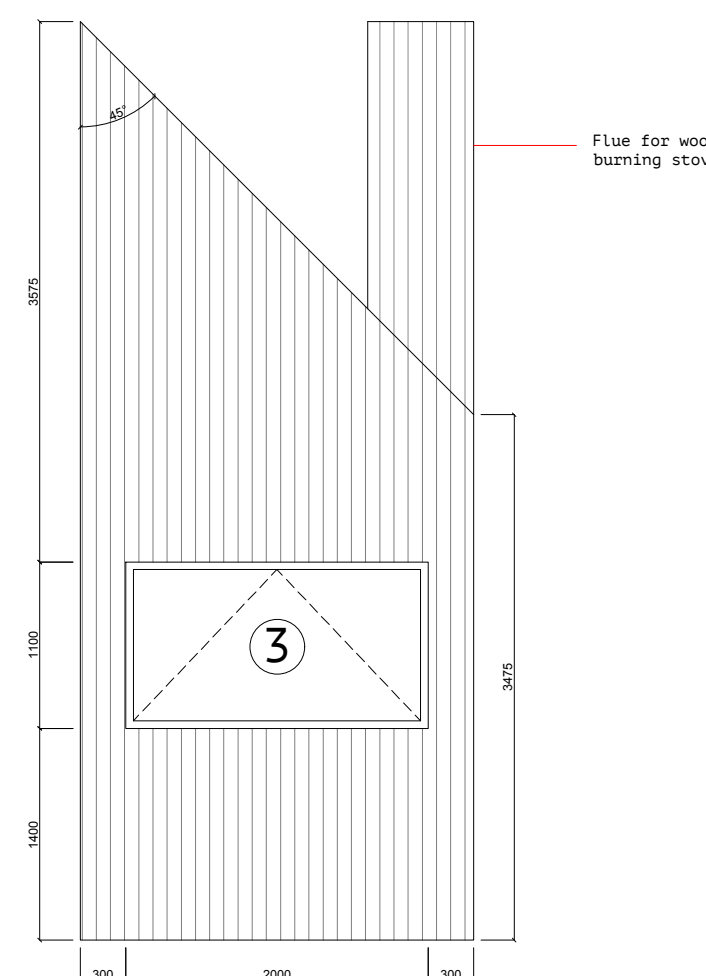
ROOF PLAN
1:50



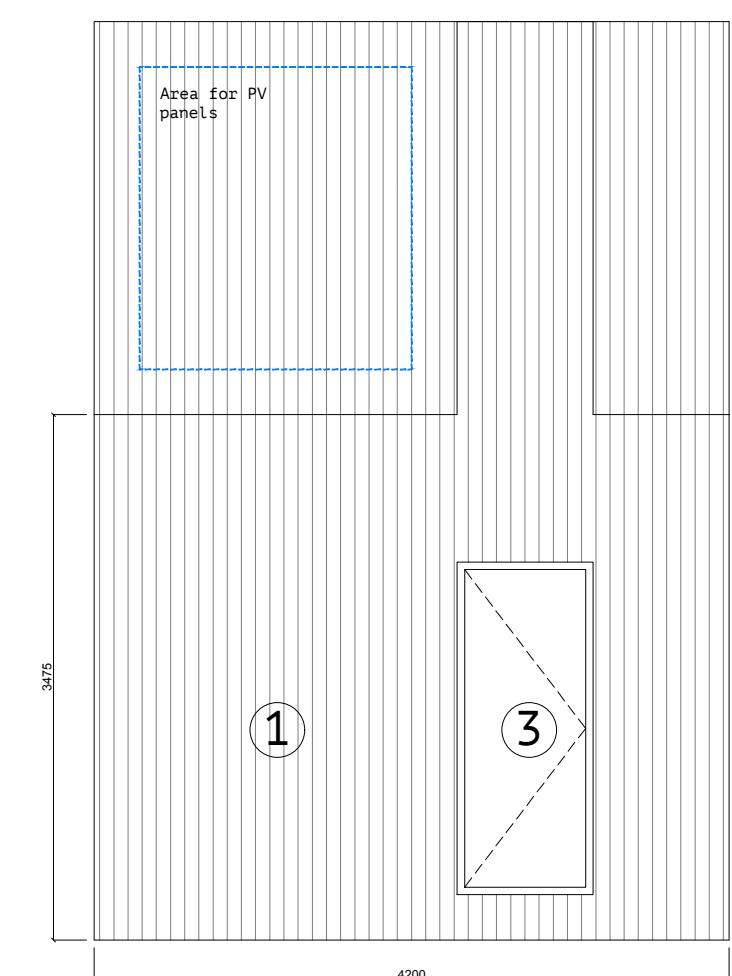
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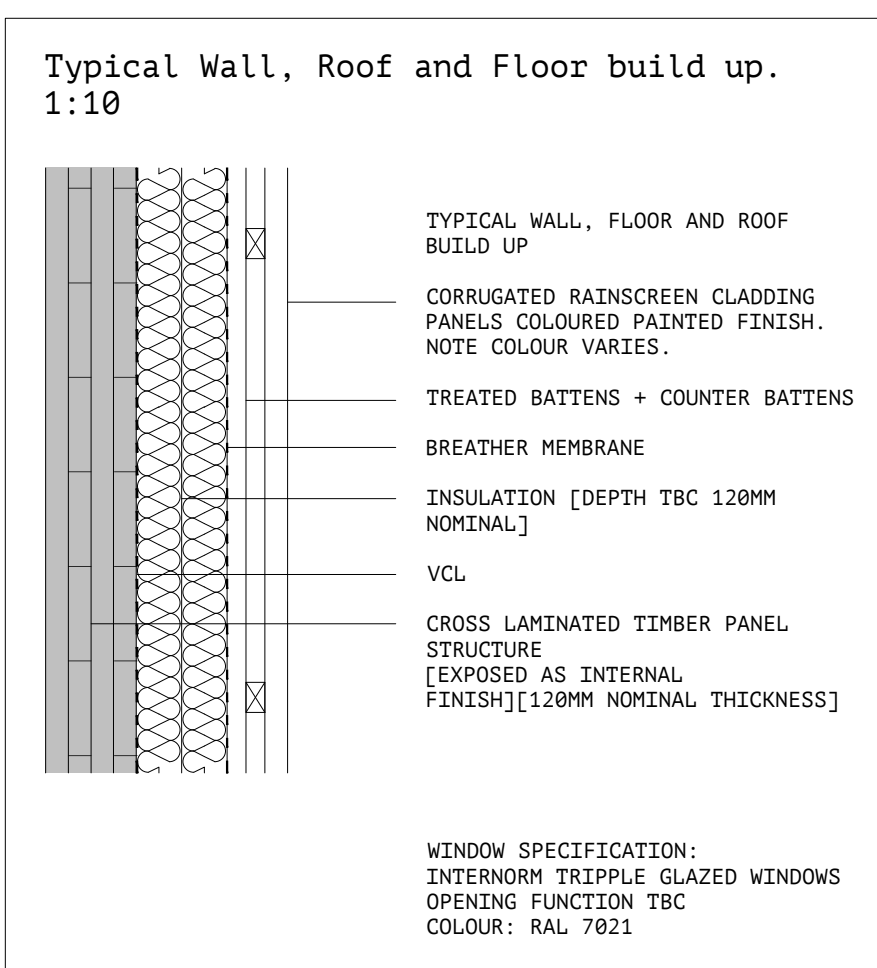
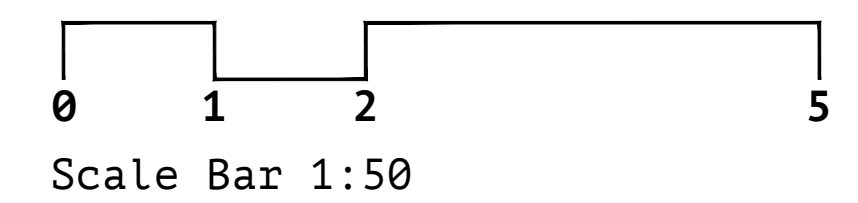
ELEVATION 2
1:50



ELEVATION 3
1:50



ELEVATION 4
1:50



Material Notes

- ① Corrugated Rainscreen Cladding Panels with coloured finish - Refer to L[--]310 for details
- ③ Aluminium clad timber window - colour TBC

Bothy Type 2
9.3sqm

Revision	Description	Date	Check
A	Planning	31.03.20	RC/BH

PLANNING

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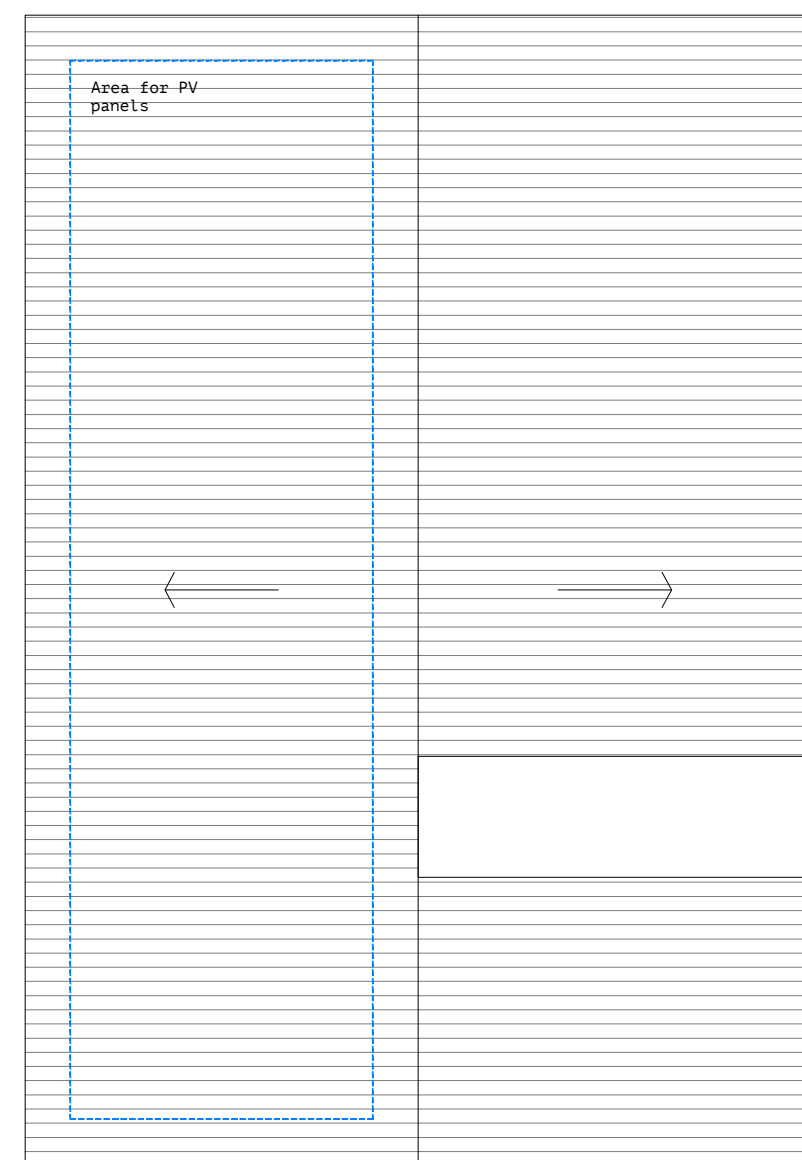
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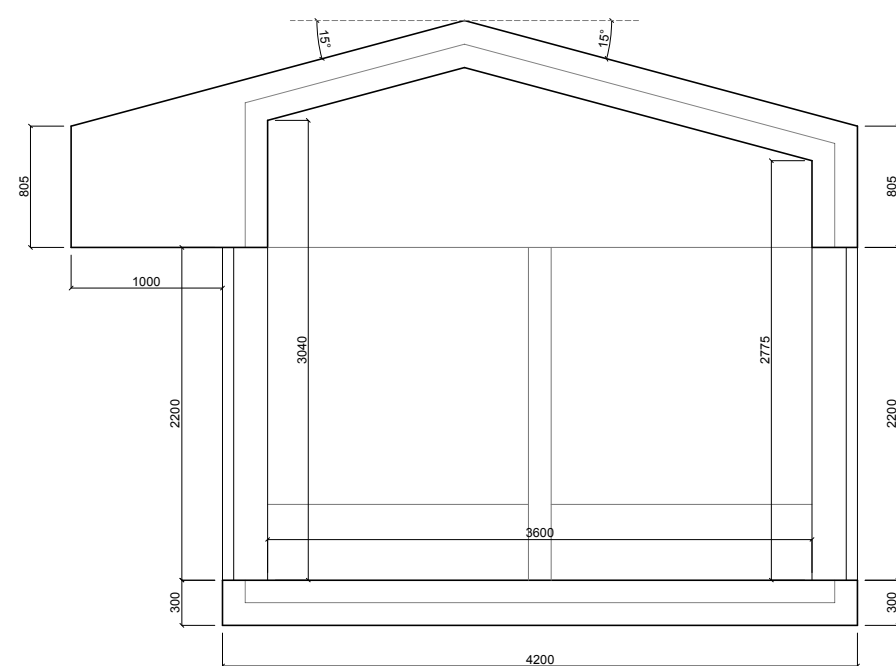
Project	Project No.
The Red House	2018_019
Client	
Kenny & Luzleen Neilson	
Date	March 2020
Scale / Format	1:50 @ A1
Drawn / Checked	RC/BH
Drawing Name	BOTHY - TYPE 2
Drawing No.	L[--]121

M B

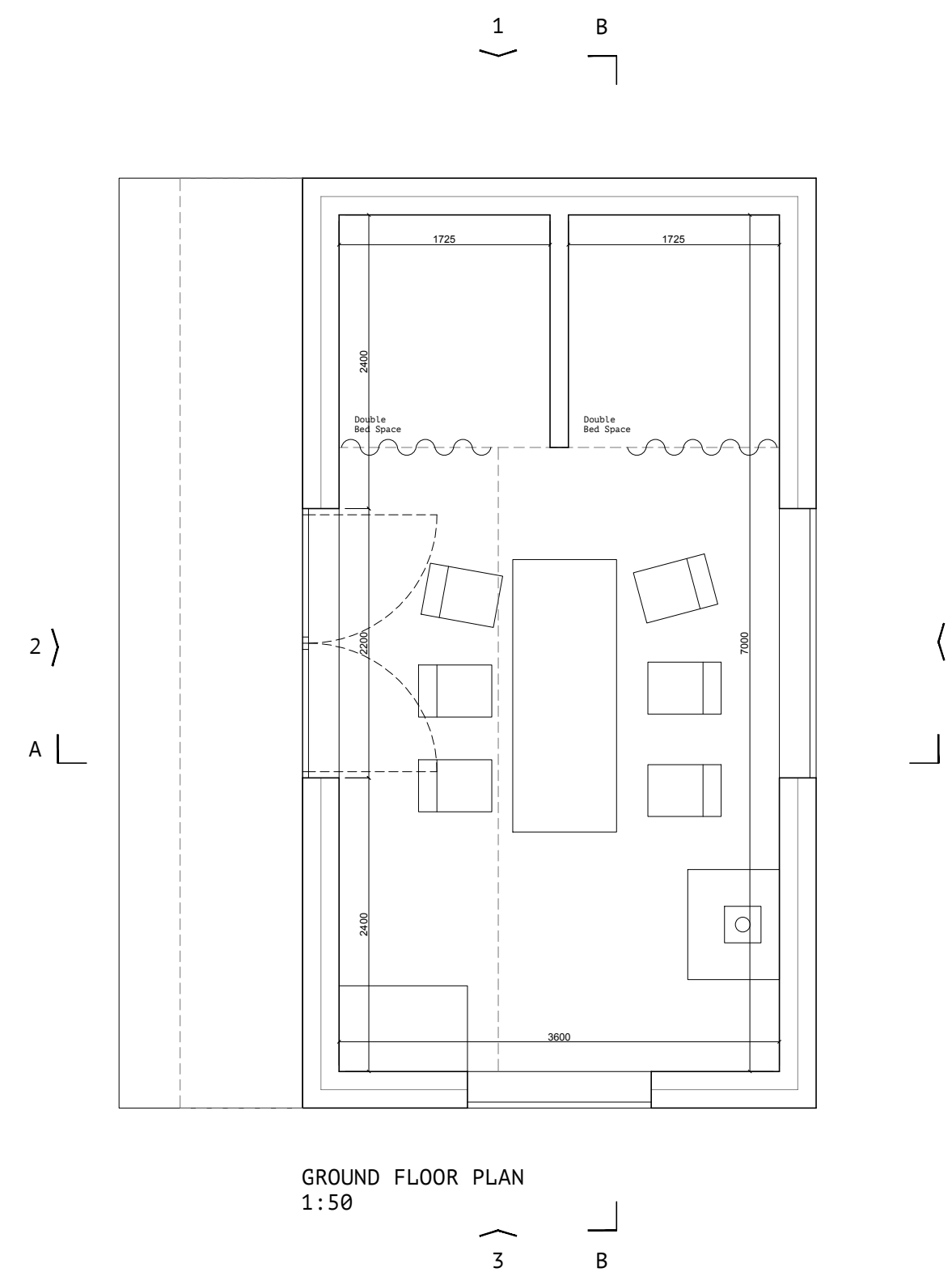
B M



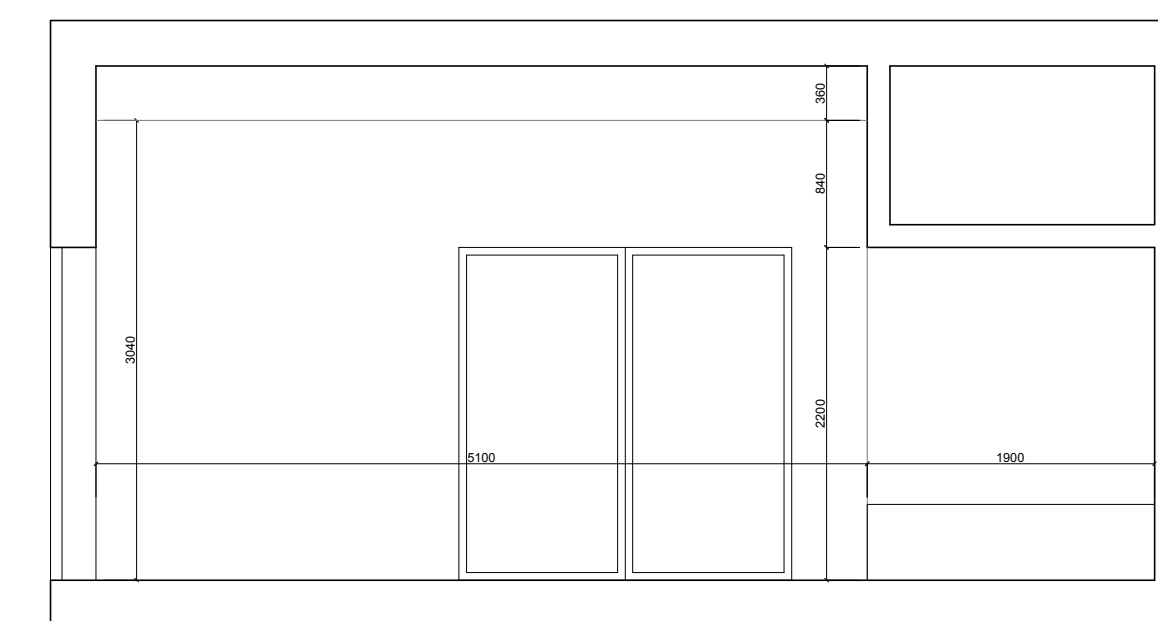
ROOF PLAN
1:50



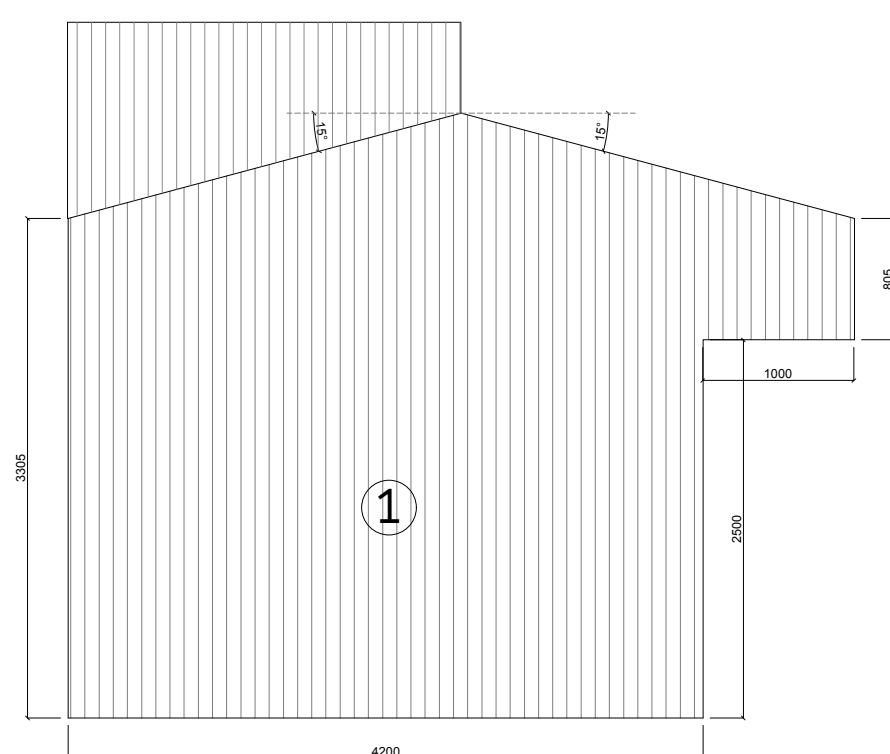
SECTION A-A
1:50



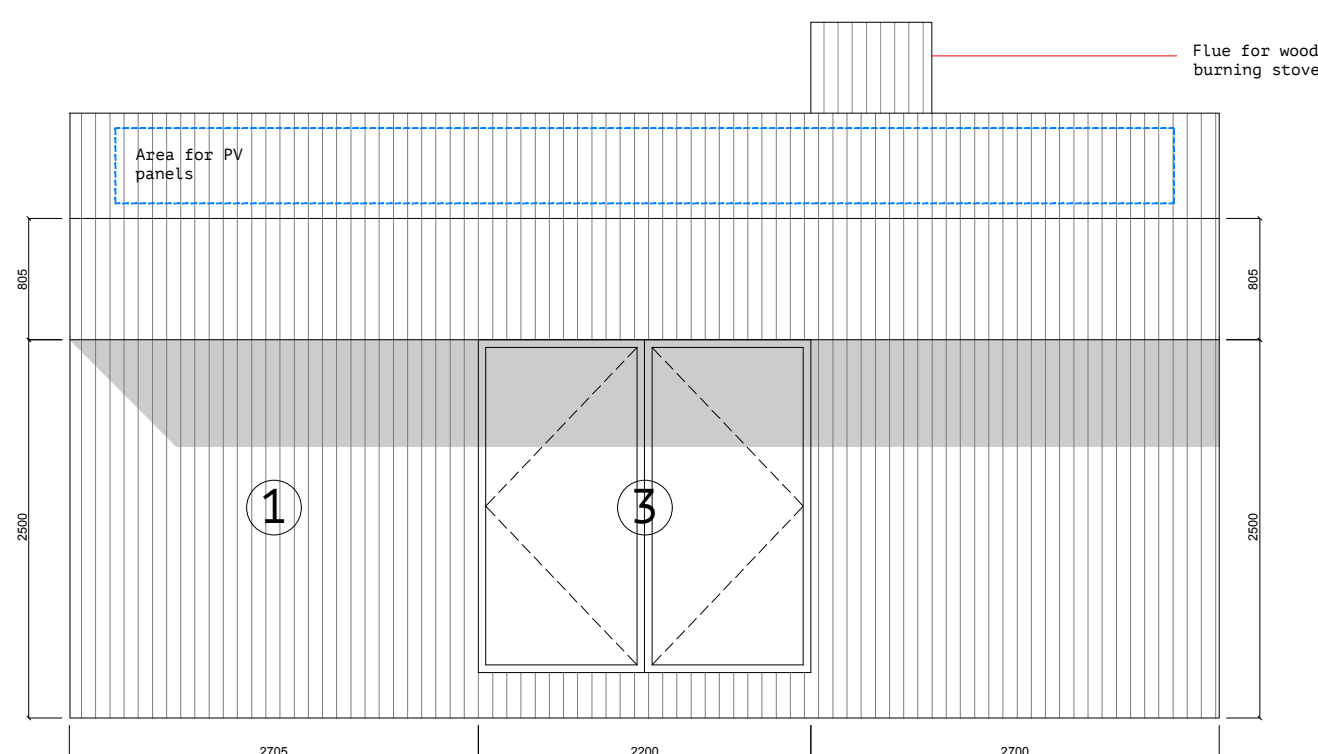
GROUND FLOOR PLAN
1:50



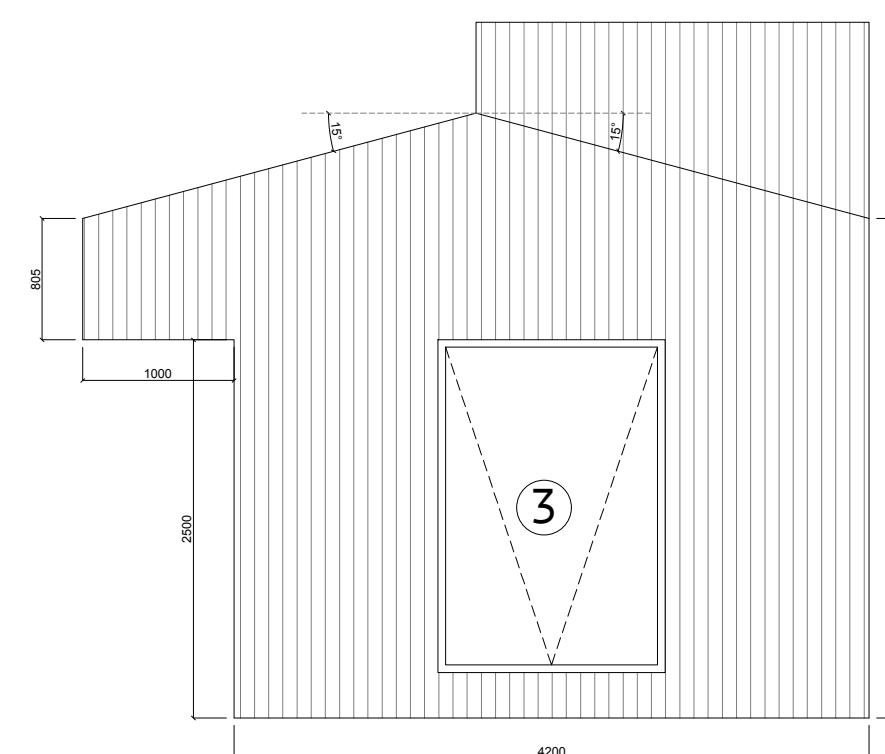
SECTION B-B
1:50



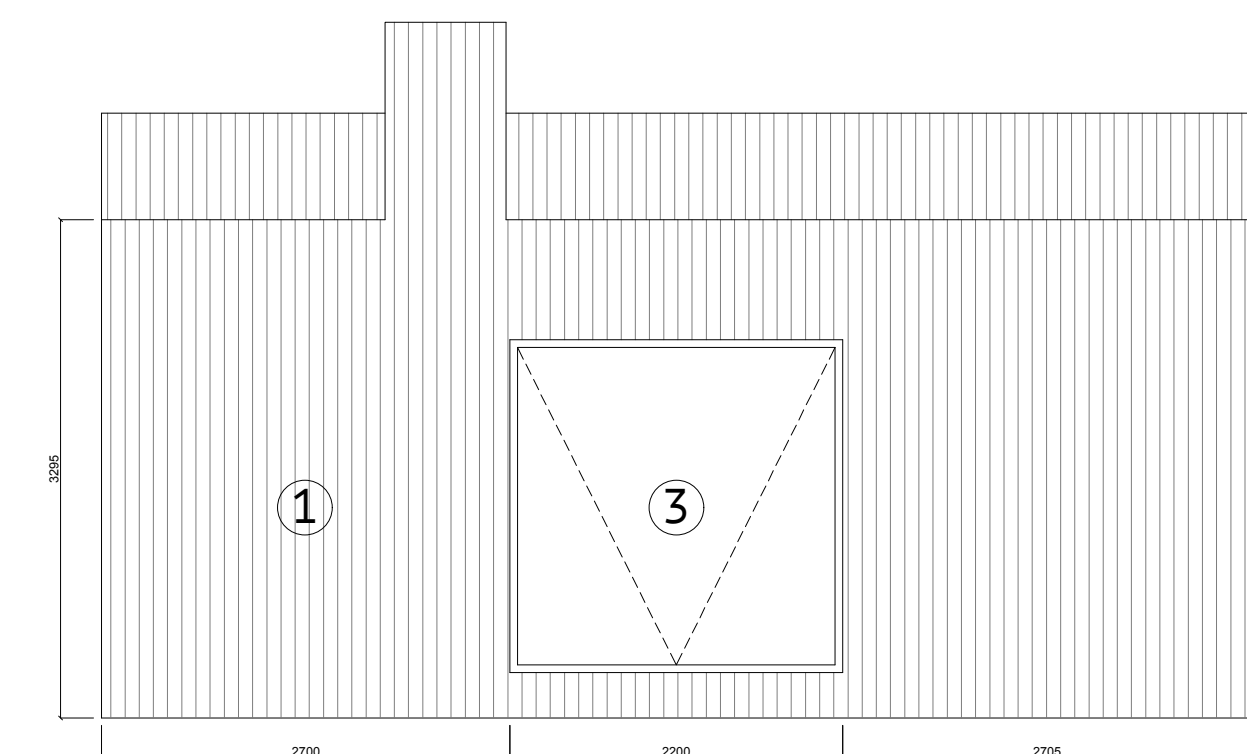
ELEVATION 1
1:50



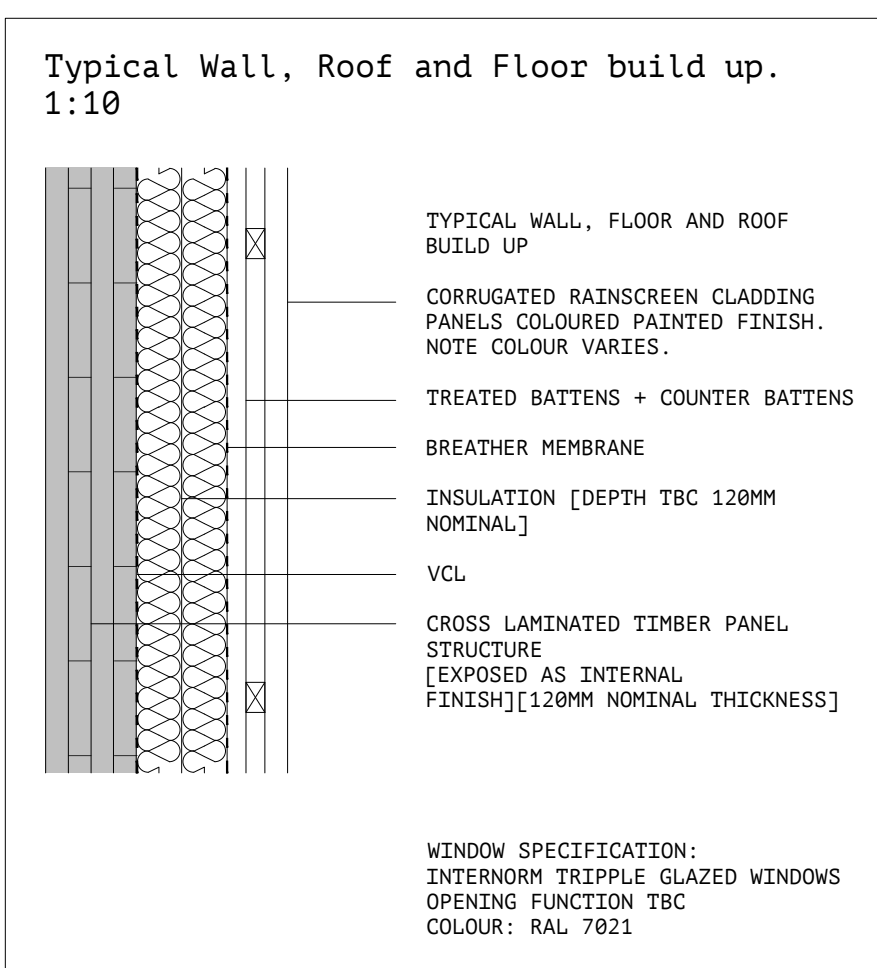
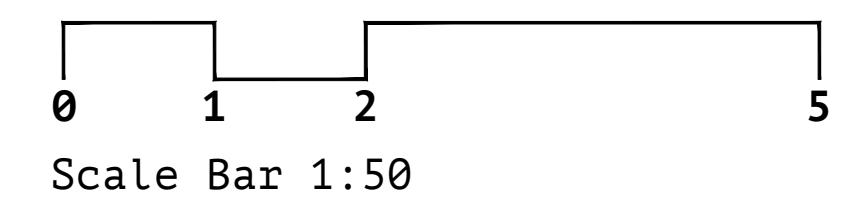
ELEVATION 2
1:50



ELEVATION 3
1:50



ELEVATION 4
1:50



Material Notes

- ① Corrugated Rainscreen Cladding Panels with coloured finish - Refer to L[--]310 for details
- ③ Aluminium clad timber window - colour TBC

Bothy Type 3
25.2sqm

Revision	Description	Date	Check
A	Planning	31.03.20	RC/BH

PLANNING

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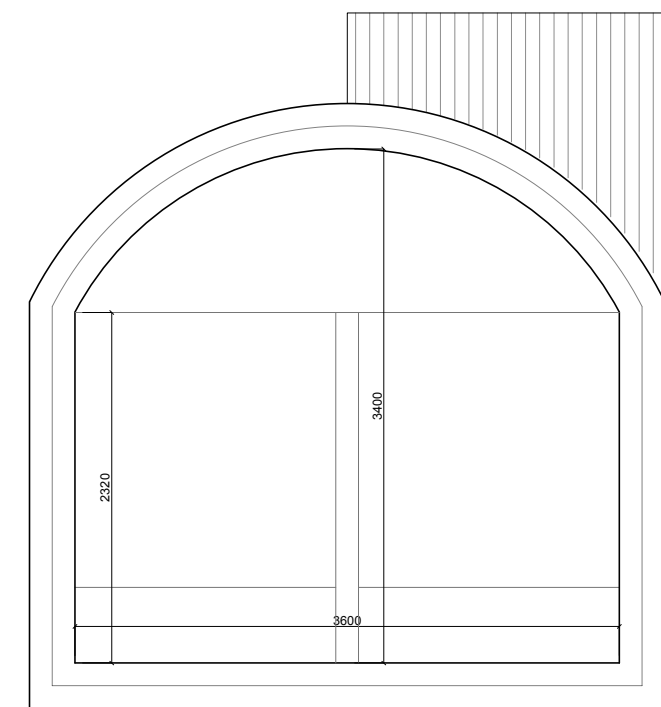
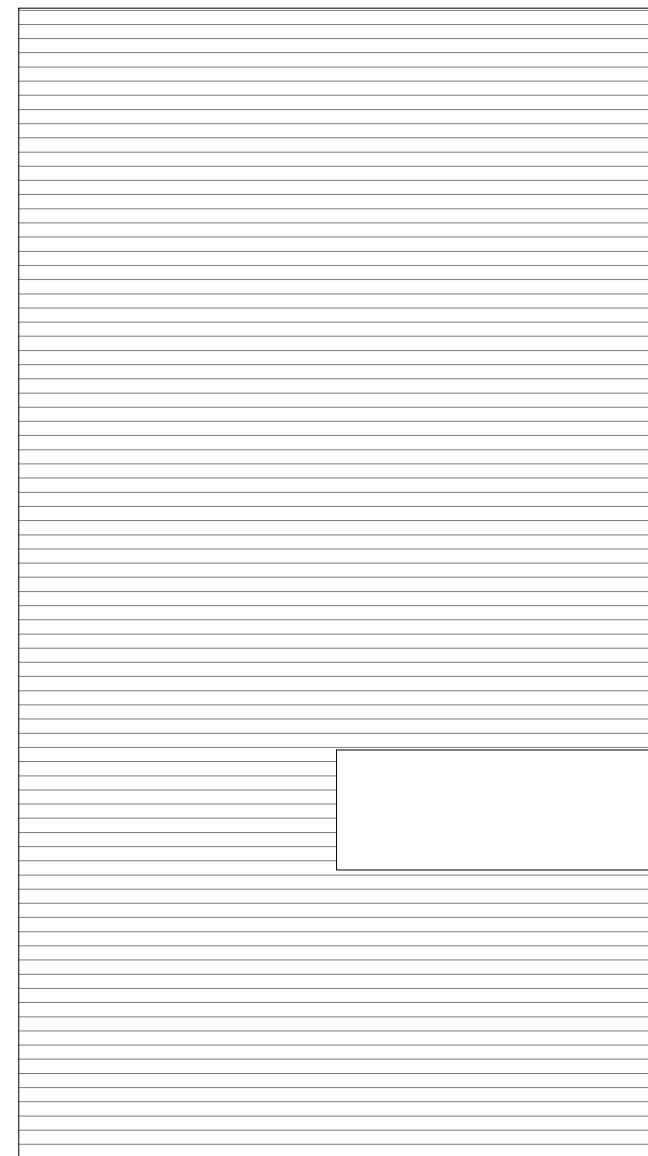
Baltic Chambers
Basement Suite 27
50 Wellington Street
Glasgow
G2 6HJ

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mcginlaybell.com

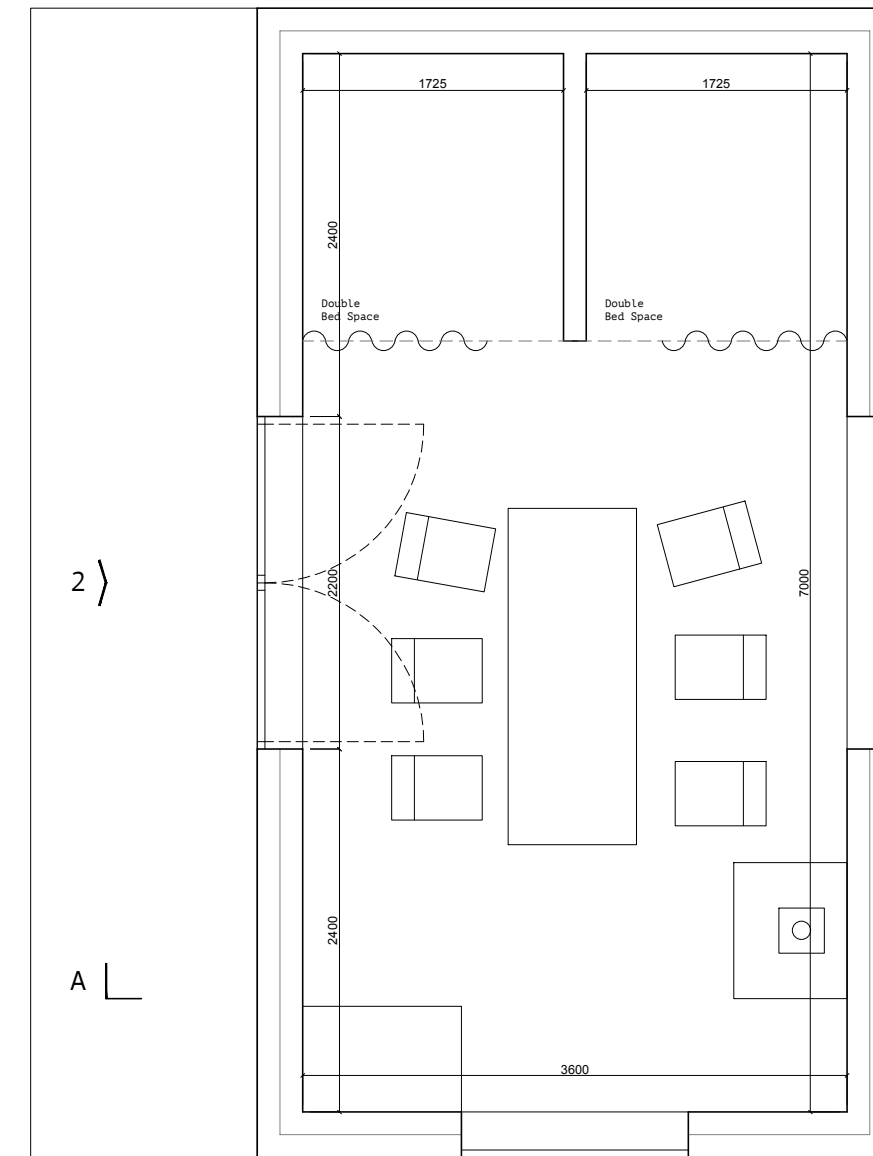
Project	Project No.
The Red House	2018_019
Client	
Kenny & Luzleen Neilson	
Date	March 2020
Scale / Format	1:50 @ A1
Drawn / Checked	RC/BH
Drawing Name	
BOTHY - TYPE 3	L[--]-J122

M B

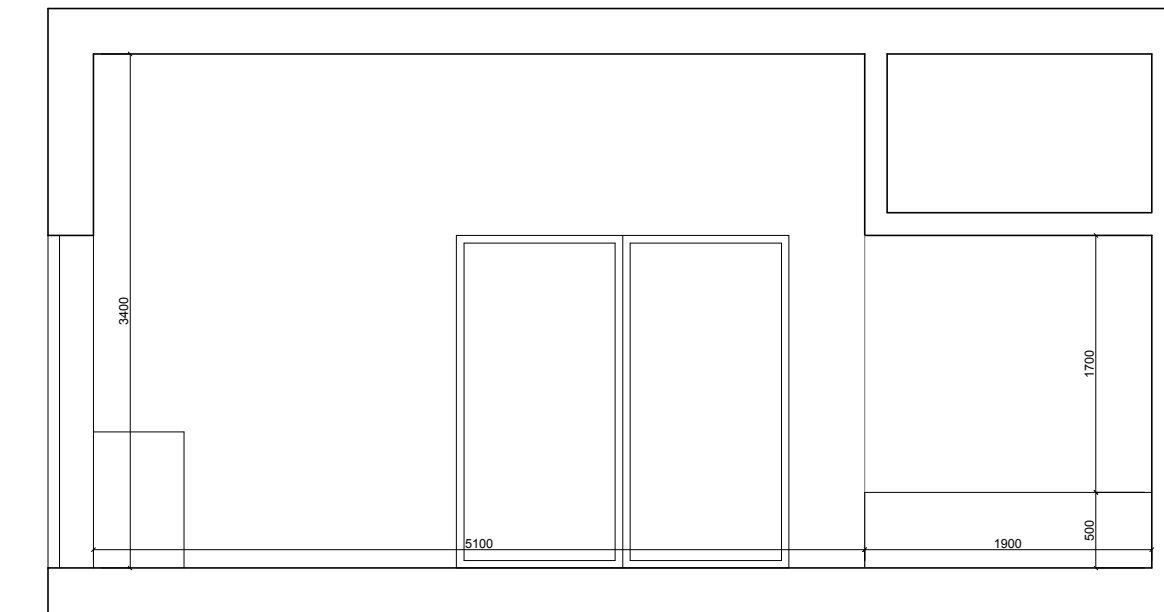
B M



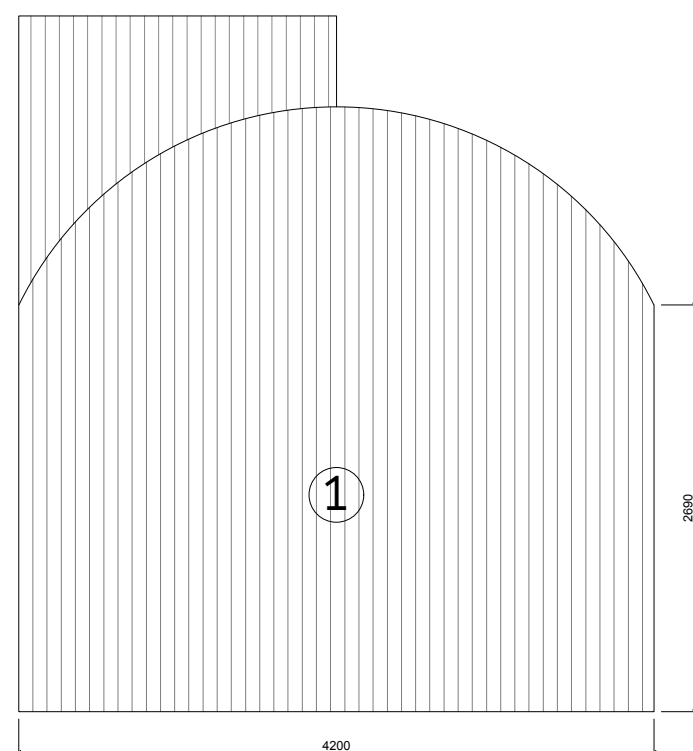
SECTION A-A
1:50



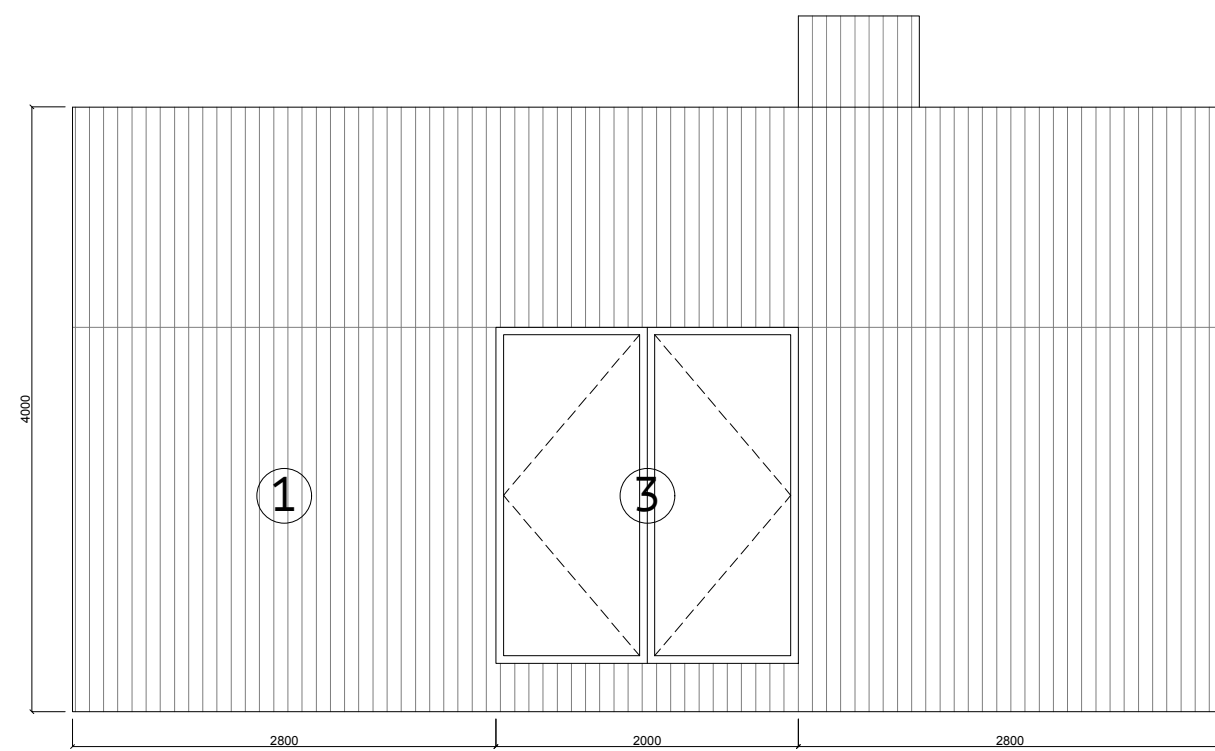
GROUND FLOOR PLAN
1:50



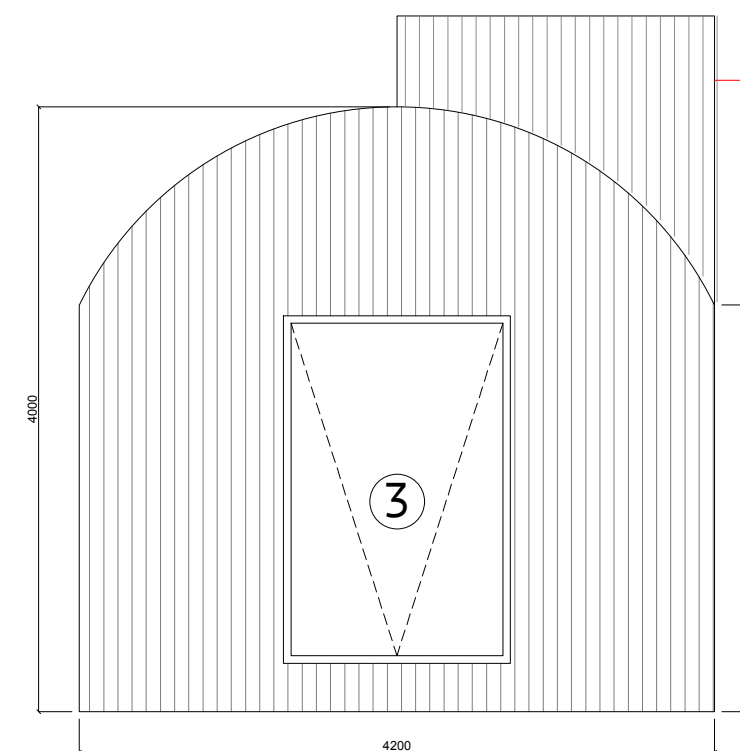
SECTION B-B
1:50



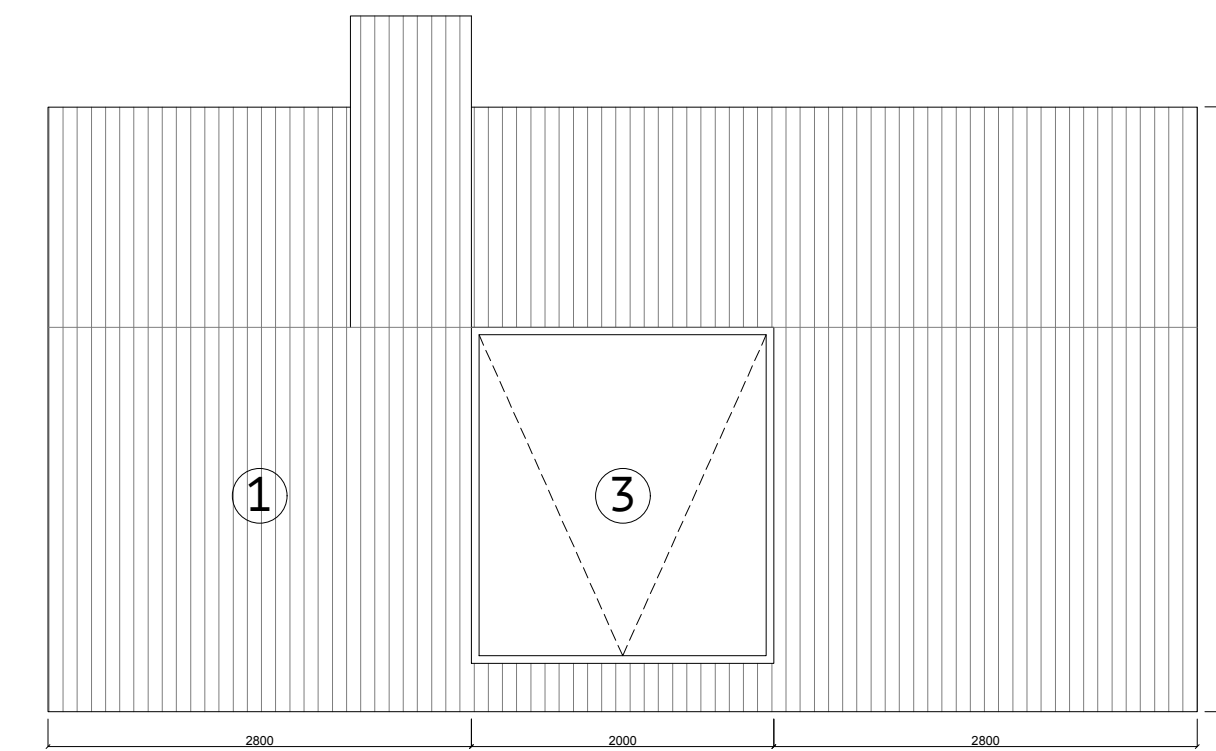
ELEVATION 1
1:50



ELEVATION 2
1:50



ELEVATION 3
1:50

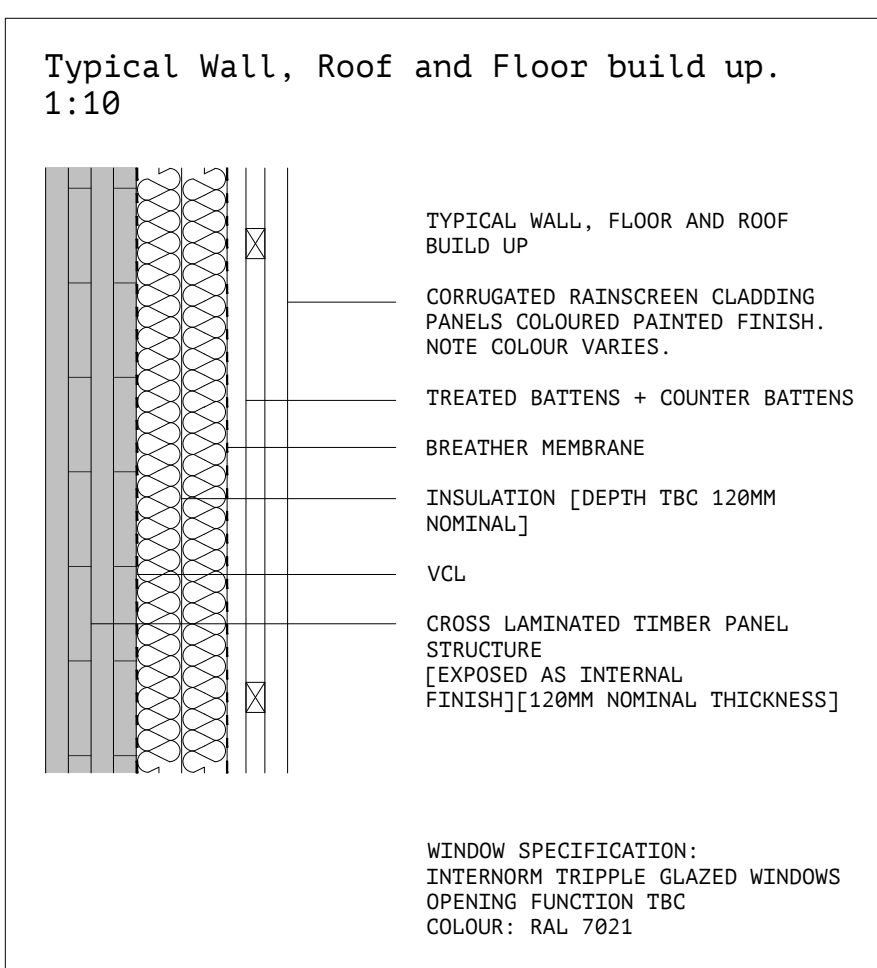


ELEVATION 4
1:50



Scale Bar 1:50

Bothy Type 4
25.2sqm



Material Notes

- ① Corrugated Rainscreen Cladding Panels with coloured finish - Refer to L[---]310 for details
- ③ Aluminium clad timber window - colour TBC

Revision	Description	Date	Check
A	Planning	31.03.20	RC/BH

PLANNING

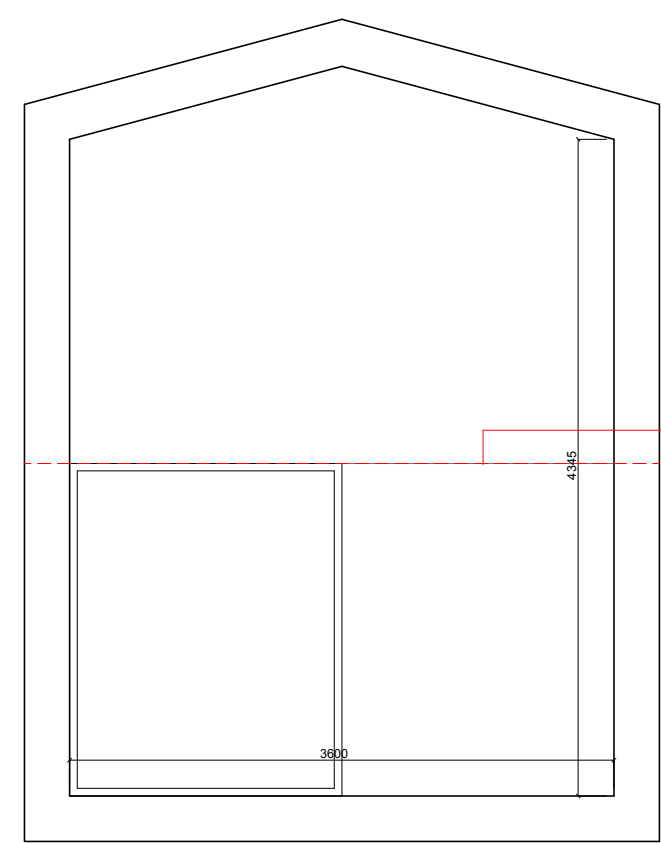
McGinlay Bell

Baltic Chambers
Basement Suite 27
50 Wellington Street
Glasgow
G2 6HJ
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mcginlaybell.com

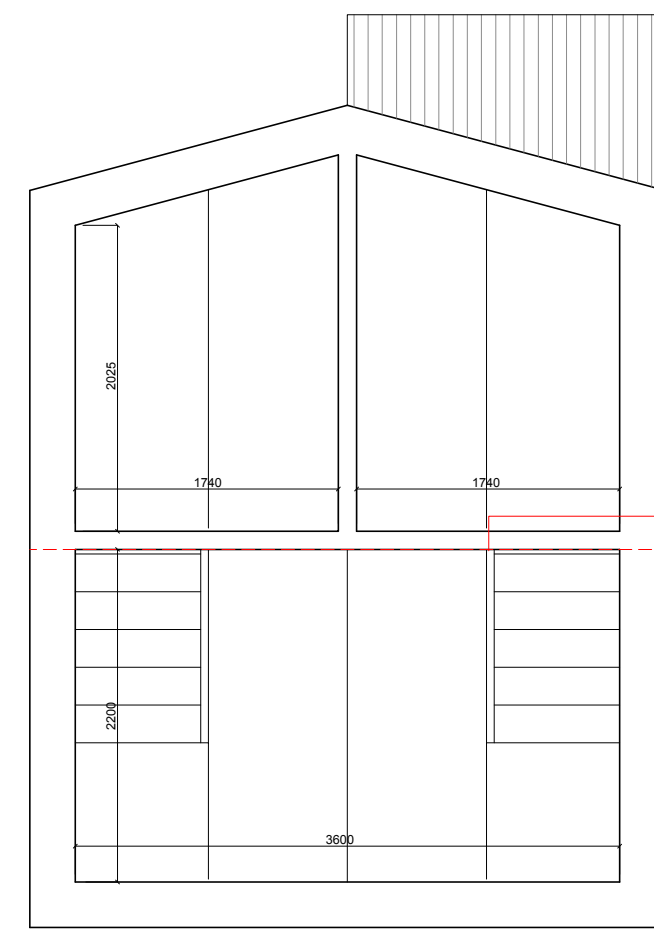
Project	Project No.
The Red House	2018_019
Client	Kenny & Luileen Neilson
Date	March 2020
Scale / Format	1:50 @ A1
Drawn / Checked	RC/BH
Drawing Name	BOTHY - TYPE 4
Drawing NB.	L[---]123

M B

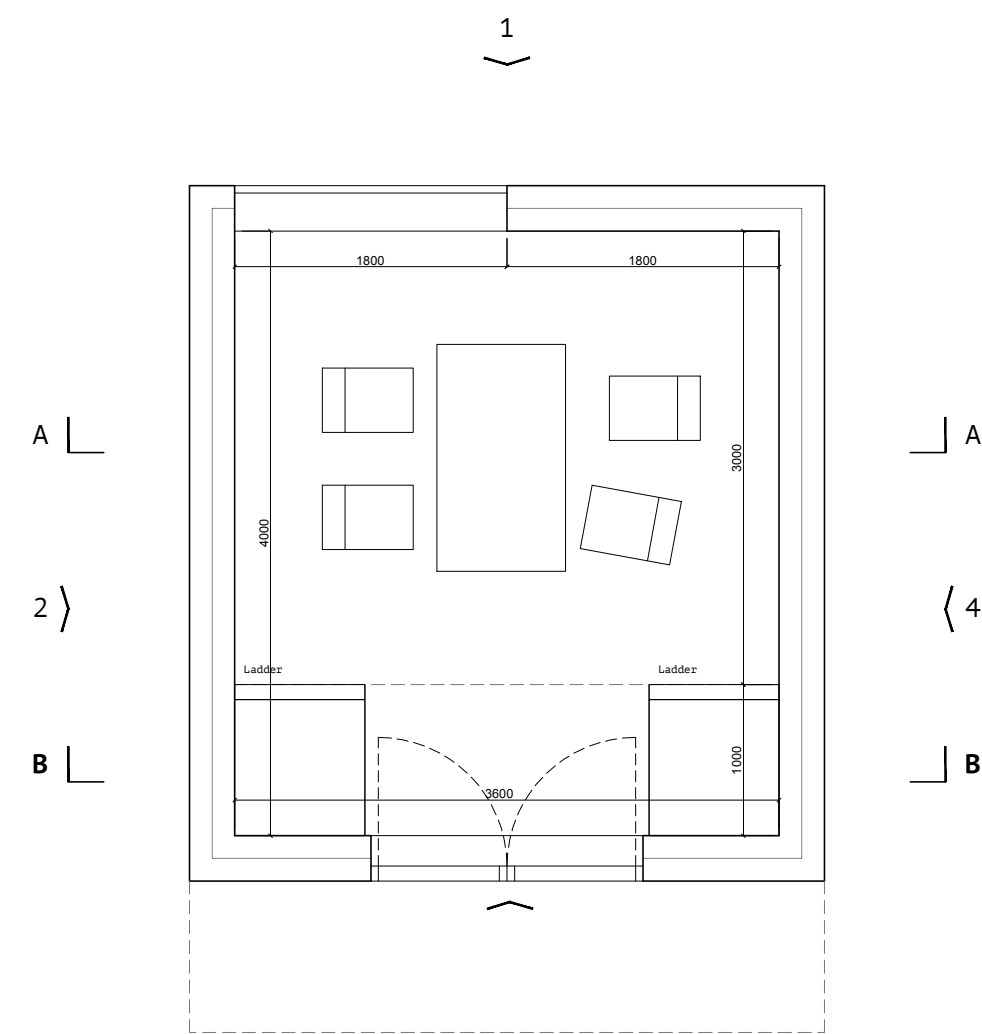
B M



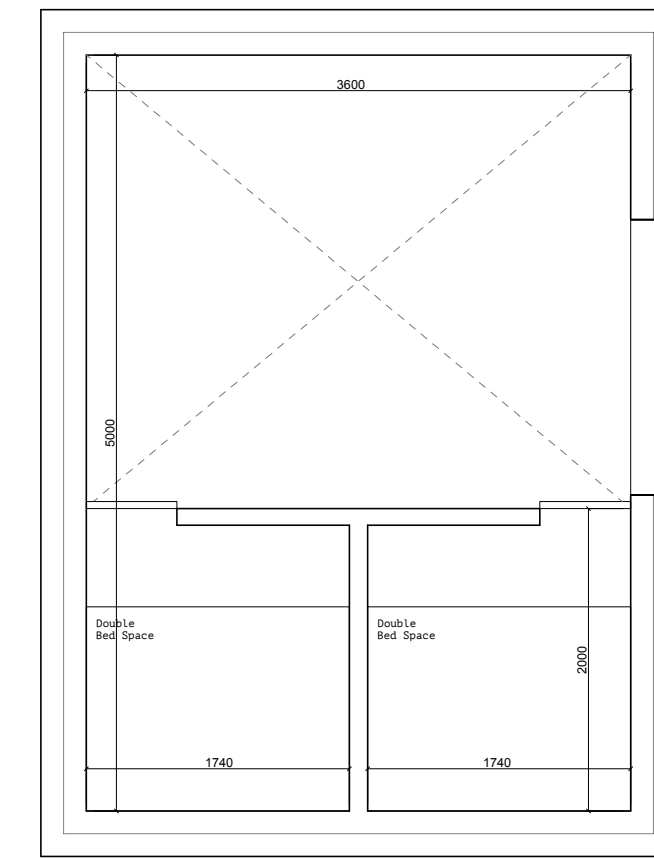
SECTION A-A
1:50



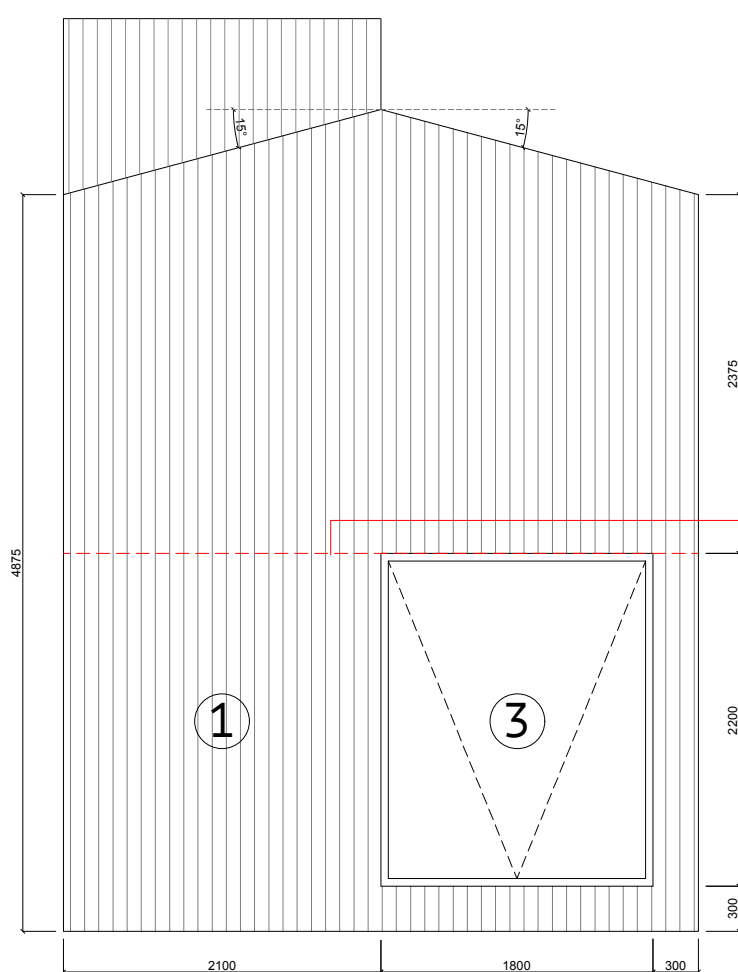
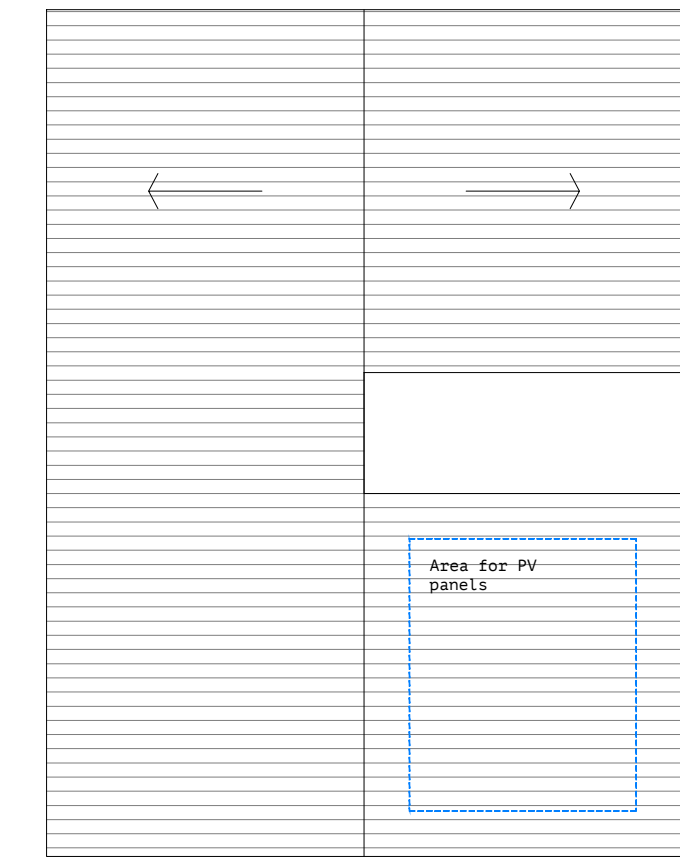
SECTION B-B
1:50



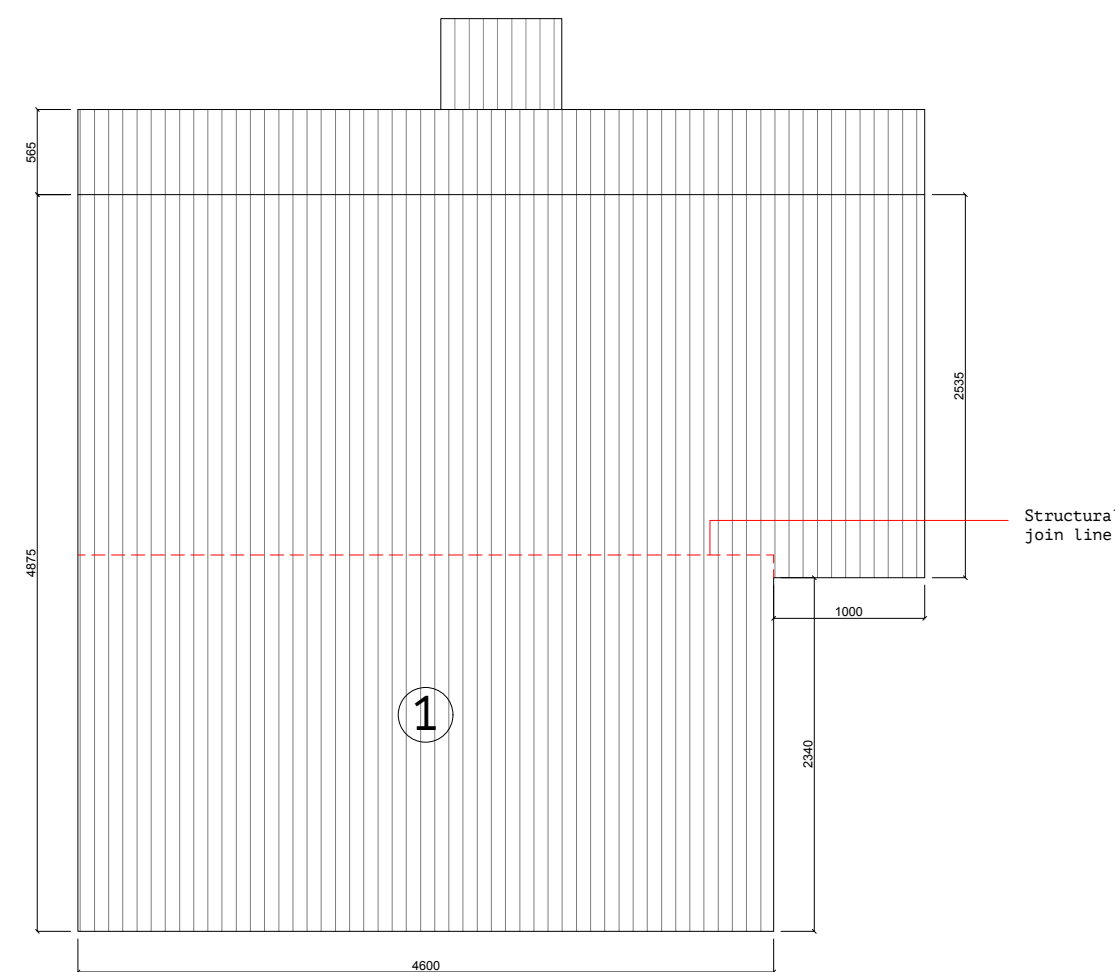
GROUND FLOOR PLAN
1:50



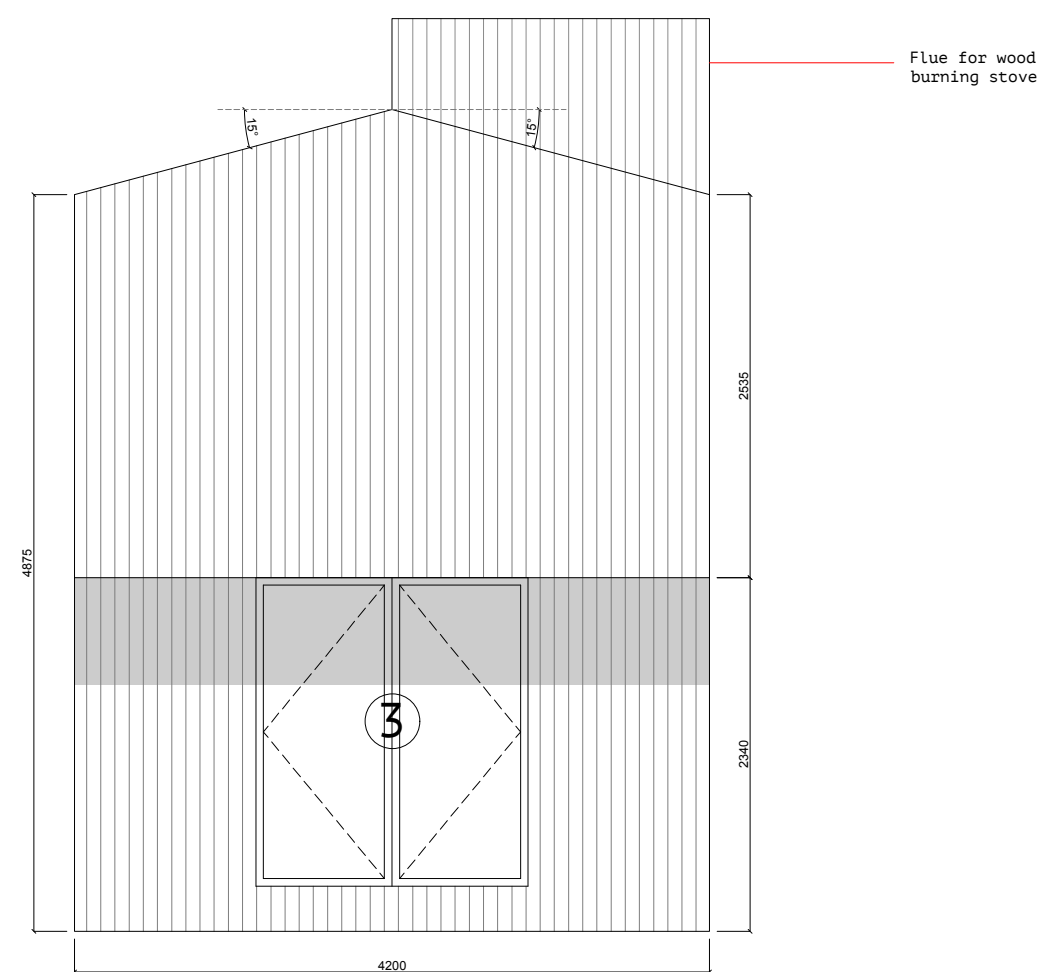
1st FLOOR PLAN
1:50



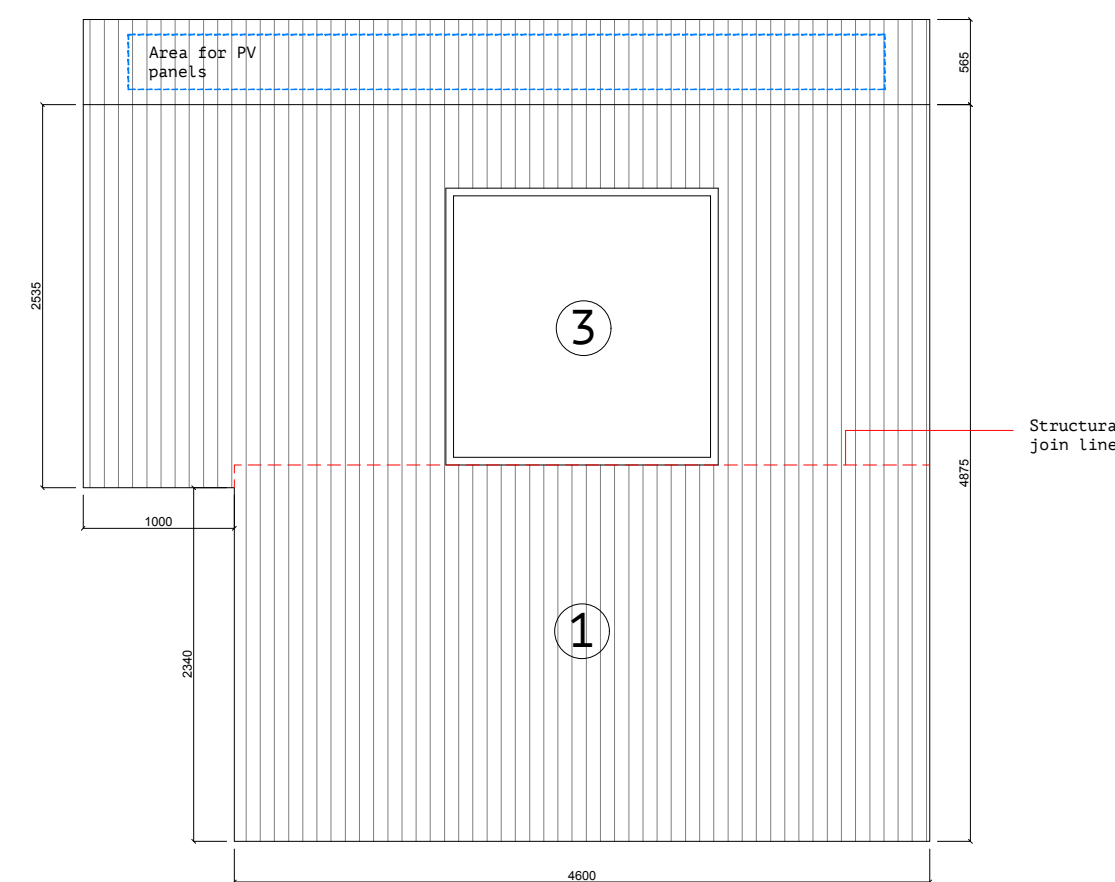
ELEVATION 1
1:50



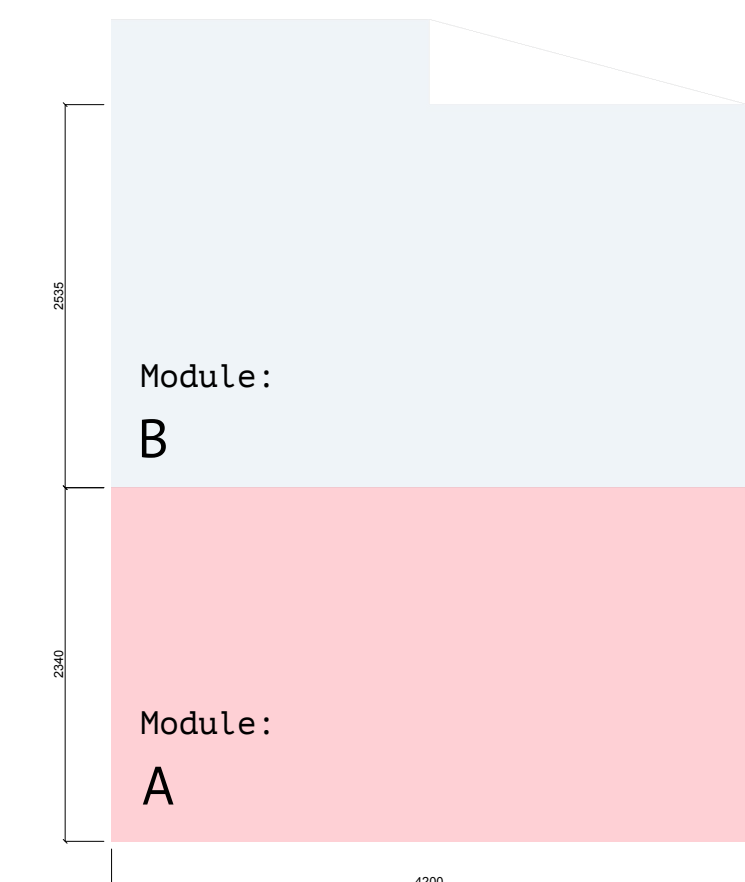
ELEVATION 2
1:50



ELEVATION 3
1:50



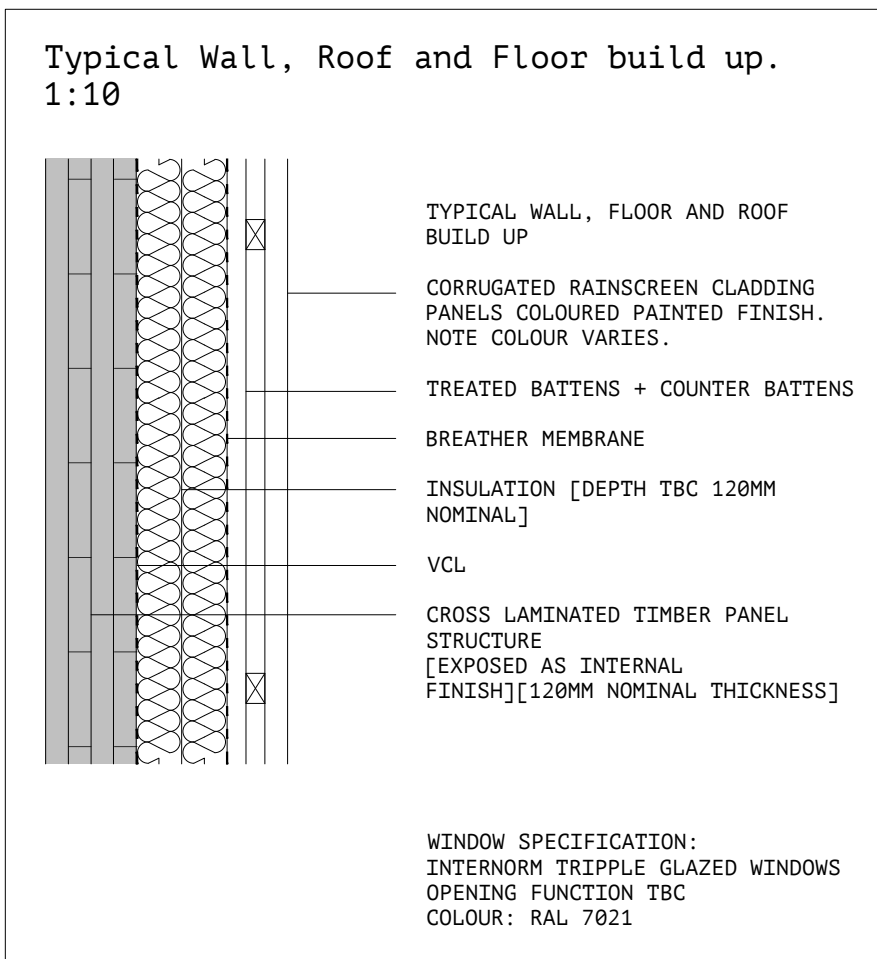
ELEVATION 4
1:50



MODULE SPLIT
1:50

Scale Bar 1:50

Bothy Type 5
21.2sqm



Material Notes

- ① Corrugated Rainscreen Cladding Panels with coloured finish - Refer to L[--]310 for details
- ③ Aluminium clad timber window - colour TBC

Notes:

- Bothy Type E is to be pre-fabricated in two sections and assembled on site - See Module diagram for details
- Junction in cladding and waterproofing between sections TBC with architect and manufacturer

Revision	Description	Date	Check
A	Planning	31.03.20	RC/BH

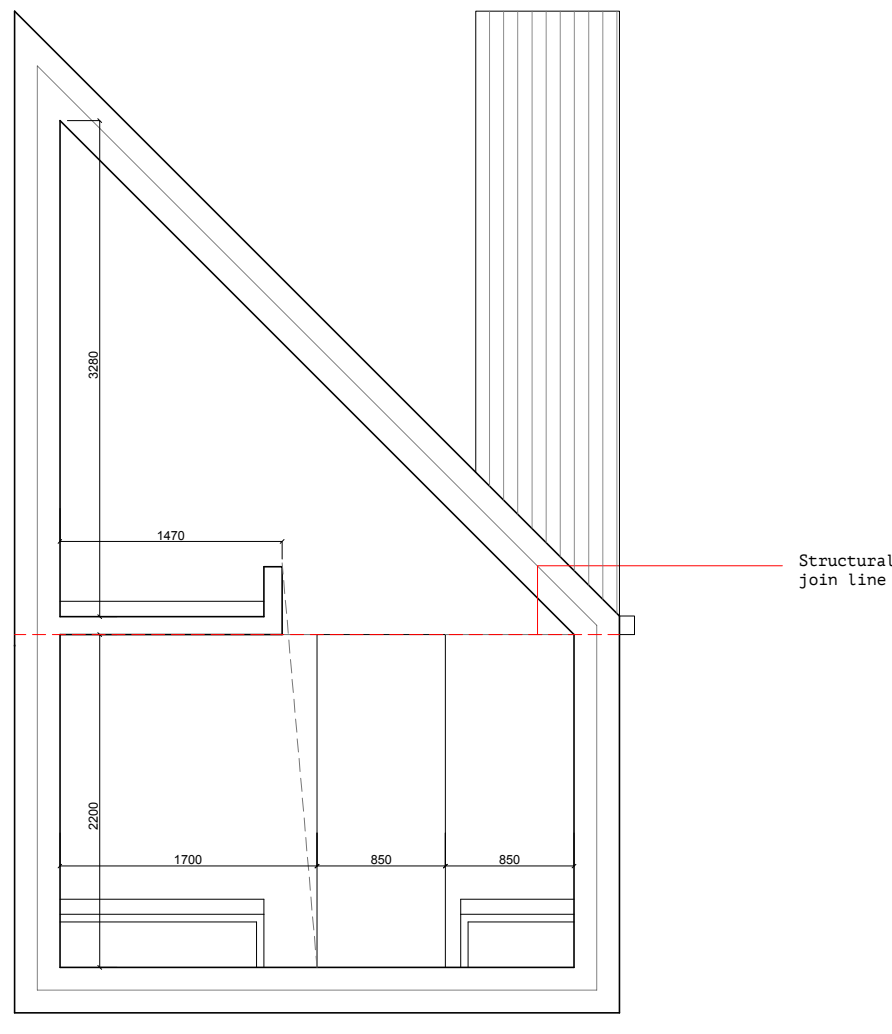
PLANNING

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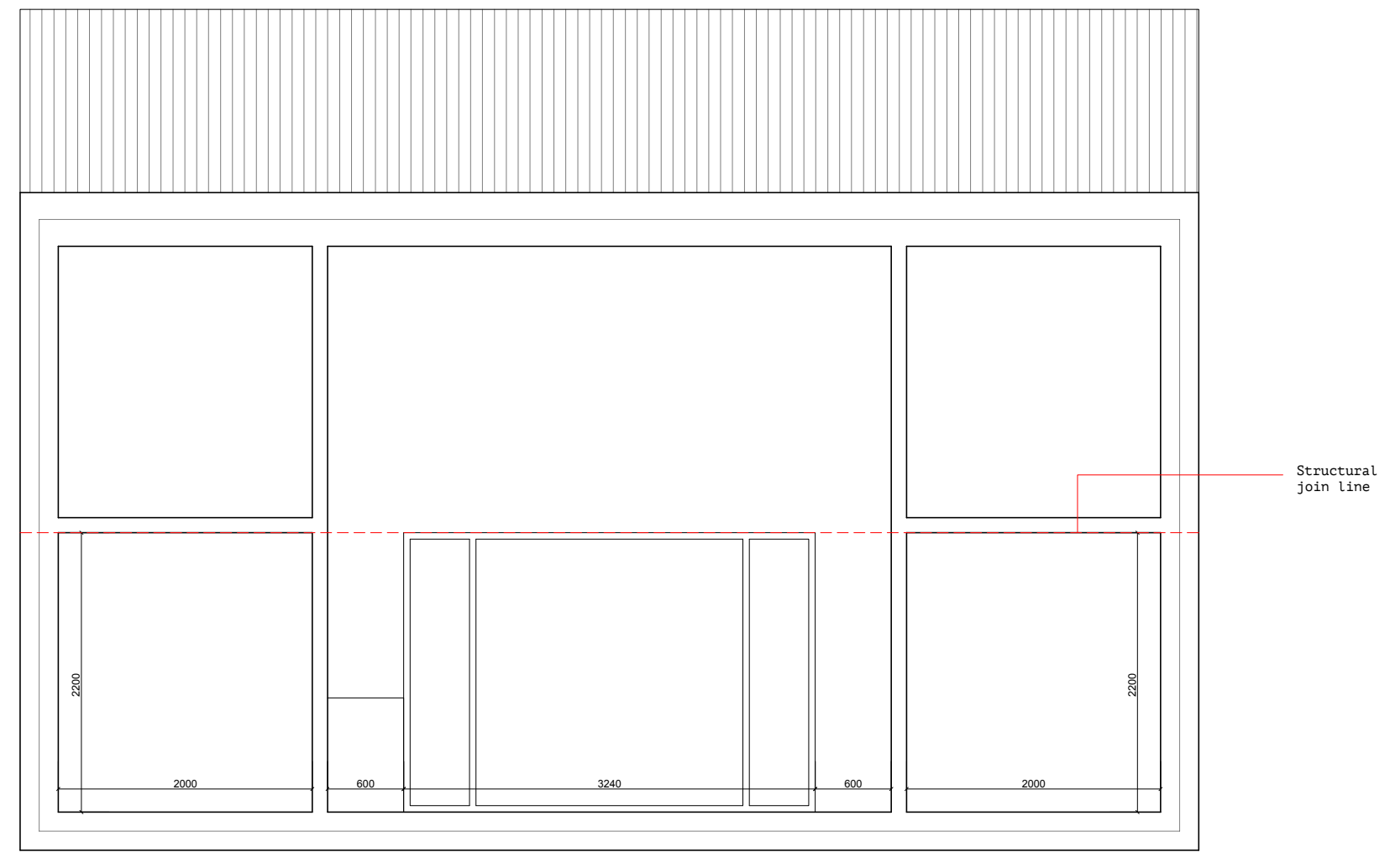
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Glasgow
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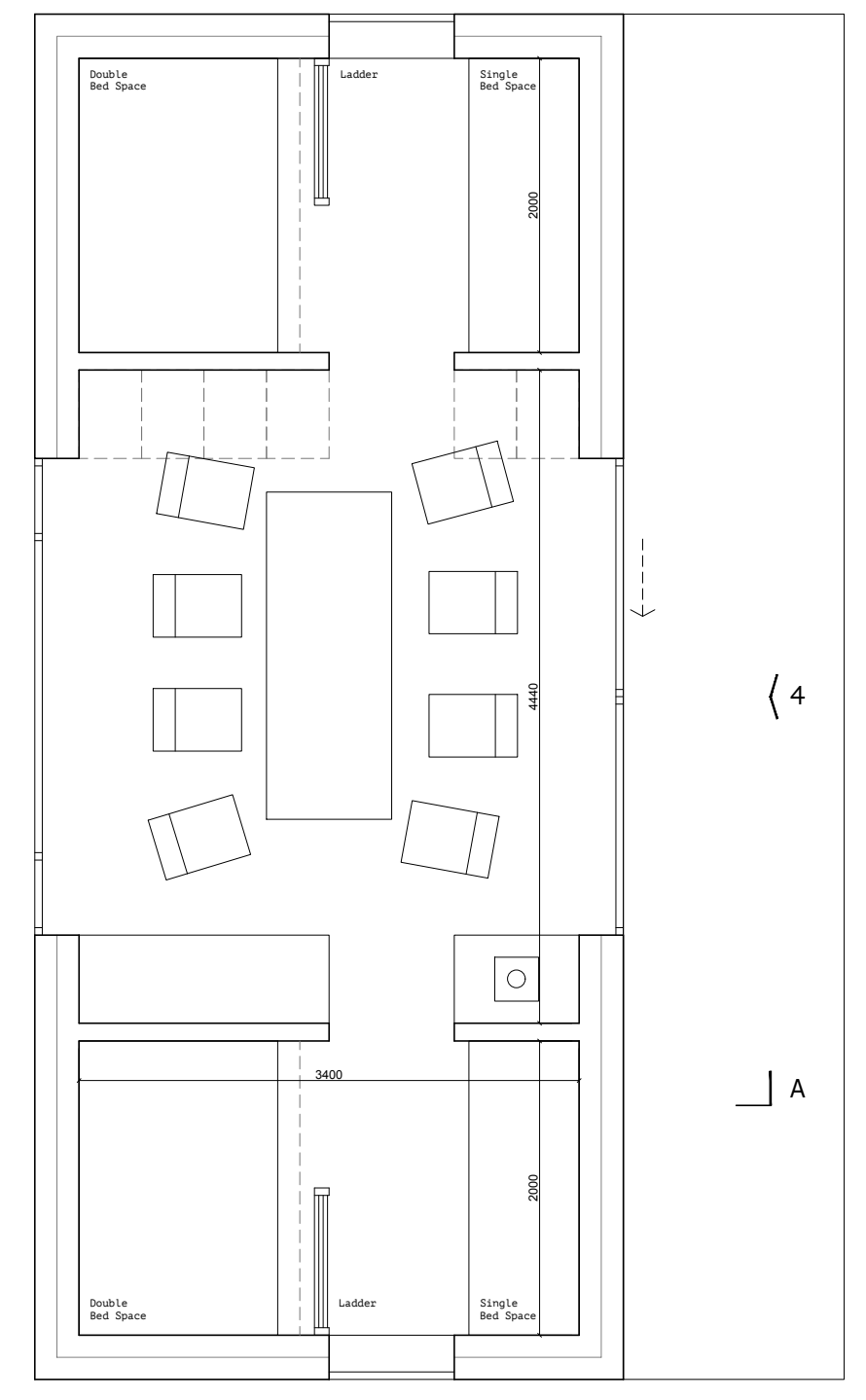
Project	The Red House	Project No.	2018_019
Client	Kenny & Luzleen Neilson	Date	March 2020
Scale / Format	1:20 @ A1	Drawn / Checked	RC/BH
Drawing Name	BOTHY - TYPE 5	Drawing NB.	L[--]124



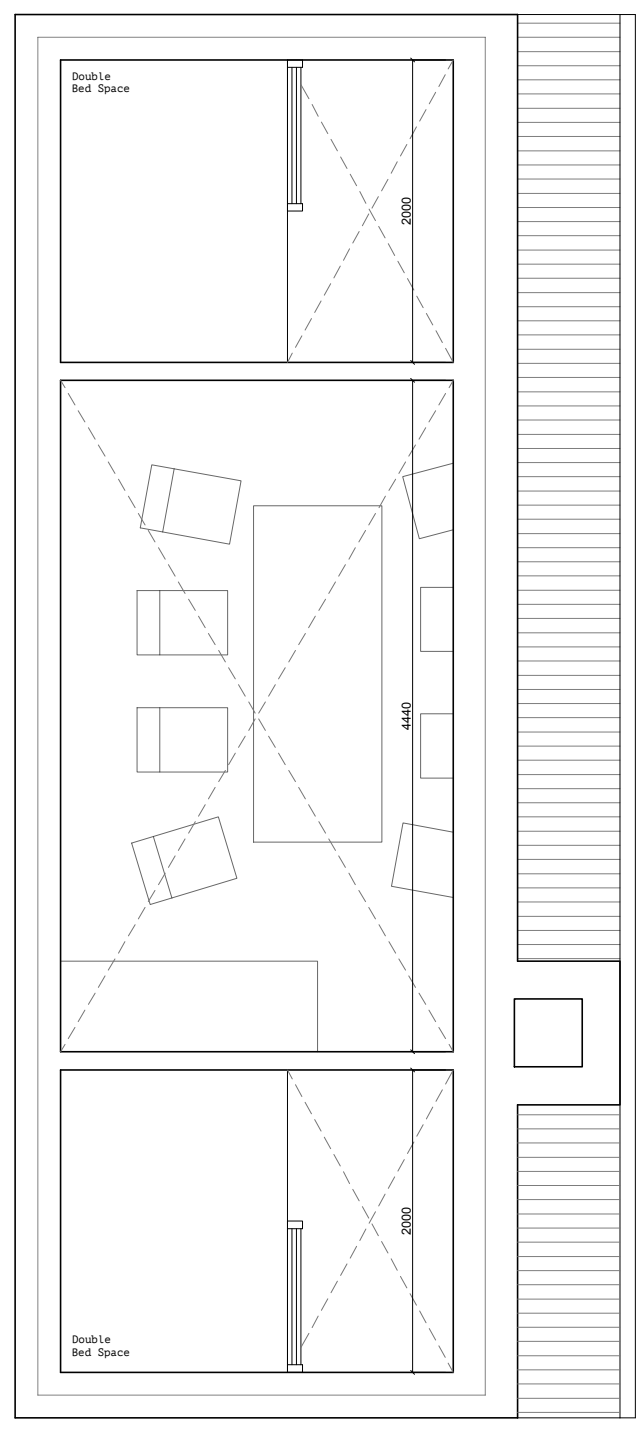
SECTION A-A
1:50



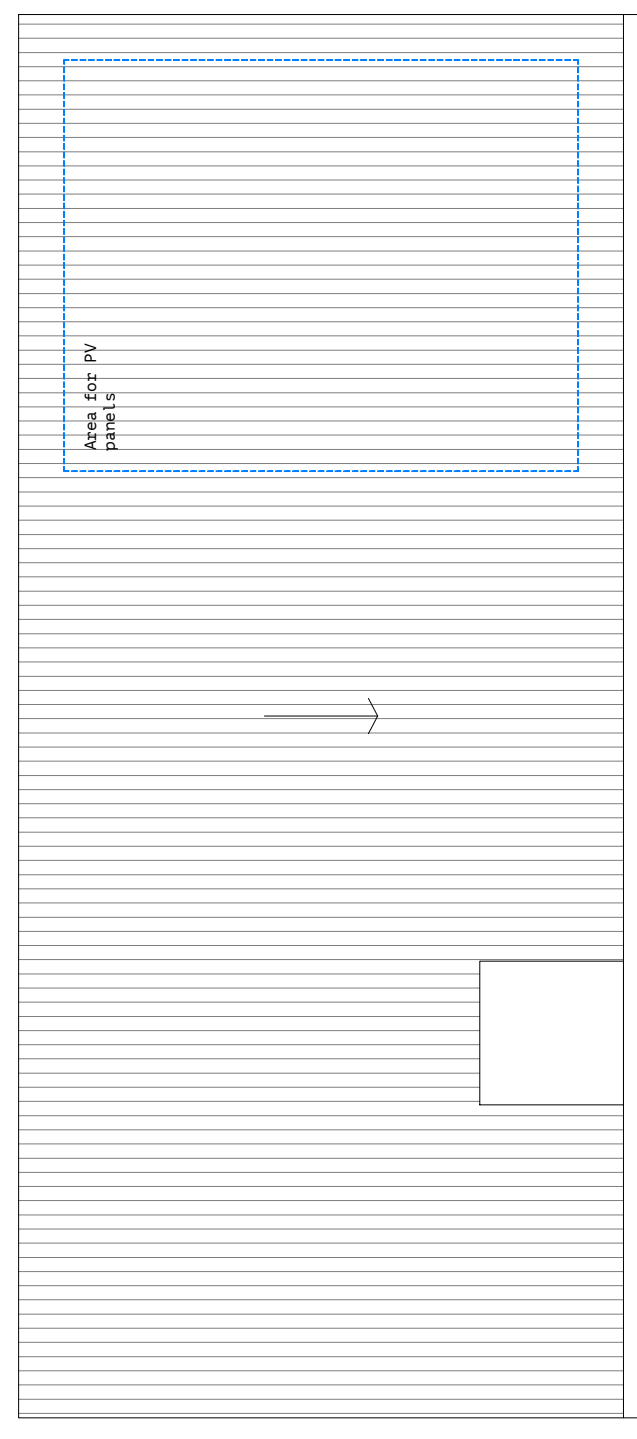
SECTION B-B
1:50



GROUND FLOOR PLAN
1:50

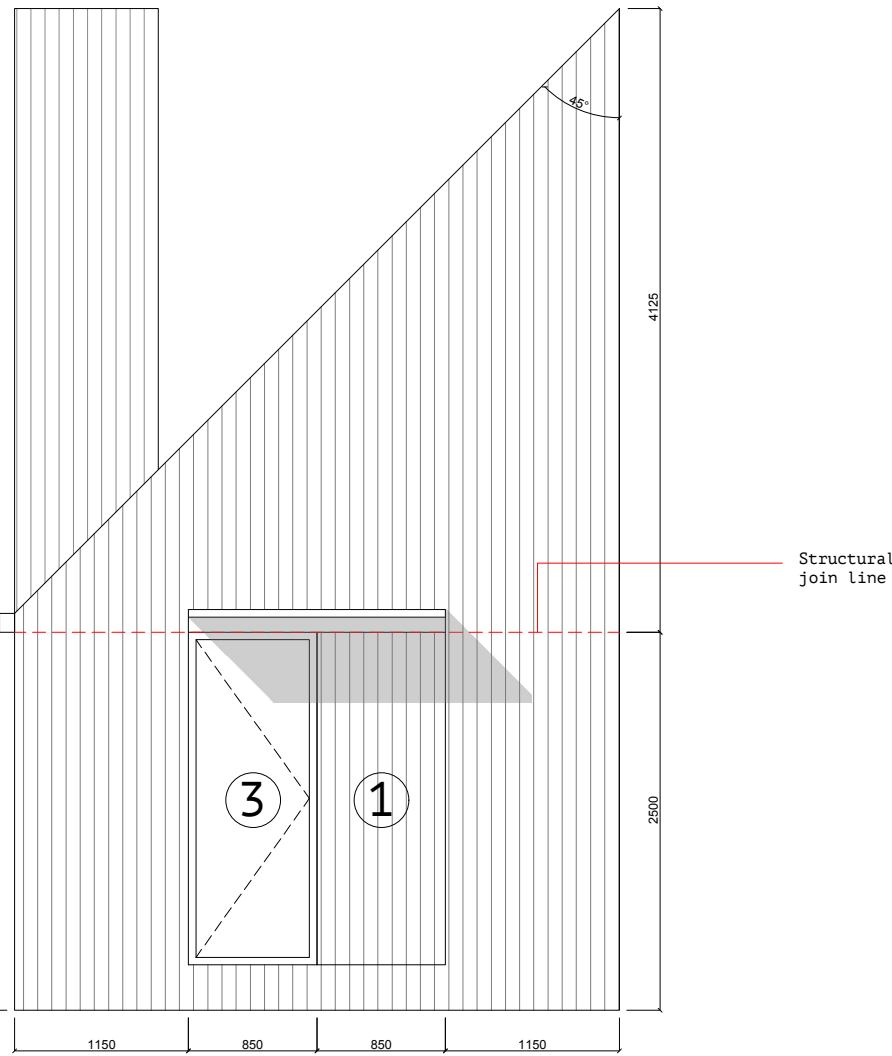


GROUND FLOOR PLAN
1:50

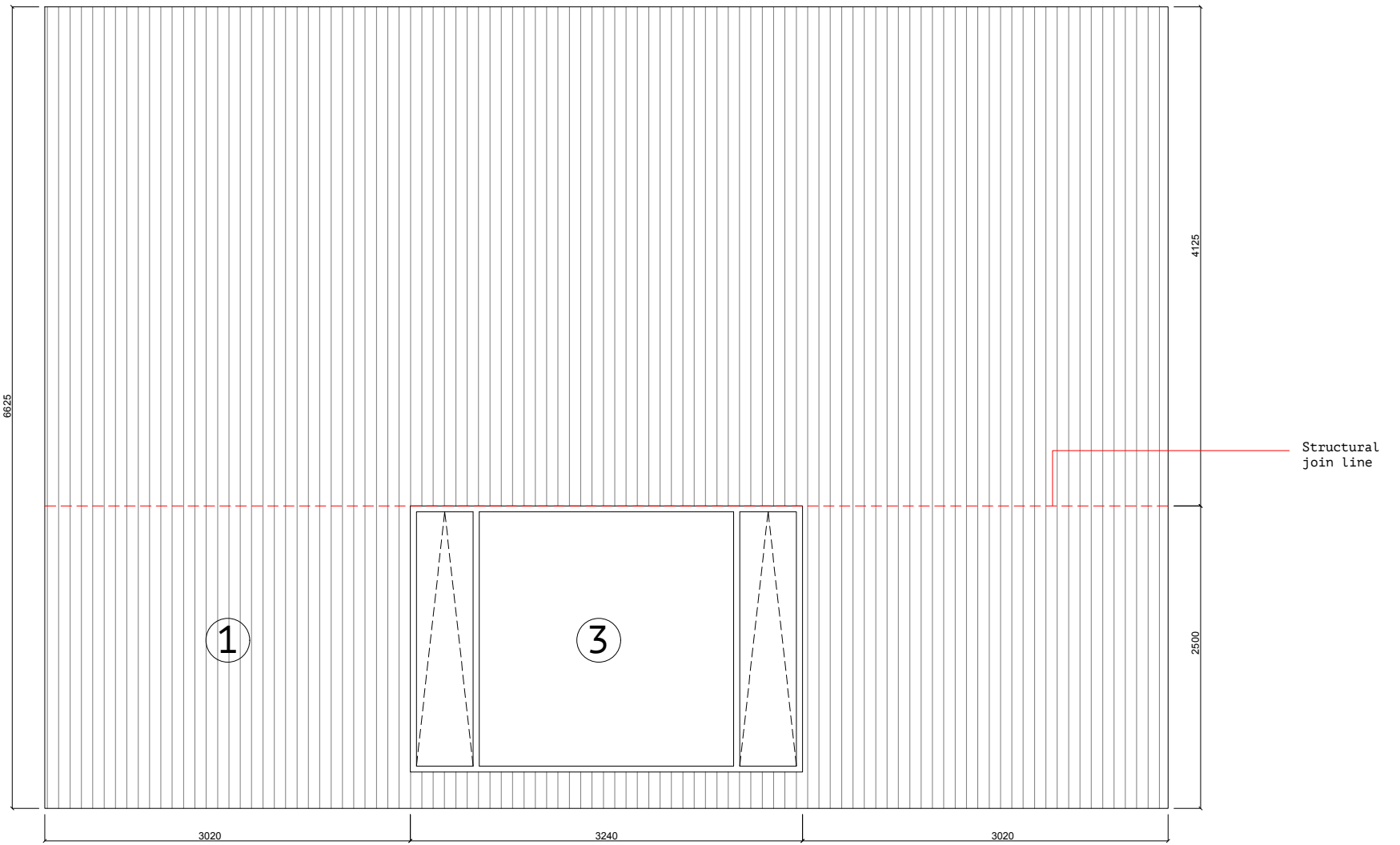


ROOF PLAN
1:50

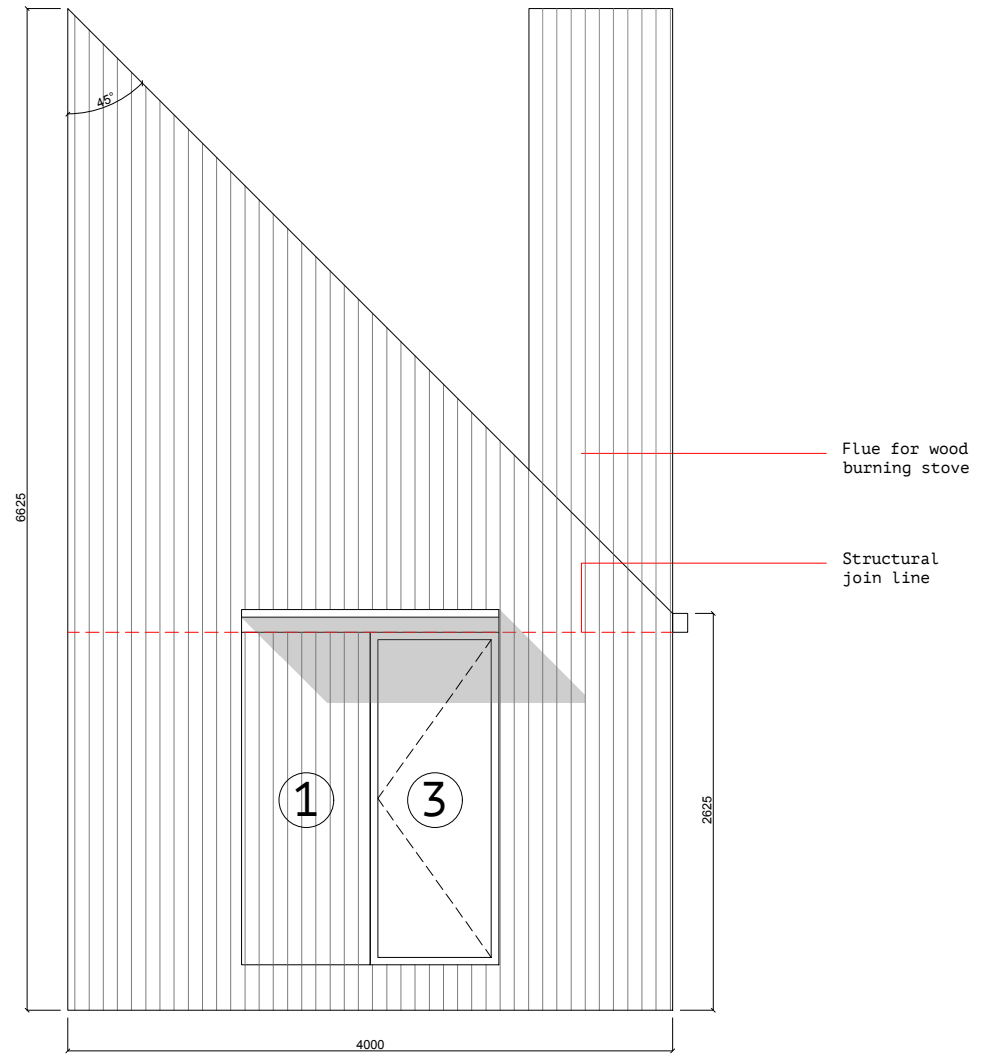
M B
B M



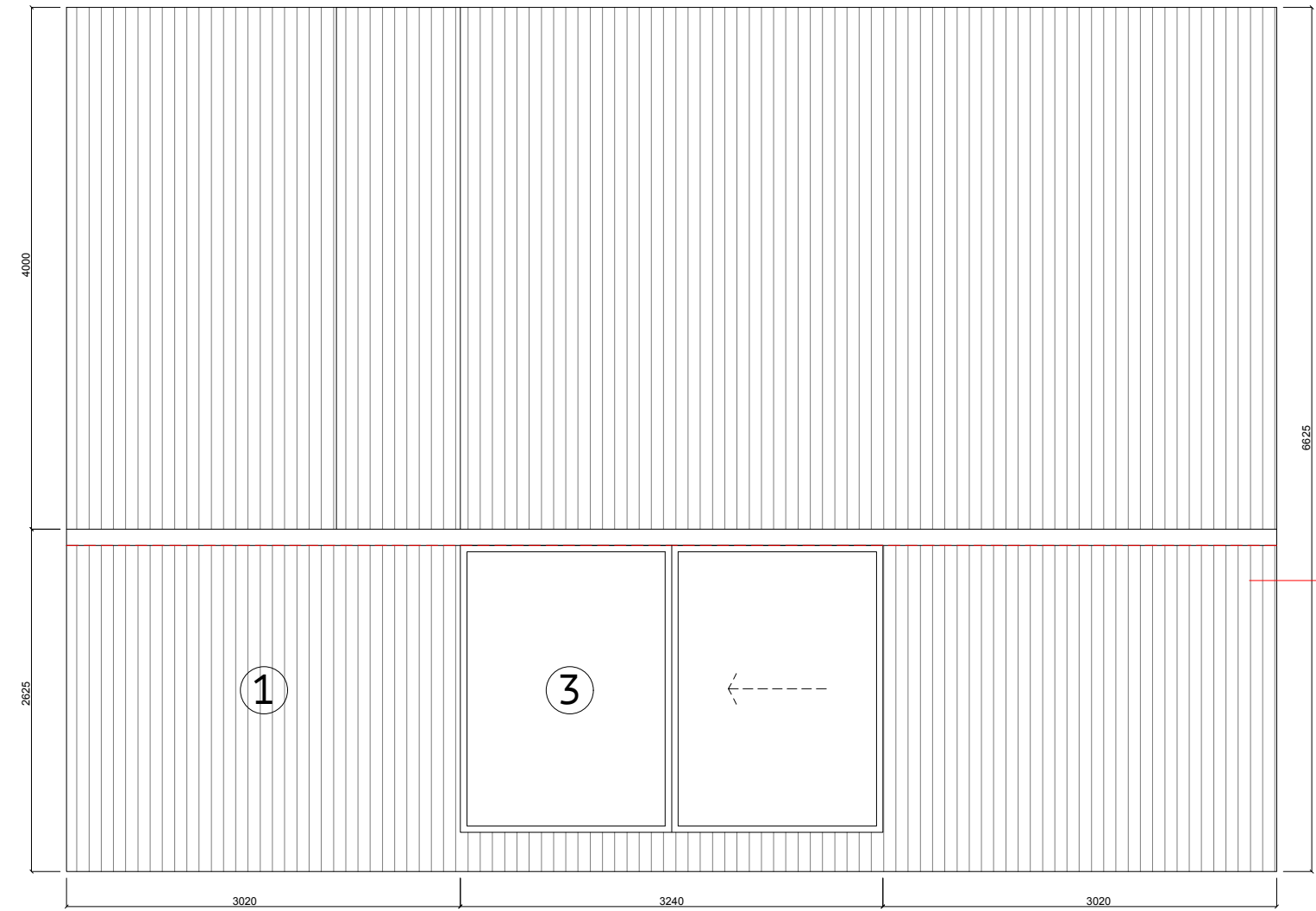
ELEVATION 1
1:50



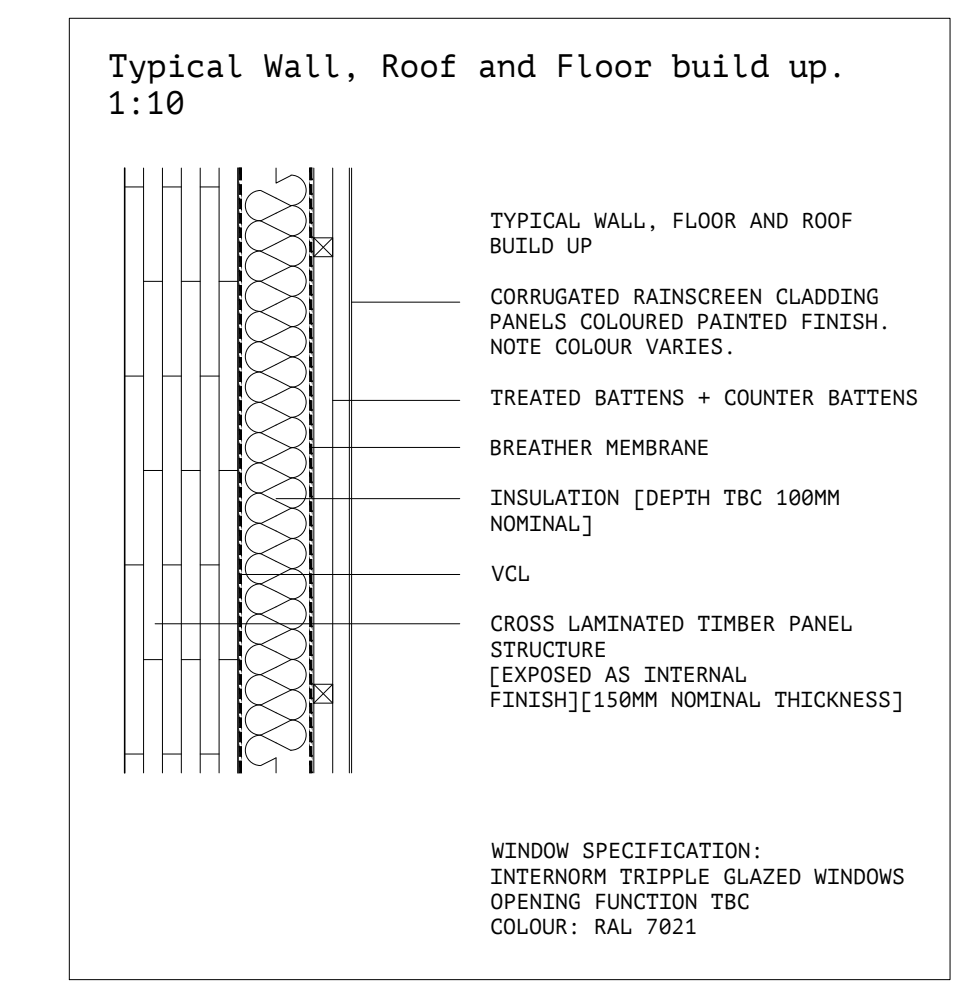
ELEVATION 2
1:50



ELEVATION 3
1:50



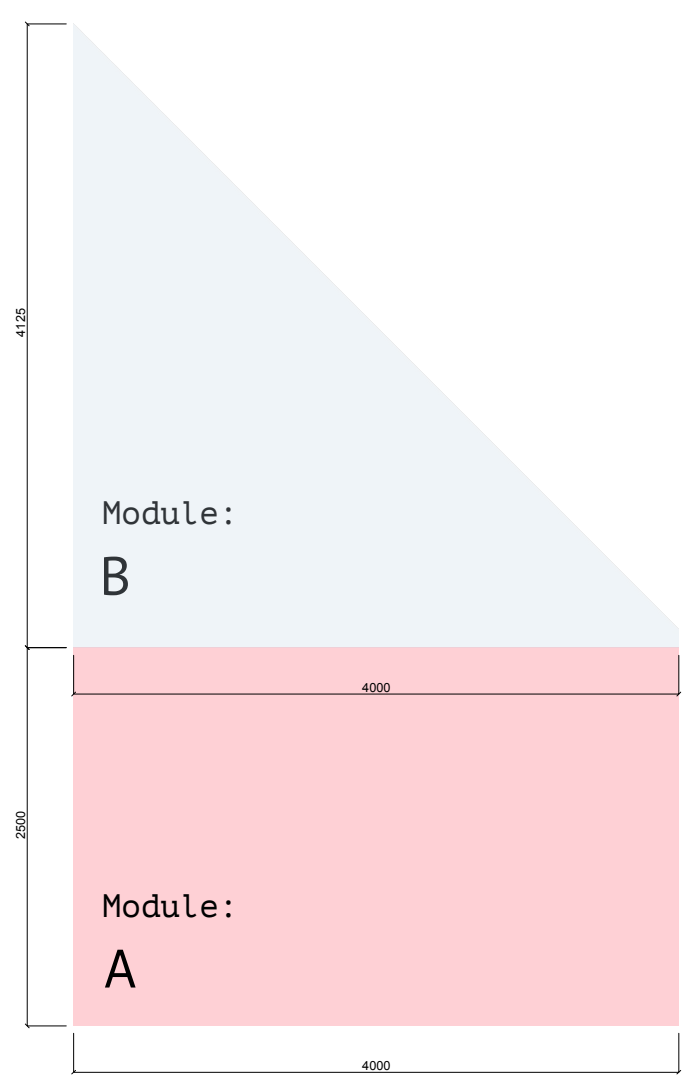
ELEVATION 4
1:50



- Material Notes**
- ① Corrugated Rainscreen Cladding Panels with coloured finish - Refer to L[--]310 for details
 - ③ Aluminium clad timber window - colour TBC

Notes:
-Bothy Type G is to be pre-fabricated in two sections and assembled on site - See Module diagram opposite for details
-Junction in cladding and waterproofing between sections TBC with architect and manufacturer

Bothy Type G
35.5sqm



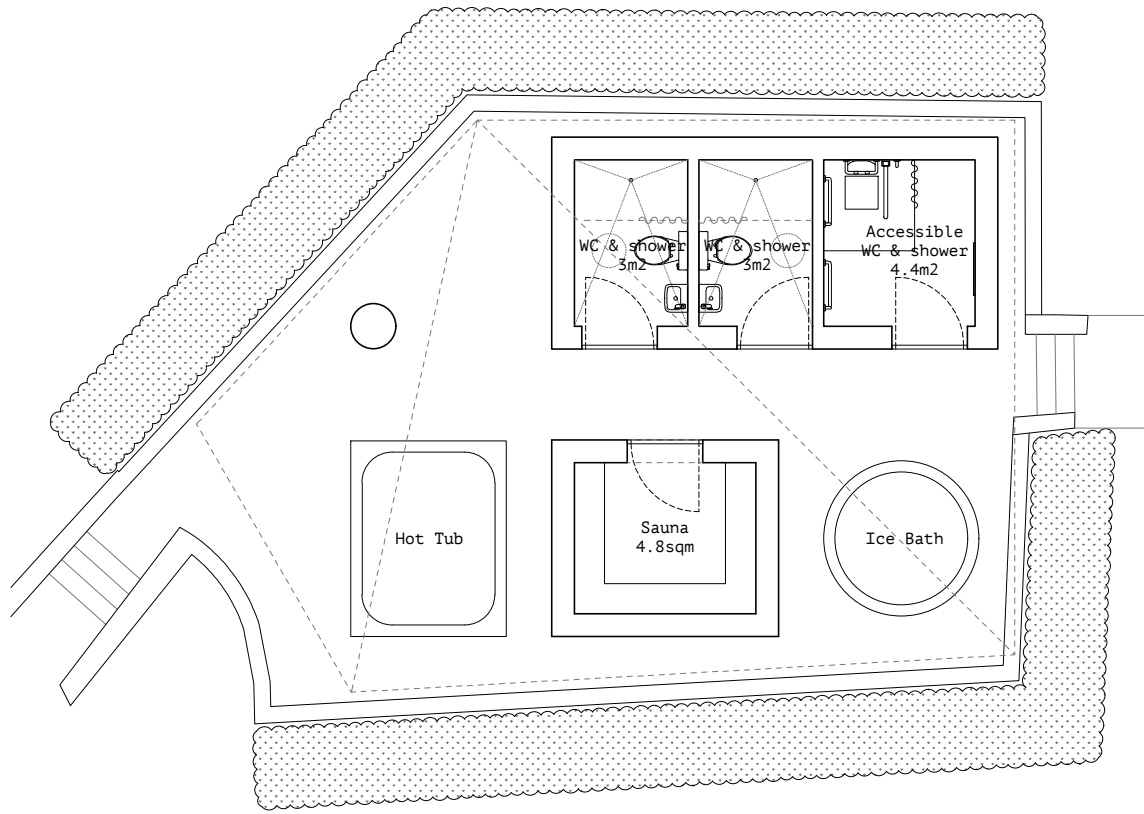
Revision	Description	Date	Check
A	PLANNING	31.03.20	RC

PLANNING

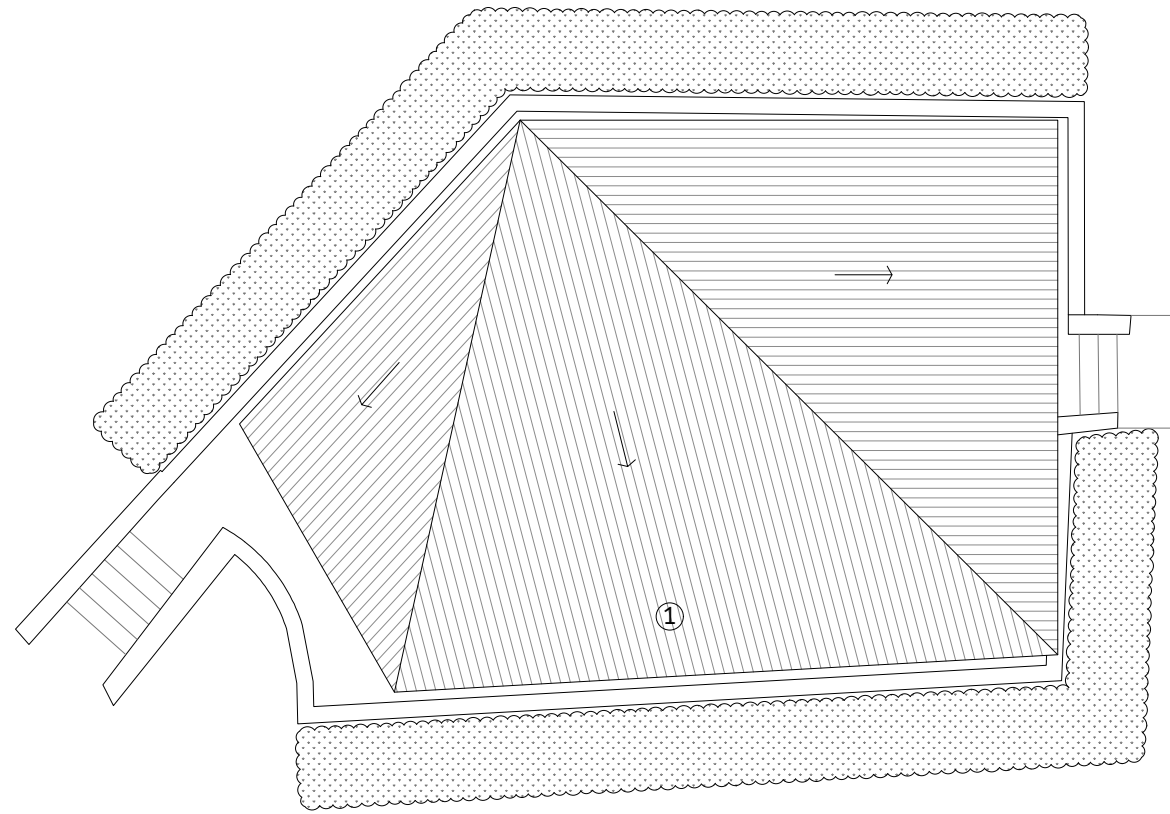
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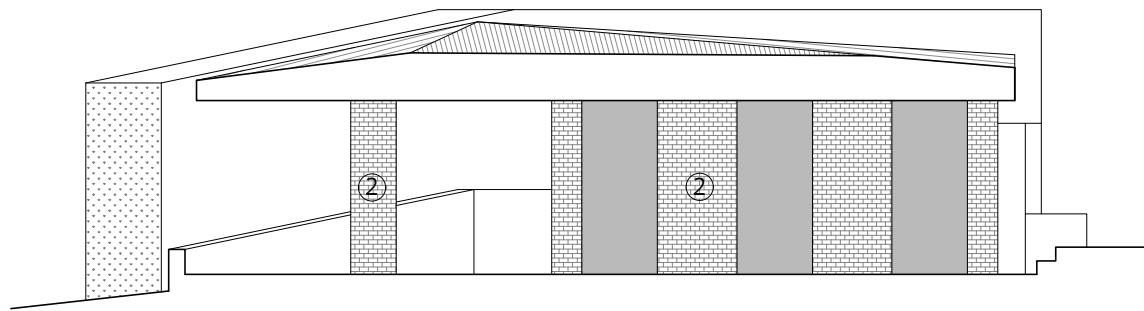
Project	The Red House	Project No.	2018_019
Client	Kenny & Lu'leen Neilson	Date	March 2020
Scale / Format	1:50 @ A1	Drawn / Checked	RC/BH
Drawing Name	BOTHY - TYPE G	Drawing No.	L[--]-J125



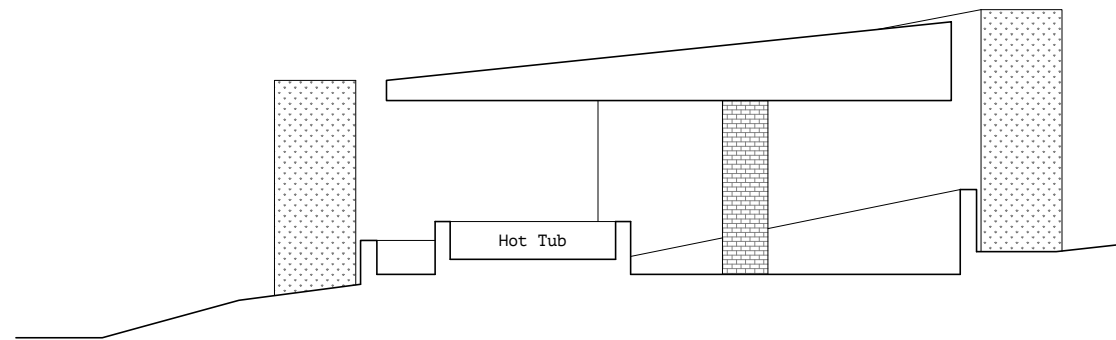
Ground Floor Plan



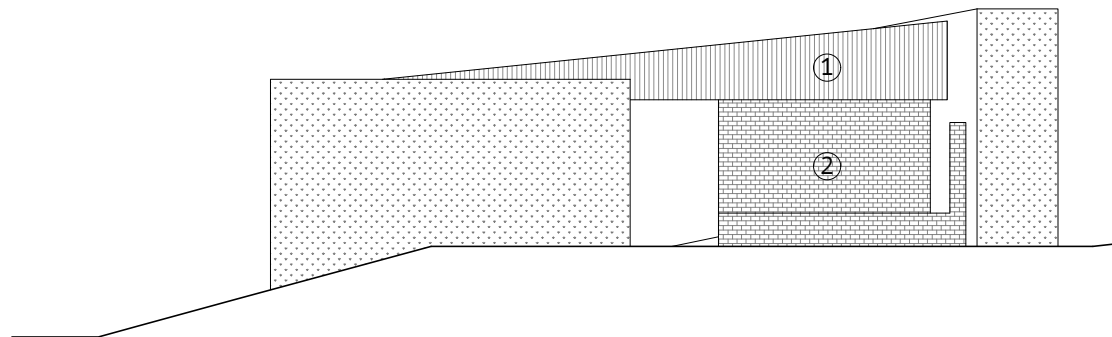
Roof Plan



Section B-B



Section A-A

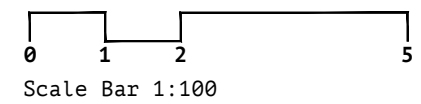


End Elevation

M B
B M

Material Notes

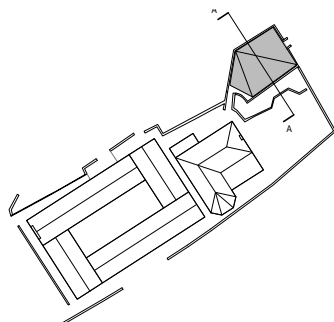
- ① Corrugated Rainscreen Cladding Panels with coloured finish - Refer to L[--]310 for details
- ② White brick with light grey mortar (2.1 - brick painted red to match existing)
- ③ Aluminium clad timber window - colour light grey
- ④ Existing Red painted brick - to be re-painted matte red
- ⑤ Existing slate roof - to be cleaned



Notes

- _Do not scale from drawings.
- _Errors to be reported immediately to the Architect.
- _To be read in conjunction with all relevant Architects', Services & Structural Engineers' drawings.
- _All existing site, trees and building information has been compiled from different sources.
- _All dimensions to be checked on site.

Revision	Description	Date	Check
A	PLANNING	31.03.20	RC/BM

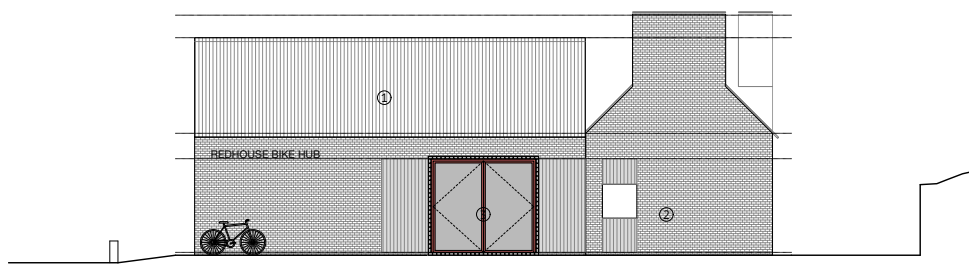


PLANNING

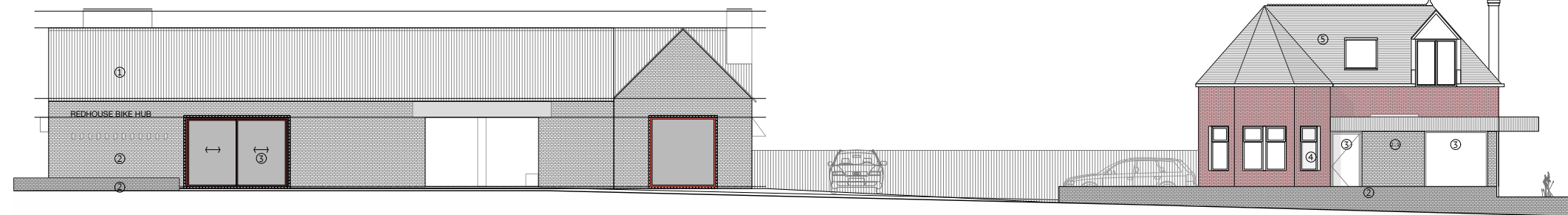
McGinlay Bell

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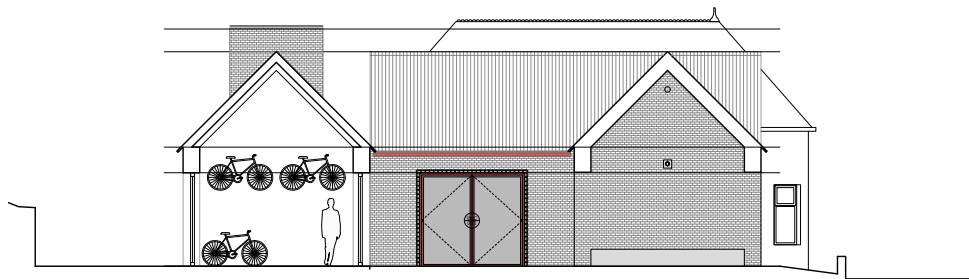
Project	The Red House	Project No.	2018_019
Client	Kenny & Lurleen Neison		
Date		March 2020	
Scale / Format		1:100 @ A3	
Drawn / Checked		RC / BM	
Drawing Name	WASH-BLOCK DRAWINGS AS PROPOSED		
			L[--]150



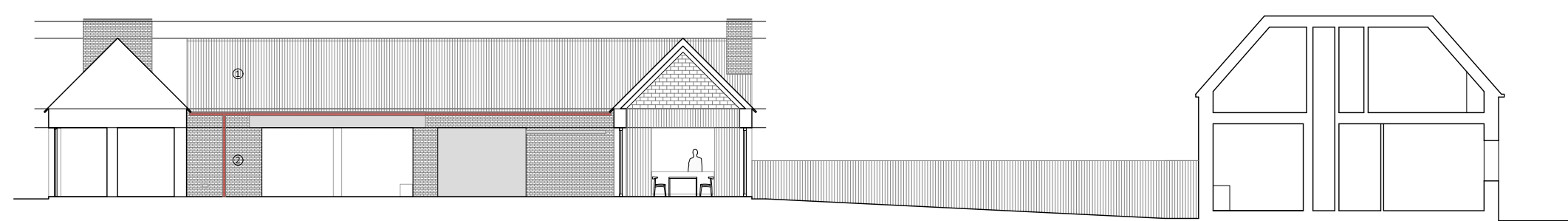
Side Elevation
1:200



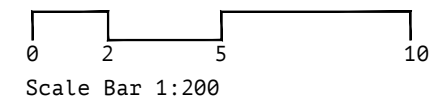
Front Elevation
1:200



Section B-B
1:200



Section A-A
1:200



Notes

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- _All dimensions to be checked on site.

Revision	Description	Date	Check
E	PLANNING COMMENTS	08.03.21	AR/BM
D	GENERAL UPDATE	12.08.20	AR/BM
C	PLANNING	31.03.20	RC/BM
B	FEASIBILITY	15.10.19	RC
A	FEASIBILITY	22.01.19	AR/BM

M

B

B

M

- ① Corrugated Rainscreen Cladding Panels with coloured finish - Refer to L[--]310 for details
- ② White brick with light grey mortar (2.1 - brick painted red to match existing)
- ③ Aluminium window
- ④ Existing Red painted brick - to be re-painted matte red
- ⑤ Existing slate roof - to be cleaned

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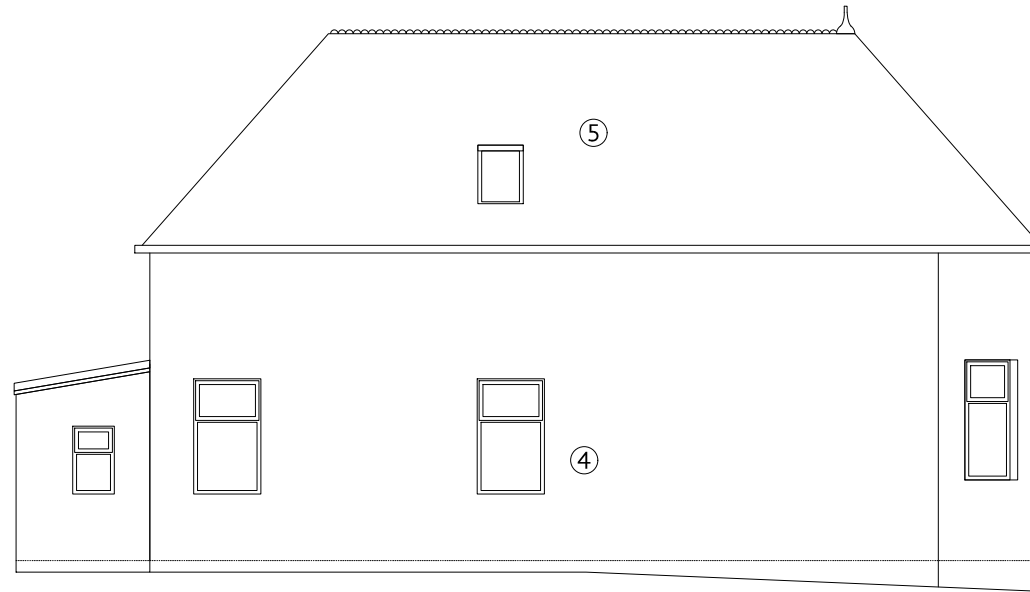
Project	Project No.
The Red House	2018_019
Client	
Kenny & Lurleen Neison	
Date	March 2020
Scale / Format	1:200 @ A3
Drawn / Checked	RC / BM
Drawing Name	Drawing NO.
CYCLE HUB ELEVATIONS	L(--)250

M B

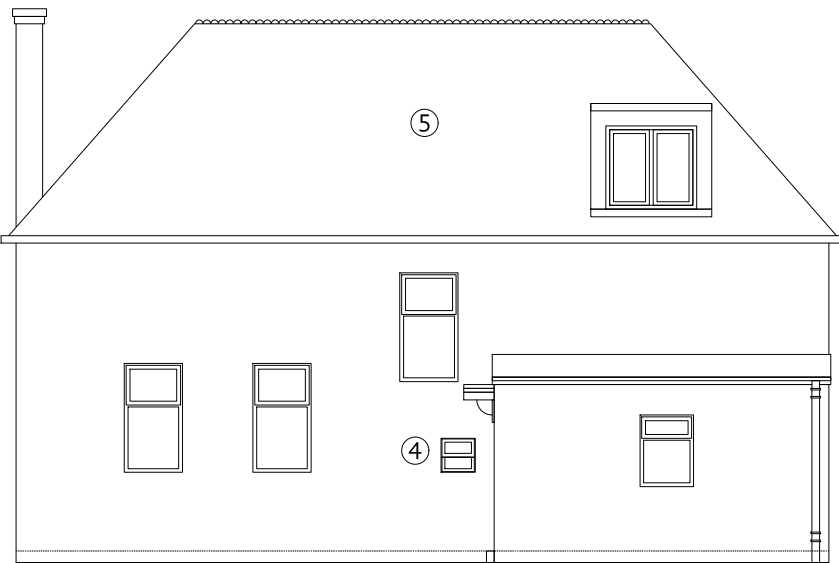
B M



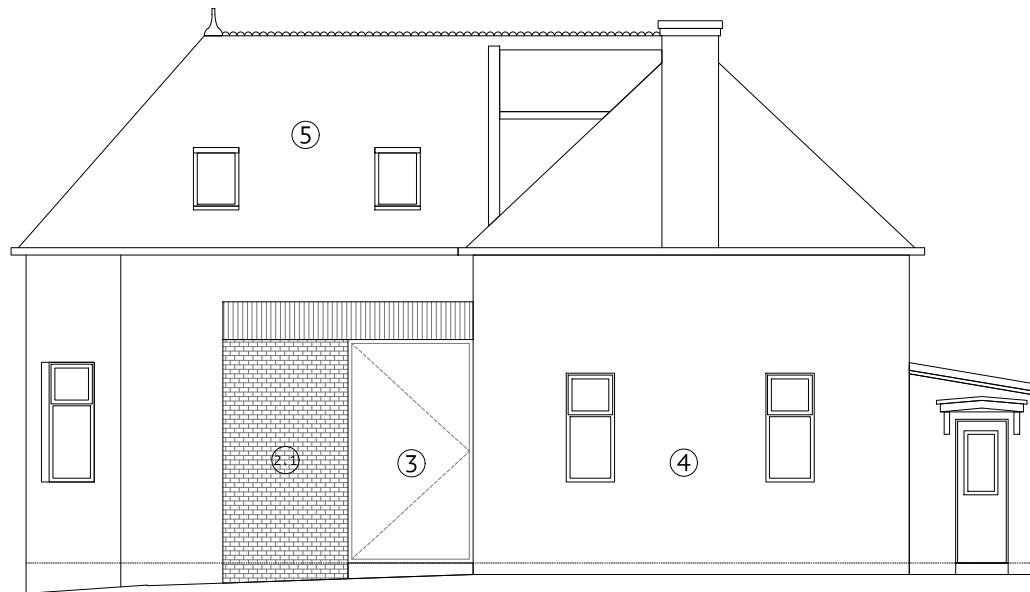
**SOUTH ELEVATION
AS EXISTING**



**WEST ELEVATION
AS EXISTING**



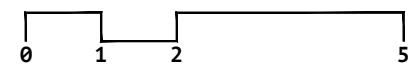
**NORTH ELEVATION
AS EXISTING**



**EAST ELEVATION
AS EXISTING**

Material Notes

- ① Corrugated Rainscreen Cladding Panels with coloured finish - Refer to L[--]310 for details
- ② White brick with light grey mortar (2.1 - brick painted red to match existing)
- ③ Aluminium clad timber window - colour light grey
- ④ Existing Red painted brick - to be re-painted matte red
- ⑤ Existing slate roof - to be cleaned



Scale Bar 1:100

Notes

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- _To be read in conjunction with all relevant Architects', Services & Structural Engineers' drawings.
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- _All dimensions to be checked on site.

Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM

PLANNING

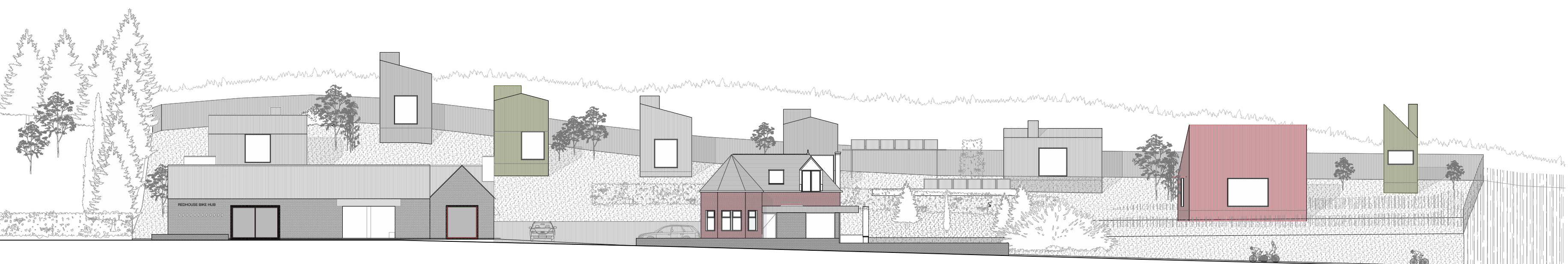
McGinlay Bell

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G2 6HJ
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



Project	Project No.
The Red House	2018_019
Client	Kenny & Lurleen Neison
Date	March 2020
Scale / Format	1:100 @ A3
Drawn / Checked	RC / BM
Drawing Name	ELEVATIONS AS PROPOSED
	L[--]300

M B

B M

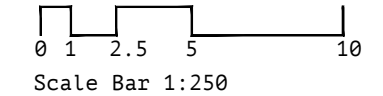


Bothy Cladding Key:

-  Grey Rainscreen Cladding
-  Dark Grey Rainscreen Cladding
-  Green Rainscreen Cladding
-  Red Rainscreen Cladding

NOTE:

All foundations and underbuild to Bothies TBC with Structural Engineer
 All wall build ups and details are indicative at this stage. TBC
 Ground slope shown is indicative. Exact slope beneath each Bothy and Floor levels TBC



Notes
 _Do not scale from drawings.
 _Errors to be reported immediately to the Architect.
 _To be read in conjunction with all relevant Architects' Services & Structural Engineers' drawings.
 _All existing site, trees and building information has been compiled from different sources.
 _All dimensions to be checked on site.

Revision	Description	Date	Check
C	PLANNING UPDATE	08.03.21	AR/BN
B	GENERAL UPDATE	12.08.20	AR/BN
A	PLANNING	31.03.20	AR/BN

PLANNING

M B

B M



Notes

- _Do not scale from drawings.
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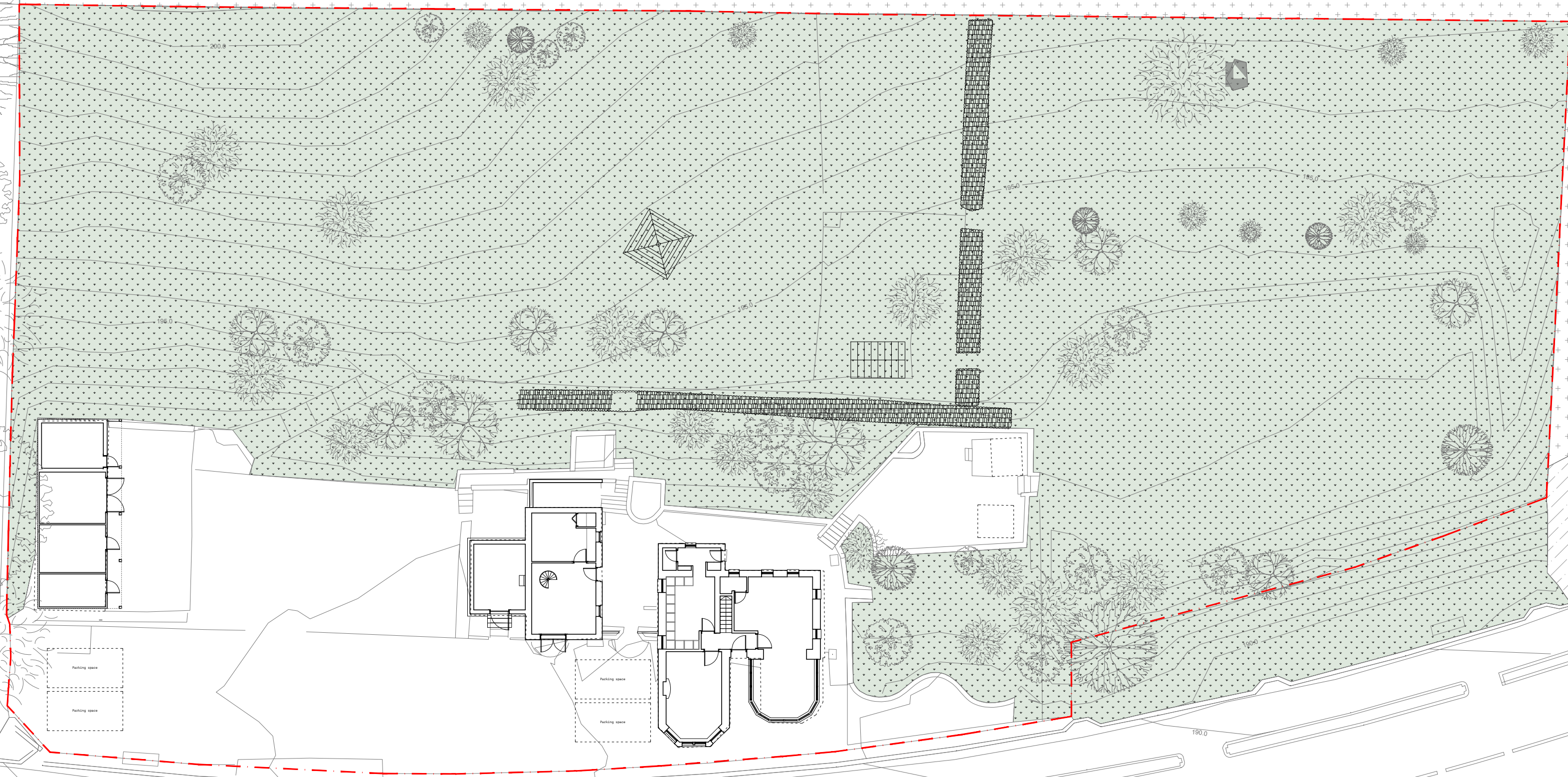
Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM

PLANNING

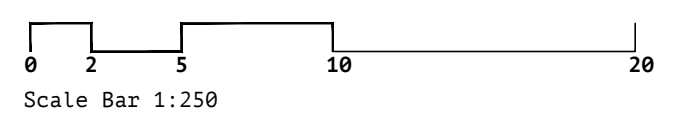
McGinlay Bell

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 info @
 mcginlaybell.com

Project	The Red House	Project No.	2018_019
Client	Kenny & LurLeen Neison		
Date		March 2020	
Scale / Format		NTS @ A3	
Drawn / Checked		RC / BM	
Drawing Name	RENDER IMAGE		Drawing NO.
BOTHIES			I[- -]002



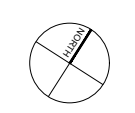
Site Curtilage



Notes

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Revision	Description	Date	Check
A	Planning	31.03.20	RC/BN

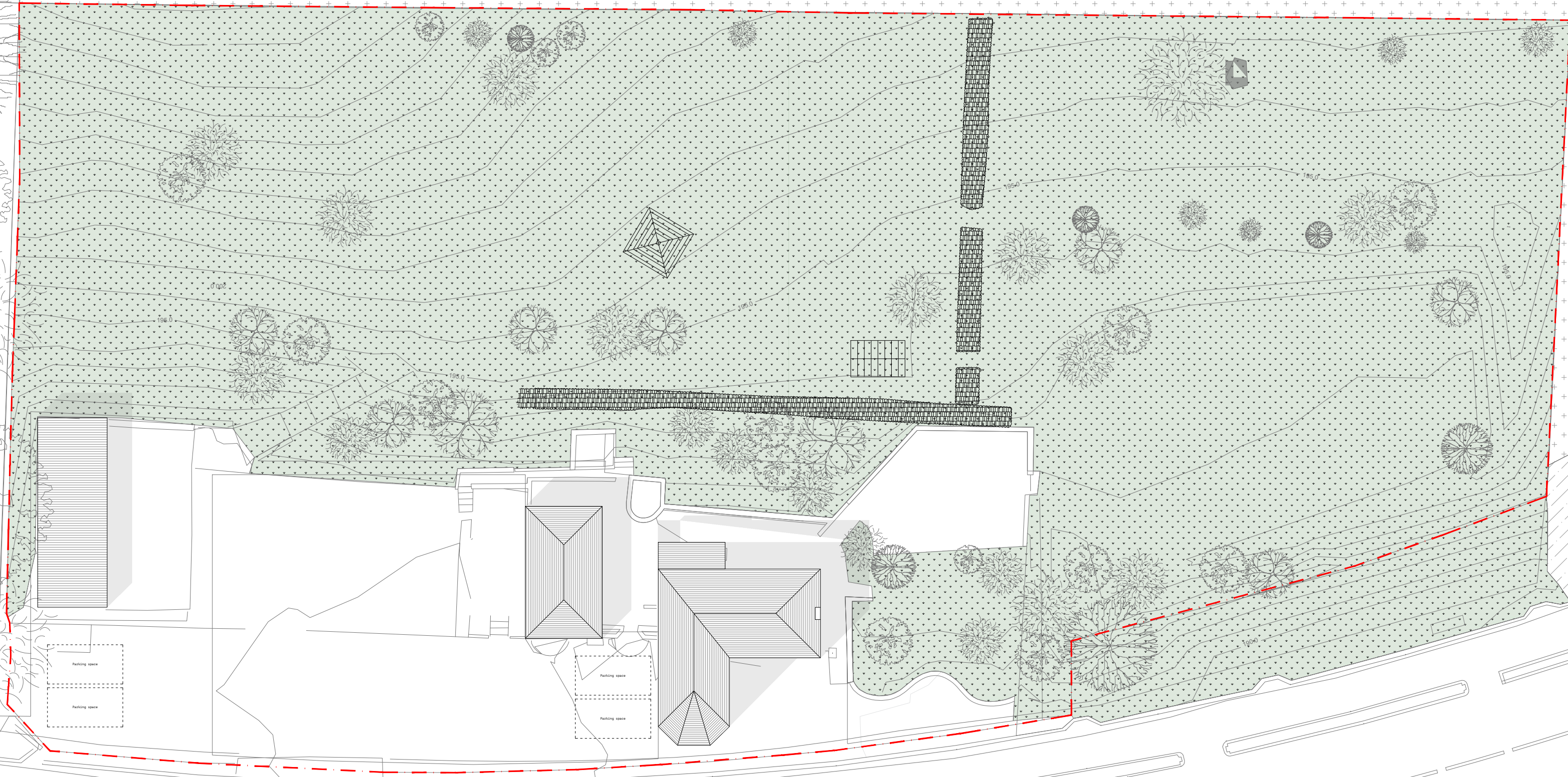


PLANNING

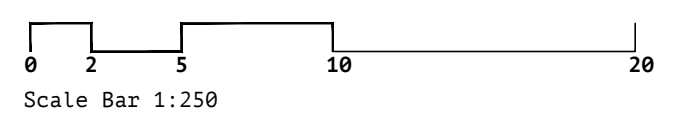
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Project	The Red House	Project No.	2018_019
Client	Kenny & LucLeen Neilson	Date	March 2020
Scale / Format		Scale / Format	1:250 @ A2
Drawn / Checked		Drawn / Checked	AR / BN
Drawing Name	SITE PLAN AS EXISTING	Drawing No.	L[EX]002



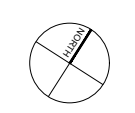
Site Curtilage



Notes

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Revision	Description	Date	Check
A	Planning	31.03.20	RC/BN



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Project No:	2018_019
Client:	Kenny & LucLeen Neilson
Date:	December 2018
Scale / Format:	1:250 & A2
Drawn / Checked:	AR / BN
Drawing Name:	SITE ROOF PLAN AS EXISTING
Drawing No.:	L[EX]003

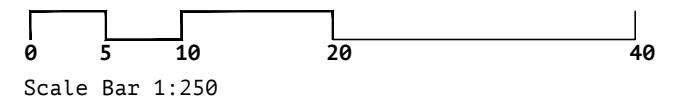
M

B

B

M

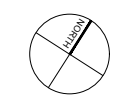
Site Curtilage



Notes

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Revision	Description	Date	Check
A	Planning	31.03.20	RC/BN



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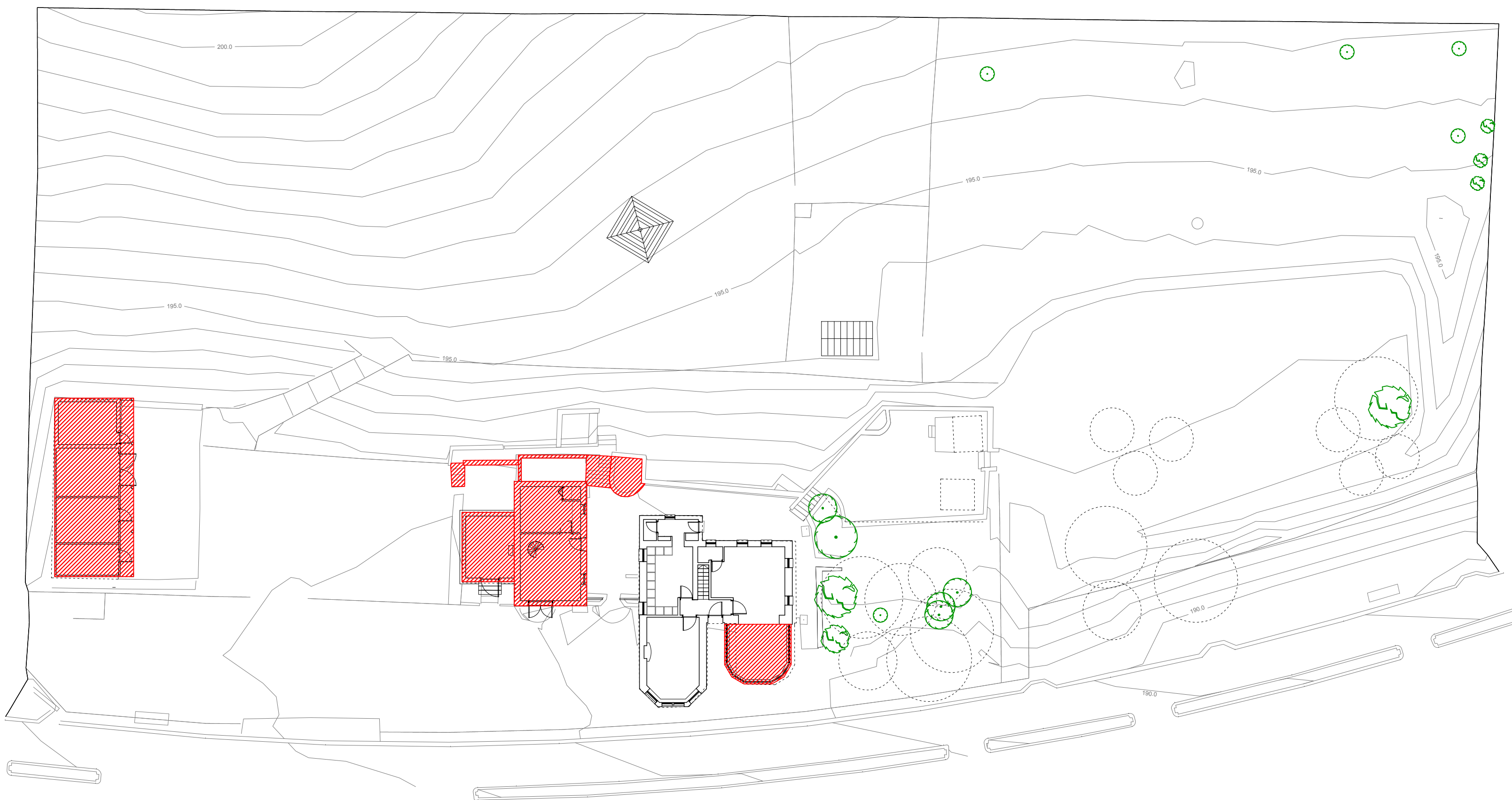
Project No: **2018_019**
 Client: **Kenny & LucLeen Neilson**
 Date: December 2018
 Scale / Format: 1:250 @ A2
 Drawn / Checked: AR / BN
 Drawing Name: **AREA PLAN AS EXISTING**
 Drawing No: **L[EX]004**

M

B

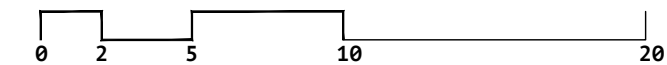
B

M



NOTES

 DOWNTAKINGS



Scale Bar 1:250

Notes

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Revision	Description	Date	Check
B	Planning	31.03.20	RC/BN
A	Feasibility	15.10.19	RC



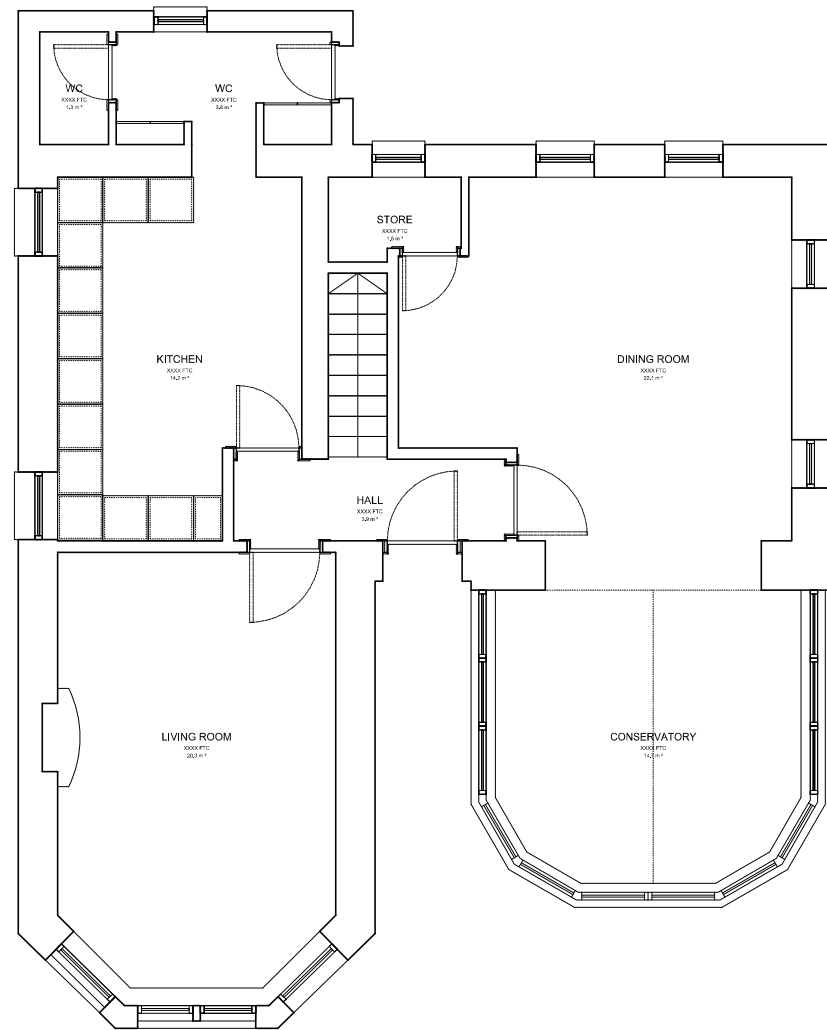
PLANNING

McGinlay Bell

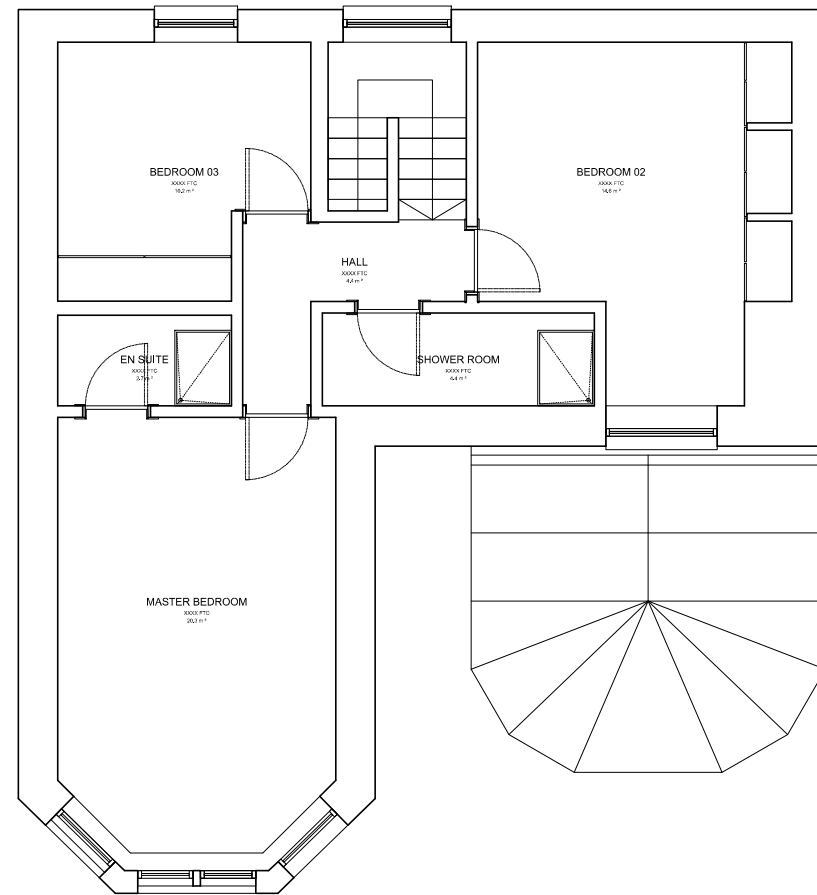
Baltic Chambers
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Project	Project No.
The Red House	2018_019
Client	
Kenny & Lurleen Neilson	
Date	January 2019
Scale / Format	1:250 @ A2
Drawn / Checked	AK / BN
Drawing Name	Drawing No.
SITE PLAN DOWNTAKINGS	L[EX]0990

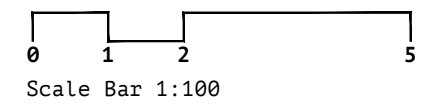
M B
B M



GROUND FLOOR PLAN
AS EXISTING



FIRST FLOOR PLAN
AS EXISTING



Notes

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Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM



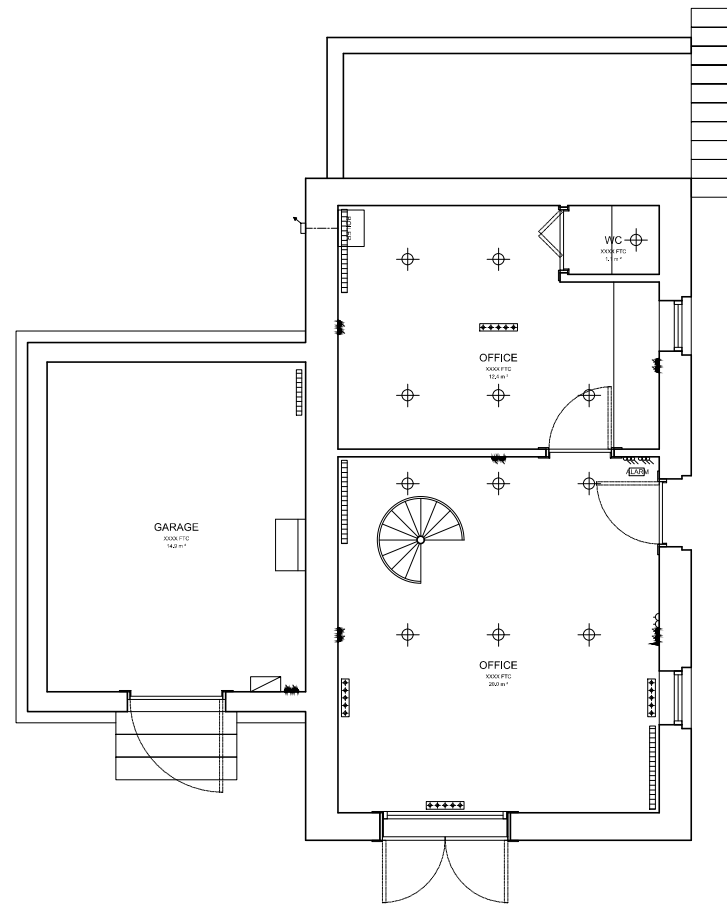
PLANNING

McGinlay Bell

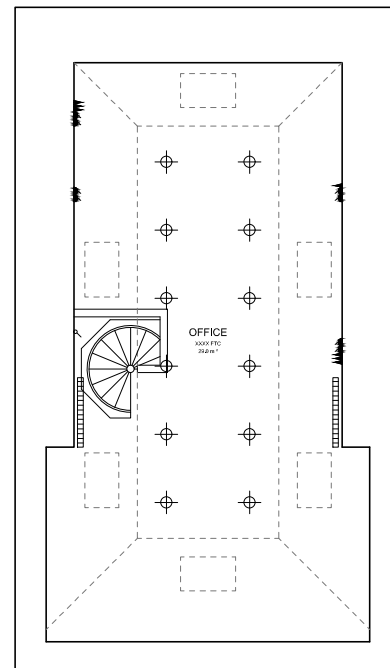
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Project	The Red House	Project No.	2018_019
Client	Kenny & Lurleen Neison		
Date		March 2020	
Scale / Format		1:100 @ A3	
Drawn / Checked		RC / BM	
Drawing Name	REDHOUSE PLANS AS EXISTING		
		Drawing NO.	L[EX]100

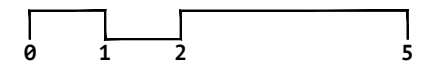
M B
B M



GROUND FLOOR PLAN
AS EXISTING



FIRST FLOOR PLAN
AS EXISTING



Scale Bar 1:100

Notes

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Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM



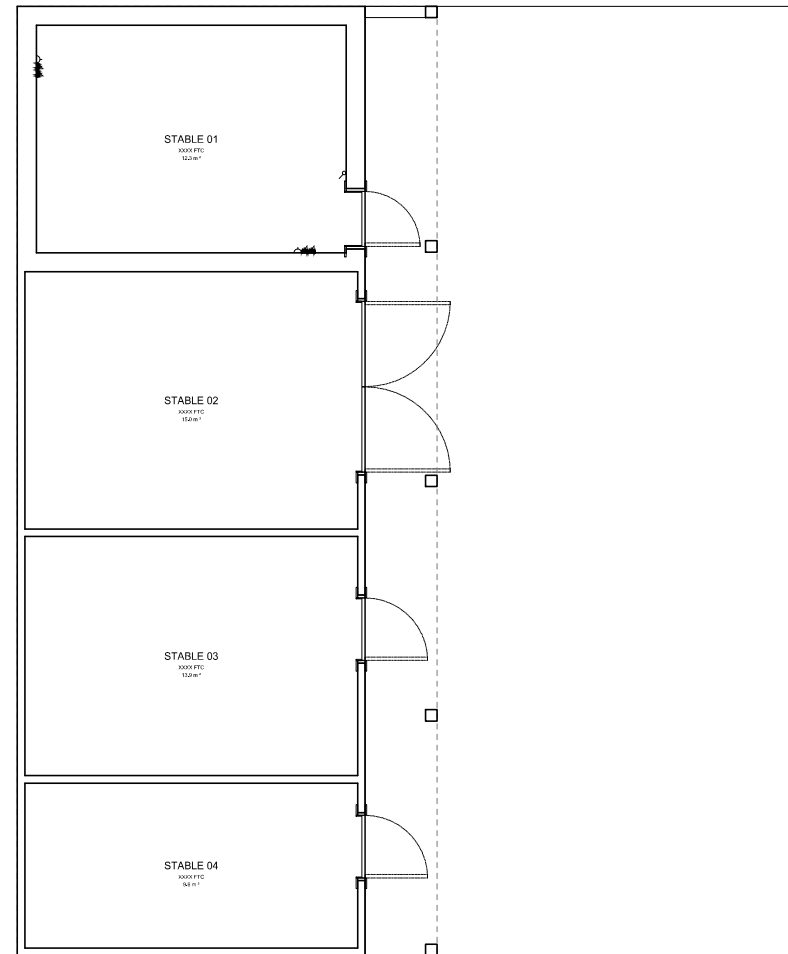
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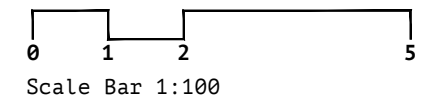
PLANNING

Project	Project No.
The Red House	2018_019
Client	Kenny & Lurleen Neison
Date	March 2020
Scale / Format	1:100 @ A3
Drawn / Checked	RC / BM
Drawing Name	CLAN HOUSE PLANS AS EXISTING
	L(EX)101

M B
B M



GROUND FLOOR PLAN
AS EXISTING



Notes

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Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM



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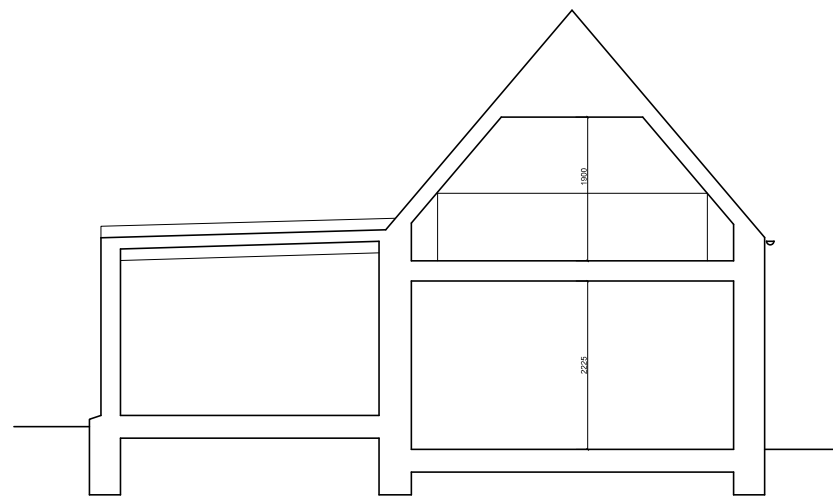
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PLANNING

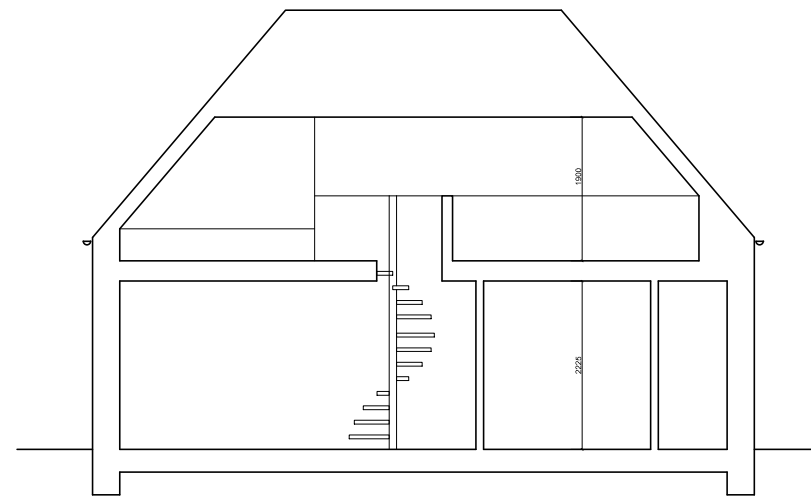
Project **The Red House** Project No. **2018_019**
 Client **Kenny & Lurleen Neison**
 Date **March 2020**
 Scale / Format **1:100 @ A3**
 Drawn / Checked **RC / BM**
 Drawing Name **STABLE BLOCK PLANS AS EXISTING** Drawing NO. **L(EX)102**

M B

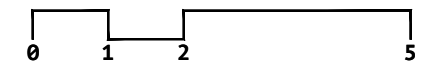
B M



CROSS SECTION
AS EXISTING



LONG SECTION
AS EXISTING



Scale Bar 1:100

Notes

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Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM

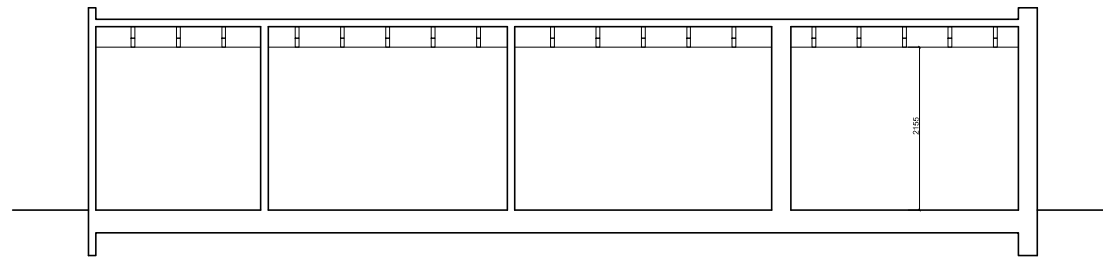
PLANNING

McGinlay Bell

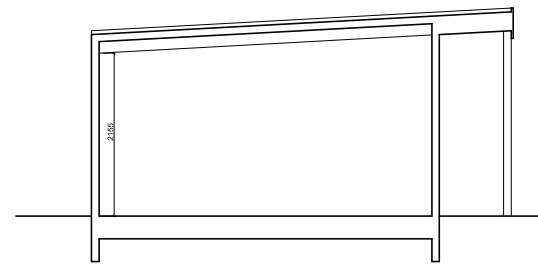
Baltic Chambers
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Project The Red House Project No. 2018_019
Client Kenny & Lurleen Neilson
Date March 2020
Scale / Format 1:100 @ A3
Drawn / Checked RC / BM
Drawing Name CLAN HOUSE SECTIONS AS EXISTING Drawing NO. L(EX)201

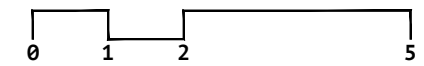
M B
B M



LONG SECTION
AS EXISTING



TYPICAL SHORT SECTION
AS EXISTING



Scale Bar 1:100

Notes

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Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM

PLANNING

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Project: **The Red House** Project No: **2018_019**
 Client: **Kenny & Lurleen Neison**
 Date: **March 2020**
 Scale / Format: **1:100 @ A3**
 Drawn / Checked: **RC / BM**
 Drawing Name: **STABLE BLOCK SECTIONS AS EXISTING** Drawing NO: **L(EX)202**

M

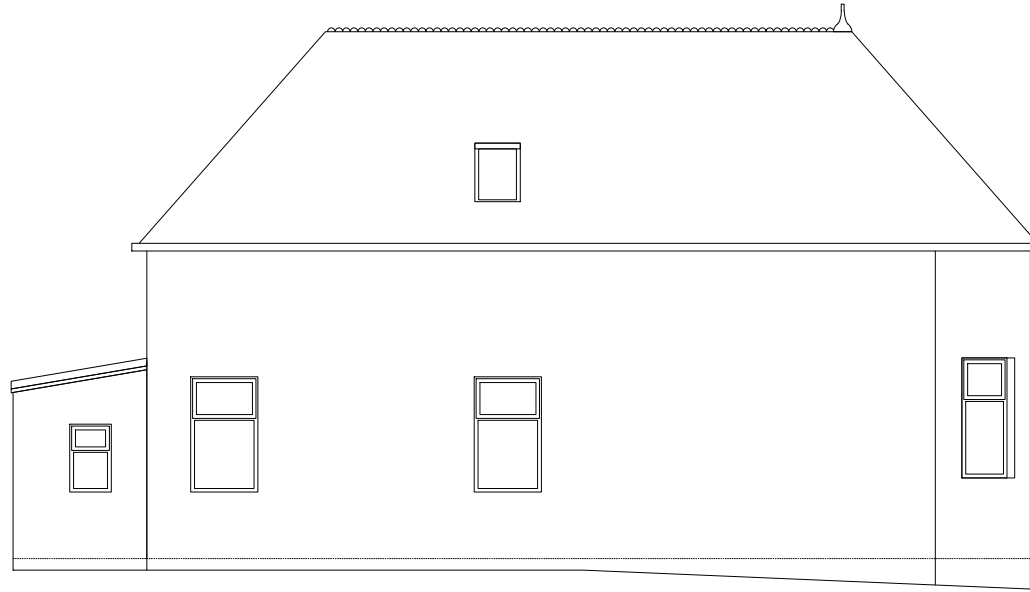
B

B

M



SOUTH ELEVATION
AS EXISTING



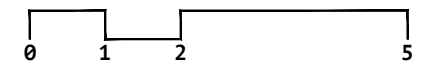
WEST ELEVATION
AS EXISTING



NORTH ELEVATION
AS EXISTING



EAST ELEVATION
AS EXISTING



Scale Bar 1:100

Notes

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Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM

PLANNING

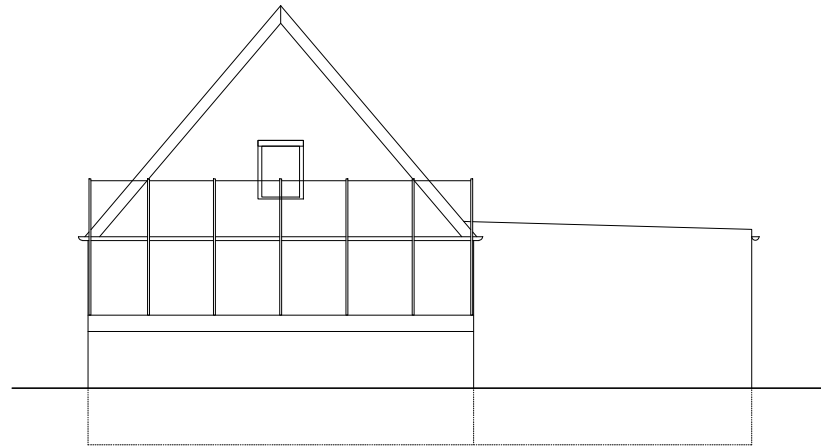
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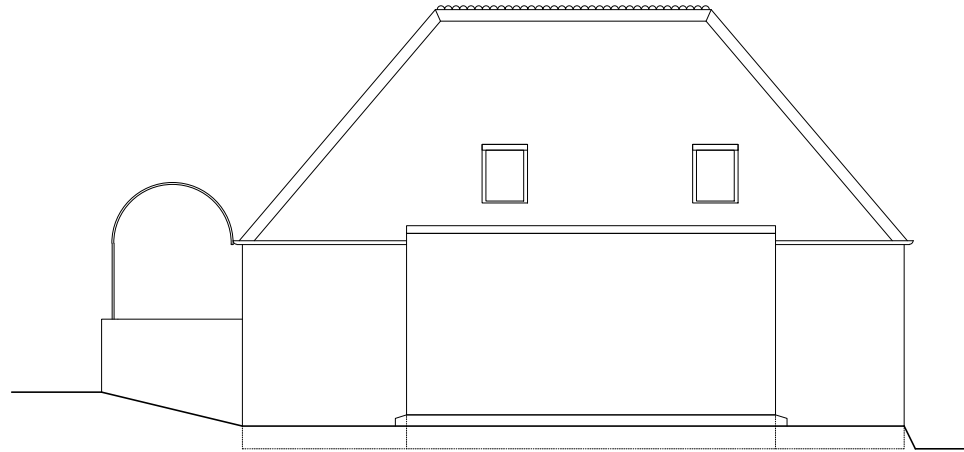
Project	Project No.
The Red House	2018_019
Client	Kenny & Lurleen Neison
Date	March 2020
Scale / Format	1:100 @ A3
Drawn / Checked	RC / BM
Drawing Name	ELEVATIONS AS EXISTING
Drawing NO.	L(- -)300

M B

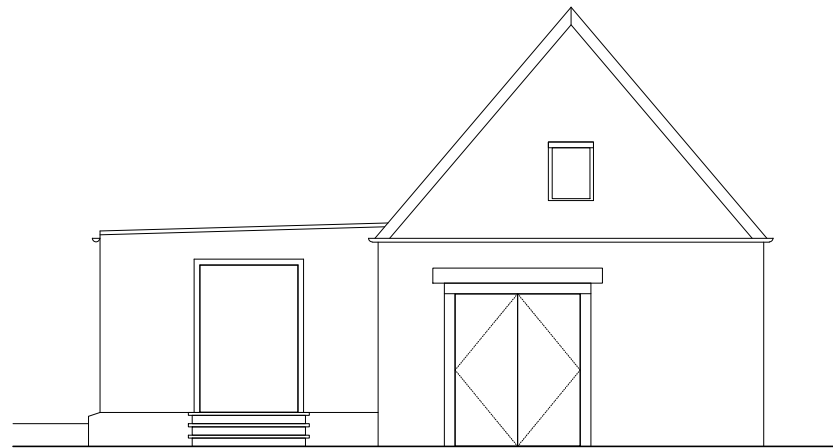
B M



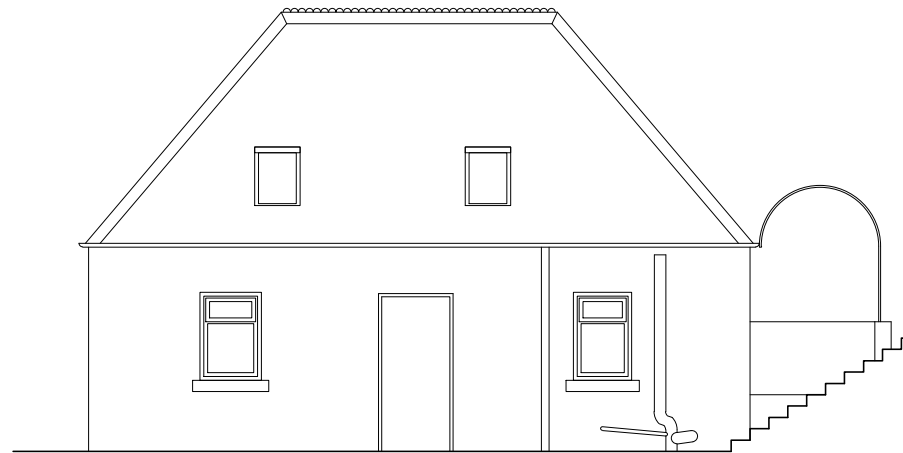
NORTH ELEVATION
AS EXISTING



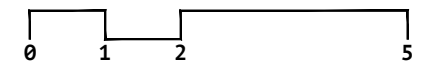
WEST ELEVATION
AS EXISTING



SOUTH ELEVATION
AS EXISTING



EAST ELEVATION
AS EXISTING



Scale Bar 1:100

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Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM

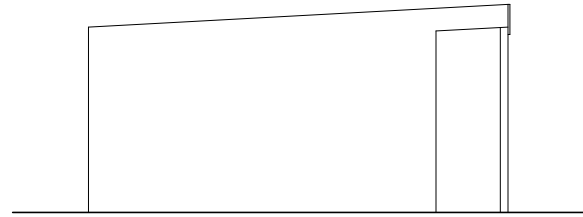
PLANNING

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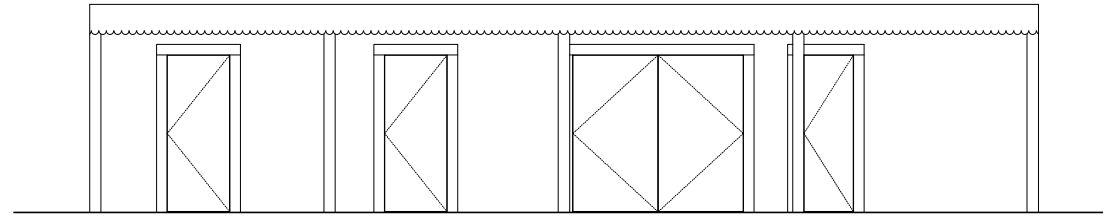
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Project	Project No.
The Red House	2018_019
Client	Kenny & Lurleen Neison
Date	March 2020
Scale / Format	1:100 @ A3
Drawn / Checked	RC / BM
Drawing Name	CLAN HOUSE ELEVATIONS AS EXISTING
Drawing NO.	L(EX)301

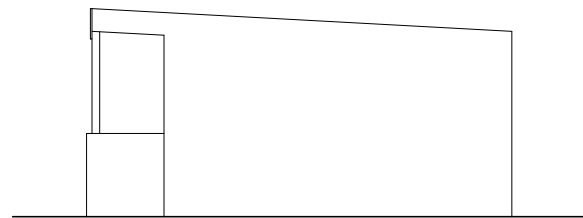
M B
B M



SOUTH ELEVATION
AS EXISTING



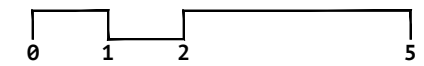
EAST ELEVATION
AS EXISTING



NORTH ELEVATION
AS EXISTING



EAST ELEVATION
AS EXISTING



Scale Bar 1:100

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Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM

PLANNING

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Project: **The Red House** Project No: **2018_019**
 Client: **Kenny & Lurleen Neison**
 Date: **March 2020**
 Scale / Format: **1:100 @ A3**
 Drawn / Checked: **RC / BM**
 Drawing Name: **STABLE BLOCK ELEVATIONS AS EXISTING** Drawing NO: **(EX)302**

362

M B

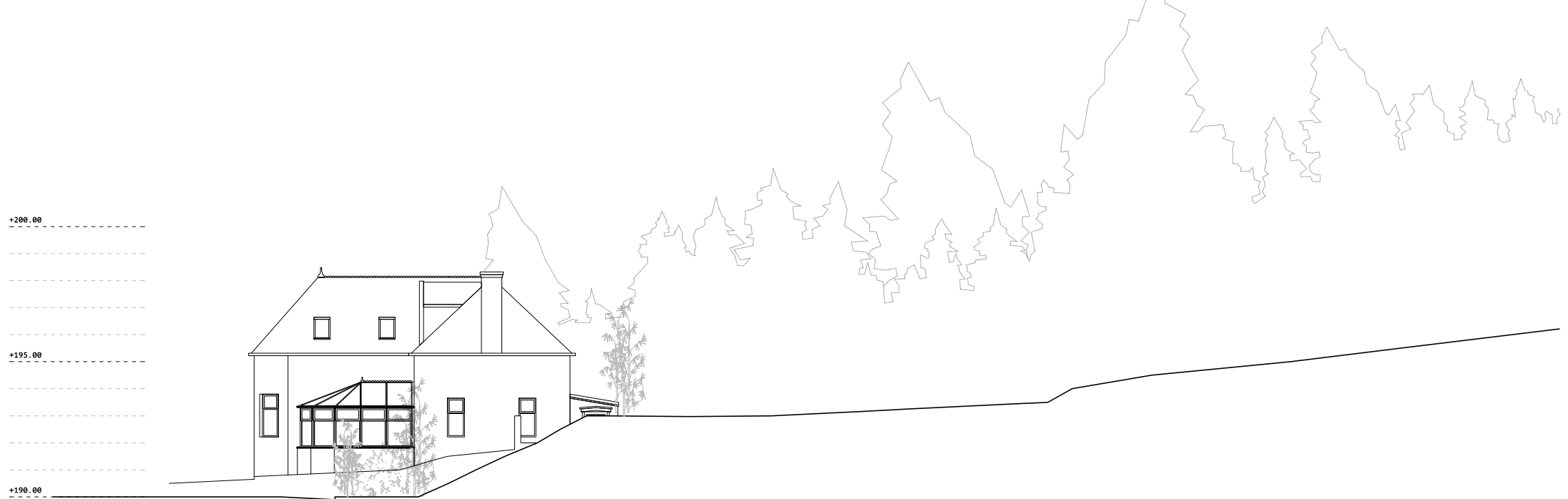
B M



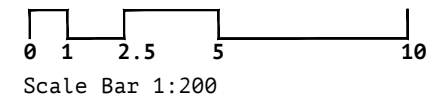
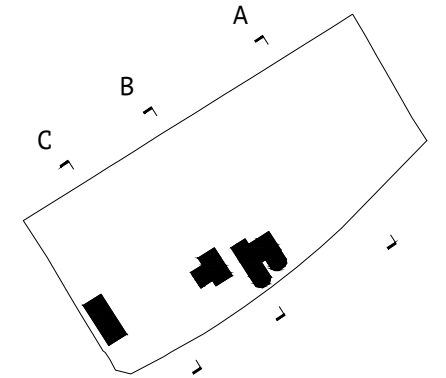
CROSS SECTION C-C



CROSS SECTION B-B



CROSS SECTION A-A



Notes

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Revision	Description	Date	Check
A	Planning	31.03.20	RC/BM

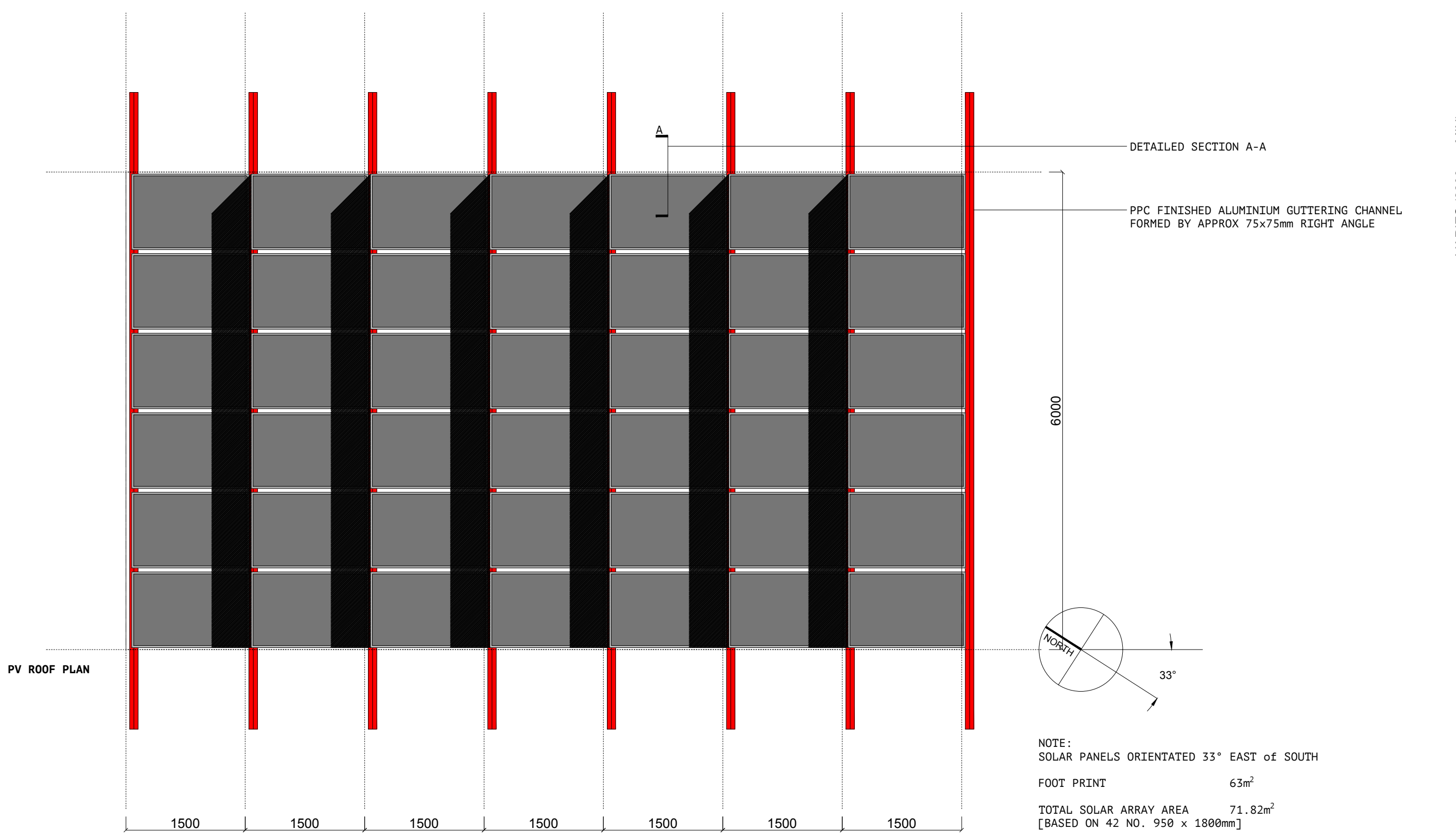
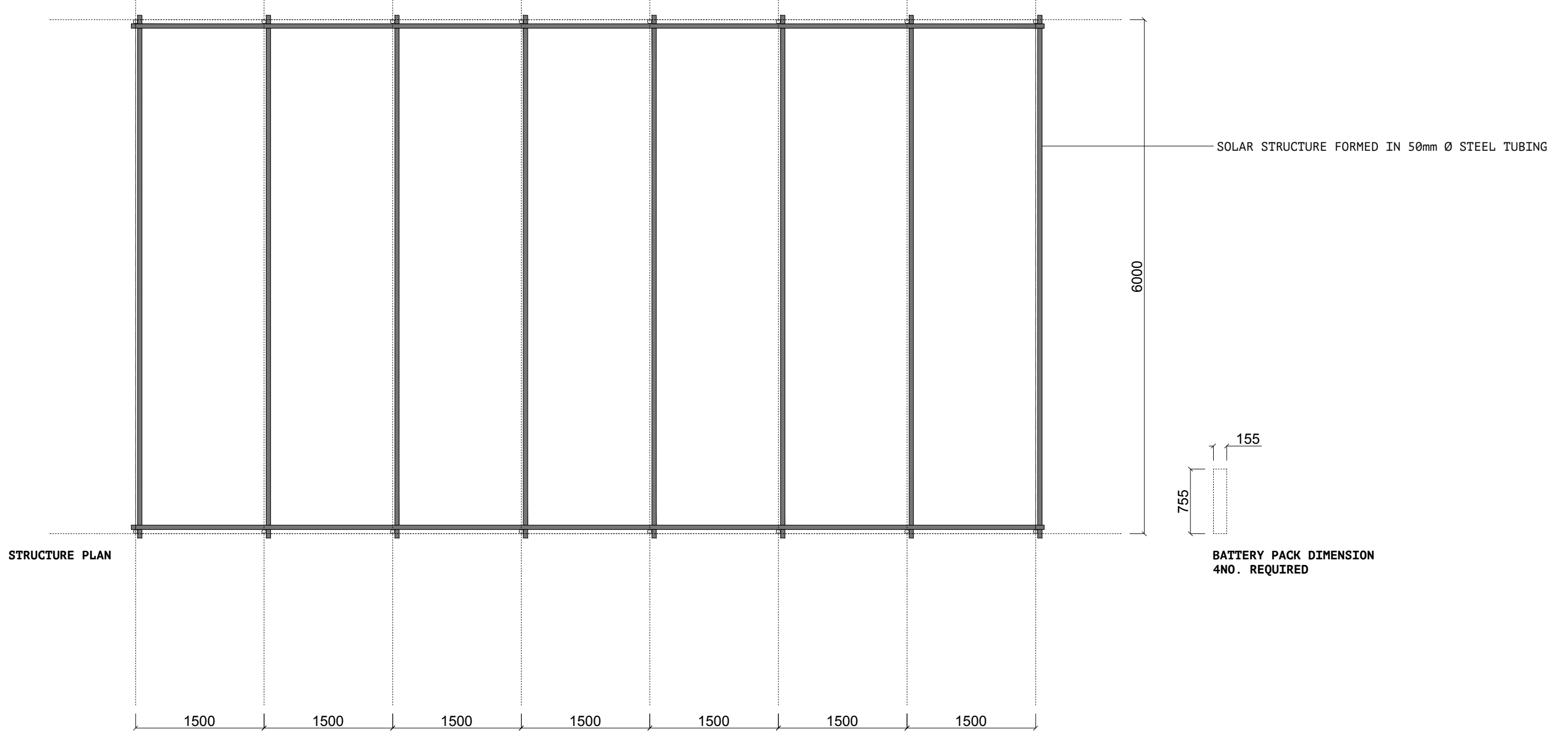
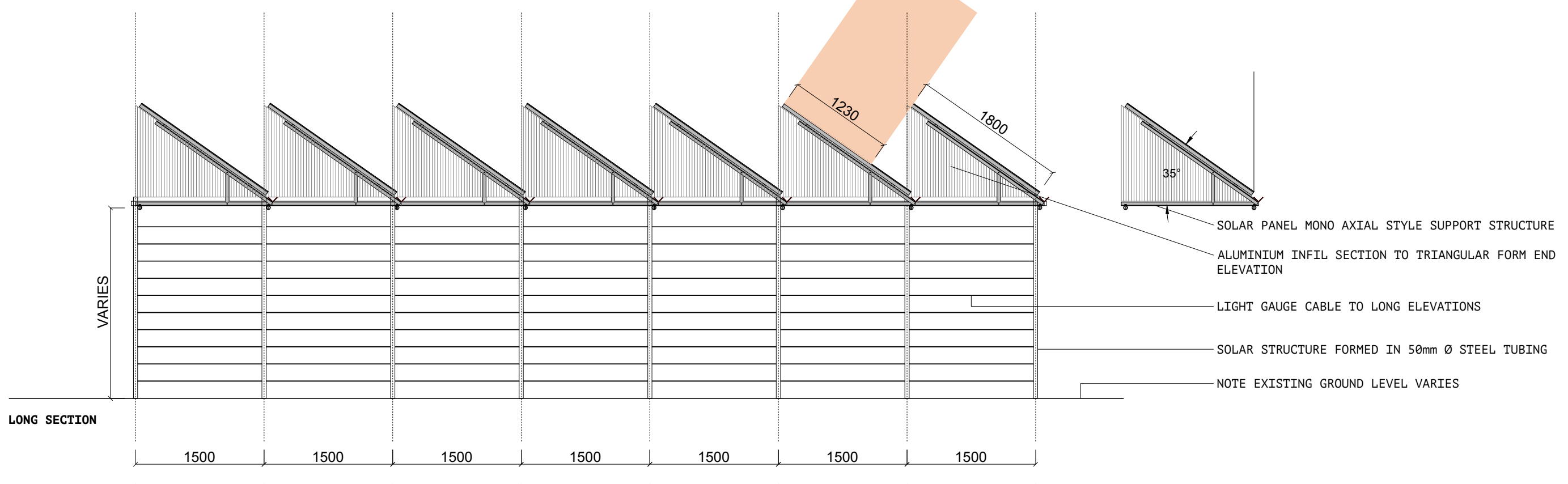
PLANNING

McGinlay Bell

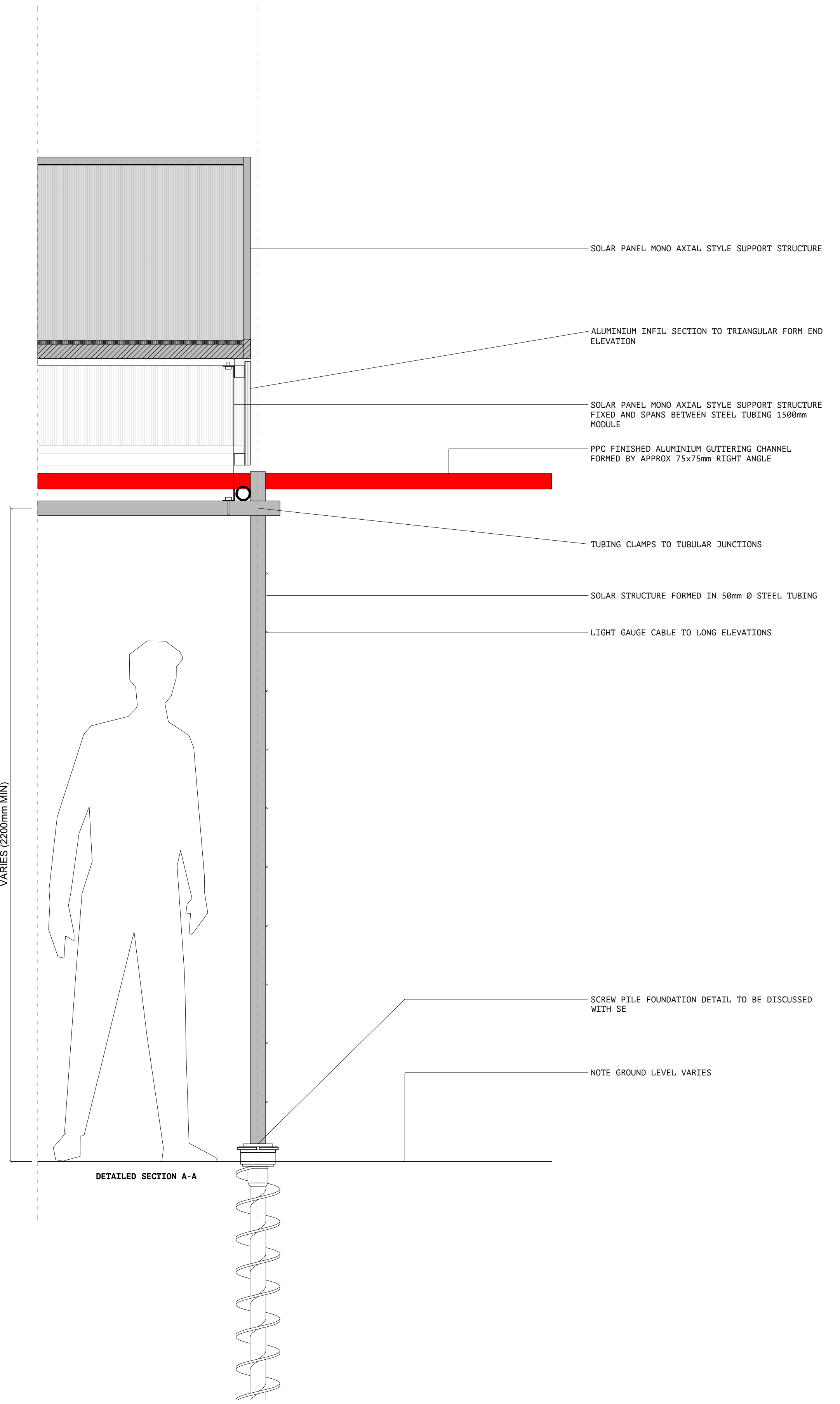
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Project	Project No.
The Red House	2018_019
Client	Kenny & Lurleen Neison
Date	March 2020
Scale / Format	1:200 @ A3
Drawn / Checked	RC / BM
Drawing Name	SITE SECTION AS EXISTING
Drawing NO.	L(EX)350

M B
B M



35° PITCH OPTION



- NOTES
- _SOLAR PV MODEL AND DIMENSIONS TO BE CONFIRMED.
 - _SOLAR PV ILLUSTRATED BASED ON INDICATIVE 950x1800mm.
 - _BATTERY PACK DIMENSIONS BASED ON TESLA POWERWALL 2. LAYOUT ARRANGEMENTS TO BE DISCUSSED WITH M+E ENGINEER
 - _DRAWING FOR COMMENT ONLY.
 - _ALL STRUCTURE TBC BY STRUCTURAL ENGINEER
 - _ORIENTATION TO NORTH AS ILLUSTRATED

- Notes
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Revision	Description	Date	Check

INFORMATION

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Project: **The Red House**
Client: **Kenny & Luíleen Neilson**

Project No. **2018_019**
Date: June 2020
Scale / Format: 1:50 @ A1
Drawn / Checked: AR/BH
Drawing Name: **SOLAR STRUCTURE 1**
Drawing No.: **L[-]-1161**

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