

EAST RENFREWSHIRE COUNCILLOCAL REVIEW BODY13 January 2016Report by Deputy Chief ExecutiveREVIEW OF CASE - REVIEW/2015/19ERECTION OF UPPER FLOOR EXTENSION CANTILEVERED
AT REAR AT 100 MEARNS ROAD, CLARKSTON**PURPOSE OF REPORT**

1. The purpose of the report is to present the information currently available to allow a review of the decision taken by officers, in terms of the Scheme of Delegation made in terms of Section 43A of the Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 in respect of the application detailed below.

DETAILS OF APPLICATION

2. Application type: Full Planning Permission (Ref No:- 2015/0517/TP).
Applicant: Mr Mathew Wilmot.
Proposal: Erection of upper floor extension cantilevered at rear.
Location: 100 Mearns Road, Clarkston.
Council Area/Ward: Busby, Clarkston and Eaglesham (Ward 6).

REASON FOR REQUESTING REVIEW

3. The applicant has requested a review on the grounds that the Council's appointed officer refused the application.

RECOMMENDATIONS

4. The Local Review Body is asked to:-
- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
 - (i) it proceeds to determine whether the decision taken in respect of the application under review should be upheld, reversed or varied; and
 - (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed.

- (b) In the event that further procedure is required to allow it to determine the review, consider:-
 - (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

BACKGROUND

5. At the meeting of the Council on 29 April 2009, consideration was given to a report by the Director of Environment seeking the adoption of a new Scheme of Delegation in terms of the new Section 43A of the Town and Country Planning (Scotland) Act 1997, subject to approval of the scheme by Scottish Ministers.

6. The report provided details of the new hierarchy of developments that took effect from 6 April 2009 explaining that the Scheme of Delegation related to those applications within the “local development” category as set out in the Town and Country Planning (Hierarchy of Development) (Scotland) Regulations 2009, but would in future be determined by an “appointed officer”. In the Council’s case this would be either the Director of Environment or the Head of Roads, Planning and Transportation Service now designated the Head of Environment (Planning, Economic Development and City Deal).

7. The report highlighted that historically appeals against planning decisions were dealt with by Scottish Ministers. However, following the introduction of the new planning provisions which came into effect on 3 August 2009 all appeals against decisions made in respect of local developments under delegated powers would be heard by a Local Review Body. The Local Review Body would also deal with cases where the appointed officer had failed to determine an application within two months from the date it was lodged.

NOTICE OF REVIEW – STATEMENT OF REASONS FOR REQUIRING THE REVIEW

8. The applicant in submitting the review has stated the reasons for requiring the review of the determination of his application. A copy of the applicant’s Notice of Review and Statement of Reasons is attached as Appendix 5.

9. The applicant is entitled to state a preference for the procedure (or combination of procedures) to be followed by the Local Review Body in the determination of the review and has indicated that his stated preferences are one or more hearing sessions and a site inspection.

10. The Local Review Body is not bound to accede to the applicant’s request as to how it will determine the review and will itself decide what procedure will be used in this regard.

11. Members will recall however that at the meeting of the Local Review Body on 4 November 2015, it was decided that the Local Review Body would carry out unaccompanied site inspections for a trial period of 6 months for every review case it received prior to the cases being given initial consideration at a meeting of the Local Review Body.

12. In accordance with the above decision, the Local Review Body has agreed to carry out an unaccompanied site inspection on Wednesday, 13 January 2016 immediately before the meeting of the Local Review Body which is scheduled to begin at 2.30pm on that date.

INFORMATION AVAILABLE TO ALLOW REVIEW OF APPLICATION

13. Section 43B of the Planning etc (Scotland) Act 2006 restricts the ability of parties to introduce new material at the review stage. The Local Review Body is advised that the focus of the review should, therefore, be on the material which was before the officer who dealt with the application under the Scheme of Delegation.

14. However, the applicant has submitted new information which was not available to the Appointed Officer at the time the determination of the application was made. The new information relates to photographs of other properties in the area together with a commentary about them which was not in the application file.

15. Members are advised that Section 43B of The Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 states that:-

“43B Matters which may be raised in a review under section 43A(8)

- (1) In a review under section 43A(8), a party to the proceedings is not to raise any matter which was not before the appointed person at the time the determination reviewed was made unless that party can demonstrate—
 - (a) that the matter could not have been raised before that time, or
 - (b) that its not being raised before that time was a consequence of exceptional circumstances.
- (2) Nothing in subsection (1) affects any requirement or entitlement to have regard to—
 - (a) the provisions of the development plan, or
 - (b) any other material consideration.”

16. The applicant has been given an opportunity to explain why the information was not made available to the Appointed Officer at the time the application was determined.

17. In reply, the applicant has explained that he considered it necessary to submit the new information to illustrate that his proposal was comparable with and indeed proposes less of a development impact than other recent extensions which had been carried out nearby.

18. Furthermore, the applicant has indicated that the matter could not have been raised before as he did not expect his original planning application to be refused given the time that had been spent on considering the proposed extension to ensure that it complemented and tied in with the existing build of his home and surrounding area.

19. The Local Review Body must decide whether the new information should be considered as part of the review. In the event that the Local Review Body decides that the new information should be considered as part of the review, it is recommended, in the interests of equality of opportunity to all parties that the Appointed Officer and those interested parties who have submitted representations be given the opportunity to comment on the new information.

20. Members should note that the new information has been excluded from the applicant's 'Notice of Review' form.

21. The information detailed below is appended to this report to assist the Local Review Body in carrying out the review of the decision taken by the Appointed Officer:-

- (a) Application for planning permission – Appendix 1 (Pages 9-18);
- (b) Copies of representations – Appendix 2 (Pages 19-24);
- (c) Report of Handling by the planning officer under the Scheme of Delegation - Appendix 3 (Pages 25-30);
- (d) Decision notice and reasons for refusal - Appendix 4 (Pages 31-34); and
- (d) The applicant's Notice of Review and Statement of Reasons - Appendix 5 (Pages 35-44).

22. The applicant has also submitted the drawings listed below (available for inspection within the Planning Division of the Environment Department prior to the meeting and for reference at the meeting) and these are attached as Appendix 6 (Pages 45-55):

- (a) Block plan as existing;
- (b) Rear elevation as existing and roof plans existing and proposed;
- (c) Refused - Location plan;
- (d) Refused – Block plan as proposed; and
- (e) Refused – Elevations and floor plans as proposed.

23. The Local Review Body is advised that initial consultation responses and representations received if any, relating to the application will be listed in the planning officer's Report of Handling.

24. All the documents referred to in this report can be viewed online on the Council's website at www.eastrenfrewshire.gov.uk with the exception of any representations that have been made to the application.

RECOMMENDATIONS

25. The Local Review Body is asked to:-

- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
 - (i) it proceeds to determine whether the decisions taken in respect of the application under review should be upheld, reversed or varied; and
 - (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed.

- (b) In the event that further procedure is required to allow it to determine the review, consider:-
- (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

Report Author: Paul O'Neil, Committee Services Officer

Director - Caroline Innes, Deputy Chief Executive

Paul O'Neil, Committee Services Officer
e-mail: paul.o'neil@eastrenfrewshire.gov.uk
Tel: 0141 577 3011

Date:- December 2015

KEY WORDS:

A report presenting information to allow the Local Review Body to review the decision taken by the appointed officer to refuse the application for planning permission in terms of the scheme of delegation.

Key Words:- Local Review Body, Notice of Review, Statement, Reasons.

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APPLICATION FORM

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2015/05/17/TP

HOUSEHOLDER APPLICATION FOR PLANNING PERMISSION

Town and Country Planning (SCOTLAND) ACT 1997
 The Town and Country Planning (Development Management Procedure) (SCOTLAND) REGULATIONS 2013

Please refer to the accompanying Guidance Notes when completing this application
PLEASE NOTE IT IS FASTER AND SIMPLER TO SUBMIT PLANNING APPLICATIONS ELECTRONICALLY VIA <https://eplanning.scotland.gov.uk>

1. Applicant's Details		2. Agent's Details (if any)	
Title	MR. W. WILMOT	Ref No.	
Forename	MATHEW .	Forename	MR COLIN .
Surname	WILMOT.	Surname	JACKSON .
Company Name		Company Name	HTM DESIGN OK .
Building No./Name	100 .	Building No./Name	UNIT 5
Address Line 1	WEARNS ROAD	Address Line 1	HUNTERS RD IND ESTE
Address Line 2	NEWTON WEARNS	Address Line 2	LEUTHERCLOW
Town/City	GUSBORO .	Town/City	GUSBORO G73 1LB.
Postcode	G76 7UP .	Postcode	
Telephone		Telephone	
Mobile		Mobile	
Fax		Fax	
Email		Email	htmdesignuk@gmail.com .
3. Address or Location of Proposed Development (please include postcode)			
100 WEARNS ROAD . NEWTON WEARNS GUSBORO G76 7UP .			
NB. If you do not have a full site address please identify the location of the site(s) in your accompanying documentation.			
4. Describe the Proposed Works			
Please describe accurately the work proposed:			
ATTIC BEDROOM EN-SUITE CONVERSION TO REAR ELEVATION WITH EXTENDED STAIR ACCESS .			
Have the works already been started or completed Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
If yes, please state date of completion, or if not completed, the start date:			
Date started:	<input type="text"/>	Date completed:	<input type="text"/>

N/A

If yes, please explain why work has already taken place in advance of making this application.

N/A.

5. Pre-Application Discussion

Have you received any advice from the planning authority in relation to this proposal? Yes No

If yes, please provide details about the advice below:

In what format was the advice given? Meeting Telephone call Letter Email

Have you agreed or are you discussing a Processing Agreement with the planning authority? Yes No

Please provide a description of the advice you were given and who you received the advice from:

Name: Date: Ref No.:

GENERAL CONVERSATION ON PROPOSAL AND ITS SUITABILITY IN
REGARDS TO LOCAL PLAN AND ITS IMPACT ON NEIGHBOURING
PROPERTIES.

6. Trees

Are there any trees on or adjacent to the application site? Yes No

If yes, please show on drawings any trees (including known protected trees) and their canopy spread as they relate to the proposed site and indicate if any are to be cut back or felled.

7. Changes to Vehicle Access and Parking

Are you proposing a new altered vehicle access to or from a public road? Yes No

If yes, please show in your drawings the position of any existing, altered or new access and explain the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any changes to public paths, public rights of way or affecting any public rights of access? Yes No

If yes, please show on your drawings the position of any affected areas and explain the changes you propose to make, including arrangement for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application site?

How many vehicle parking spaces (garaging and open parking) do you propose on the site? (i.e. the total of existing and any new spaces or reduced number of spaces)

Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, etc).

8. Planning Service Employee/Elected Member Interest

Are you / the applicant / the applicant's spouse or partner, a member of staff within the planning service or an elected member of the planning authority? Yes No

Or, are you / the applicant / the applicant's spouse or partner a close relative of a member of staff in the planning service or elected member of the planning authority? Yes No

If you have answered yes please provide details:

N/A

DECLARATION

I, the applicant agent certify that this is an application for planning permission and that accompanying plans/drawings and additional information are provided as part of this application. I hereby confirm that the information given in this form is true and accurate to the best of my knowledge.

I, the applicant agent hereby certify that the attached Land Ownership Certificate has been completed

I, the applicant agent hereby certify that requisite notice has been given to other land owners and /or agricultural tenants Yes No N/A

Signature:  Name:  Date: 28/7/15

Any personal data that you have been asked to provide on this form will be held and processed in accordance with the requirements of the 1998 Data Protection Act.

LAND OWNERSHIP CERTIFICATES

Town and Country Planning (Scotland) Act 1997
 Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

CERTIFICATE A, B, C, D OR CERTIFICATE E MUST BE COMPLETED BY ALL APPLICANTS

CERTIFICATE A

Certificate A is for use where the applicant is the only owner of the land to which the application relates and none of the land is agricultural land.

I hereby certify that -

- (1) No person other than myself MR. M. WILMOT was owner of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the application.
- (2) None of the land to which the application relates constitutes or forms part of agricultural land.

Signed: *Mal Wilmot*

On behalf of: MR. M. WILMOT.

Date: 28/7/15.

CERTIFICATE B

Certificate B is for use where the applicant is not the owner or sole owner of the land to which the application relates and/or where the land is agricultural land and where all owners/agricultural tenants have been identified.

I hereby certify that -

- (1) I have served notice on every person other than myself who, at the beginning of the period of 21 days ending with the date of the application was owner of any part of the land to which the application relates. These persons are:

Name	Address	Date of Service of Notice
<i>n/a.</i>		

- (2) None of the land to which the application relates constitutes or forms part of agricultural land

or

- (3) The land or part of the land to which the application relates constitutes or forms part of agricultural land and I have served notice on every person other than myself who, at the beginning of the period of 21 days ending with the date of the application was an agricultural tenant. These persons are:

Name	Address	Date of Service of Notice
<i>N/A</i>		

Signed:

On behalf of:

Date:

CERTIFICATE C

Certificate C is for use where the applicant is not the owner or sole owner of the land to which the application relates and/or where the land is agricultural land and where it has not been possible to identify ALL or ANY owners/agricultural tenants.

(1) I have been unable to serve notice on **every** person other than myself who, at the beginning of the period of 21 days ending with the date of the application was owner of any part of the land to which the application relates.

or

(2) I have been unable to serve notice on **any** person other than myself who, at the beginning of the period of 21 days ending with the date of the accompanying application, was owner of any part of the land to which the application relates.

(3) None of the land to which the application relates constitutes or forms part of an agricultural holding. *N/A*

or

(4) The land or part of the land to which the application relates constitutes or forms part of an agricultural holding and I have been unable to serve notice on any person other than myself who, at the beginning of the period of 21 days ending with the date of the accompanying application was an agricultural tenant.

or

(5) The land or part of the land to which the application relates constitutes or forms part of an agricultural holding I have served notice on each of the following persons other than myself who, at the beginning of the period of 21 days ending with the date of the application was an agricultural tenant. These persons are:

Name	Address	Date of Service of Notice
<i>N/A</i>		

(6) I have taken reasonable steps, as listed below, to ascertain the names and addresses of all other owners or agricultural tenants and have been unable to do so.

Steps taken:

[Empty box for steps taken]

Signed: [Empty box]

On behalf of: [Empty box]

Date: [Empty box]

CERTIFICATE D

Certificate D is for use where the application is for mineral development.

(1) No person other than myself was an owner of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

or

(2) I have served notice on each of the following persons other than myself who, at the beginning of the period of 21 days ending with the date of the accompanying application, was to the applicant's knowledge, the owner, of any part of the land to which the application relates. These persons are:

Name	Address	Date of Service of Notice
	M A	

(3) None of the land to which the application relates constitutes or forms part of an agricultural holding.

or

(4) The land or part of the land to which the application relates constitutes or forms part of an agricultural holding and I have served notice on each of the following persons other than myself who, at the beginning of the period of 21 days ending with the date of the application, was an agricultural tenant.

(5) Notice of the application as set out below has been published and displayed by public notice

Signed: [Empty box]

On behalf of: [Empty box]

Date: [Empty box]

CERTIFICATE E

Certificate E is required where the applicant is the sole owner of all the land and the land to which the application relates is agricultural land and there are or are not agricultural tenants.

I hereby certify that -

(1) No person other than myself was the owner of any part of the land to which the application relates at the beginning of the period 21 days ending with the date of the application.

(2) The land to which the application relates constitutes or forms part of an agricultural holding and there are no agricultural tenants.

or

(1) No person other than myself was the owner of any part of the land to which the application relates at the beginning of the period 21 days ending with the date of the application.

(2) The land to which the application relates constitutes or forms part of an agricultural holding and there are agricultural tenants. These people are:

Name	Address	Date of Service of Notice
	W/A	

(3) I have taken reasonable steps, as listed below, to ascertain the names and addresses of the other agricultural tenants and have been unable to do so.

Steps taken:

Signed:

On behalf of:

Date:

Any personal data that you have been asked to provide on this form will be held and processed in accordance with the requirements of the 1998 Data Protection Act

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COPIES OF REPRESENTATIONS

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From:Diane Cameron
Sent:17 Aug 2015 20:43:09 +0100
To:Planning
Subject:Ref number 2015/0517/TP

I have tried to complete this through the planning information system but with no success.

Dear Sirs,

I write with regards the proposed extension to 100 Mearns Road. I live at right angles to the property - and the extension will have the biggest impact to my home. With the support of my daughter I have tried to fully understand the drawings and plans - not easy at the ages of 90. However I do understand that the height of the proposed build will limit light to my property. This property has already been greatly extended and think that this final extension is perhaps some what greedy! The proposed build overlooks the room that I spend most of my days in - being elderly and disabled - and I imagine will take away sunlight and will greatly enclose the outlook which I currently enjoy.

I have always had concerns about the lane which separates myself and Mr Wilmott. This lane is a public right of way to the golf course and beyond to The Loanings, Whitecraigs. I understand that he has responsibility for this lane where it touches his property and at present it is quite over grown and the road surface is very poor with many pot holes and often flooded. I would imagine with further building traffic that this can only deteriorate the state of this lane. There has been no efforts made over the last few years to maintain or improve this.

As I have already stated I spend a most of my day in the room of my home that will look up to this large building extension and will be upset by the noise and general disturbance that the building may create.

I do hope that you will take my anxieties, concern and complaint into consideration when giving any consent to the proposal to extend this already greatly extended property.

Yours faithfully

Ethel Hayton.

Please could you send a receipt to acknowledge of this email Thank you.

Sent from my iPad
This email has been scanned.

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Comments for Planning Application 2015/0517/TP

Application Summary

Application Number: 2015/0517/TP

Address: 100 Mearns Road Clarkston East Renfrewshire G76 7UP

Proposal: Erection of upper floor extension cantilevered at rear

Case Officer: Mr Derek Scott

Customer Details

Name: Mr Barry Leddy

Address: 11 Lomondside Avenue, Clarkston, East Renfrewshire G76 7UQ

Comment Details

Commenter Type: Member of Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: My property is 11 Lomondside Avenue which is directly adjacent to this property. My property has a south facing garden which is why I purchased the property 10 years ago. This application seems to suggest that I will lose a huge amount of light into my property. This proposed extension will be 4 metres from the boundary of my property.

I am objecting to this on the basis of overlooking/overshadowing and the loss of light to my garden and property. I also am concerned about potential privacy impact into my own home.

I believe this proposal may impact on the valuation of my property.

I also wish to say that the building plans at the moment are very unclear and I would like to see them in more detail as soon as possible. I am disappointed that the council have not put more detail on-line regarding this plan to view publicly.

I would be obliged if the council could contact me as soon as possible with access to scaled/detailed plans.

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REPORT OF HANDLING

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REPORT OF HANDLING

Reference: 2015/0517/TP

Date Registered: 5th August 2015

Application Type: Full Planning Permission

This application is a Local Development

Ward: 6 -Busby Clarkston Eaglesham

Co-ordinates: 256451/:657213

Applicant/Agent:

Applicant:

Mr M Wilmott
100 Mearns Road
Clarkston
East Renfrewshire
G76 7UP

Agent:

HTM Design Ltd
Unit 5
Hunters Road Industrial Estate
Rutherglen
Glasgow
G73 1LB

Proposal: Erection of upper floor extension cantilevered at rear

Location: 100 Mearns Road
Clarkston
East Renfrewshire
G76 7UP

CONSULTATIONS/COMMENTS: None.

PUBLICITY: None.

SITE NOTICES: None.

SITE HISTORY:

2005/0513/TP	Erection of one and a half storey rear extension and installation of side dormer	ASTC	11.08.2005
2007/0137/TP	Erection of one and a half storey side extension incorporating garage and installation of side dormer	ASTC	11.04.2007

REPRESENTATIONS:

Two letters of objection have been received and can be summarised as follows: Overlooking towards adjacent gardens; overshadowing; loss of light; loss of outlook; noise and disturbance during construction; reduction in property values; and construction traffic would further deteriorate the condition of the adjacent access lane.

DEVELOPMENT PLAN & GOVERNMENT GUIDANCE: See Appendix 1

SUPPORTING REPORTS:

No reports have been submitted for consideration as part of this application.

ASSESSMENT:

The application site comprises a detached hipped roof bungalow and its curtilage and lies within an established residential area. The dwelling has been extended in the past and has a flat roofed single storey rear extension, a one and a half storey side extension and front and side dormer windows.

Planning permission is now sought for the erection of a first floor rear extension. It is proposed to be partially cantilevered and partially built over the existing single storey rear extension such that it comprises a ground floor area that is not fully enclosed. It is proposed to measure 3.5 metres from the rear of the dwelling by 7.3 metres wide by 8 metres high. It would have a hipped roof and an eaves line 2.5 metres above that of the existing dwelling.

The proposed first floor extension with its higher ~~28~~ height is considered to be of a design and form markedly different from that of the existing dwelling as extended. Although significantly altered, the existing dwelling retains the appearance of a hipped roof bungalow. However, the proposed first floor extension, rising a full two storeys to the rear, is at odds with this character and cannot be considered to be of a design and form in keeping with the existing building. The proposal is therefore considered to be contrary to Policy D14 of the adopted Local Development Plan and to the Supplementary Planning Guidance: Householder Design Guide (SPG) as it does not respect the character of the original house in terms of its design.

The points of objection can be addressed as follows: If the application were otherwise acceptable any overlooking issue could be addressed by the use of opaque glazing. It is not considered that the proposal would give rise to significant overshadowing or loss of light given its dimensions and the distance from the adjacent boundaries. Loss of view or outlook and any perceived reduction in property values are not material planning considerations. The condition of the private access lane would be a private legal matter.

Taking all of the above into consideration, the application is considered to be contrary to the adopted Local Development Plan and is recommended for refusal.

RECOMMENDATION: Refuse

PLANNING OBLIGATIONS: None

REASONS FOR REFUSAL:

1. The development is contrary to Policy D14 of the adopted East Renfrewshire Local Development Plan as the proposed first floor extension would not be in keeping with the character of the existing dwelling in terms of its form and design.
2. The proposed development is contrary to the adopted Supplementary Planning Guidance; Householder Design Guide as it does not comply with the general design principles.

ADDITIONAL NOTES: None

ADDED VALUE: None

BACKGROUND PAPERS:

Further information on background papers can be obtained from Mr Derek Scott on 0141 577 3034.

Ref. No.: 2015/0517/TP
(DESC)

DATE: 2nd September 2015

DIRECTOR OF ENVIRONMENT

Reference: 2015/0517/TP - Appendix 1
DEVELOPMENT PLAN:

Strategic Development Plan

This proposal raises no strategic issues in terms of the Glasgow and the Clyde Valley Strategic Development Plan and therefore the East Renfrewshire Local Plan is the relevant policy document

Adopted East Renfrewshire Local Development Plan

Policy D1

Detailed Guidance for all Development

Proposals for development should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. In some cases, where the criteria have not been met, a written justification will be required to assist with assessment.

1. The development should not result in a significant loss of character or amenity to the

- surrounding area;
2. The proposal should be of a size, scale, massing and density that is in keeping with the buildings in the locality and should respect local architecture, building form, design, and materials;
 3. The amenity of neighbouring properties should not be adversely affected by unreasonably restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Planning Guidance;
 4. The development should not impact adversely on landscape character or the green network, involve a significant loss of trees or other important landscape, greenspace or biodiversity features;
 5. Developments should incorporate green infrastructure including access, landscaping, greenspace, water management and Sustainable Urban Drainage Systems at the outset of the design process. Where appropriate, new tree or shrub planting should be incorporated using native species. The physical area of any development covered by impermeable surfaces should be kept to a minimum to assist with flood risk management. Further guidance is contained within the Green Network and Environmental Management Supplementary Planning Guidance;
 6. Development should create safe and secure environments that reduce the scope for anti-social behaviour and fear of crime;
 7. Developments must be designed to meet disability needs and include provision for disabled access within public areas;
 8. The Council will not accept 'backland' development, that is, development without a road frontage;
 9. Parking and access requirements of the Council should be met in all development and appropriate mitigation measures should be introduced to minimise the impact of new development. Development should take account of the principles set out in 'Designing Streets';
 10. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the development;
 11. Developments should include provision for the recycling, storage, collection and composting of waste materials;
 12. Where possible, all waste material arising from construction of the development should be retained on-site for use as part of the new development;
 13. Where applicable, new development should take into account the legacy of former mining activity;
 14. Development should enhance the opportunity for and access to sustainable transportation, including provision for bus infrastructure, and particularly walking and cycle opportunities including cycle parking and provision of facilities such as showers/lockers, all where appropriate. The Council will not support development on railways solums or other development that would remove opportunities to enhance pedestrian and cycle access unless mitigation measures have been demonstrated;
 15. The Council requires the submission of a design statement for national and major developments. Design statements must also be submitted in cases where a local development relates to a site within a conservation area or Category A listed building in line with Planning Advice Note 68: Design Statements.
 16. Where applicable, developers should explore opportunities for the provision of digital infrastructure to new homes and business premises as an integral part of development.

Policy D14

Extensions to Existing Buildings and Erection of Outbuildings and Garages

Any extensions must complement the existing character of the property, particularly in terms of style, form and materials.

The size, scale and height of any development must be appropriate to the existing building. In most circumstances, pitched roofs utilising slates or tiles to match the existing house will be the appropriate roof type. Alternatives, such as flat roofs or green roofs, will be considered on a site specific basis.

Side extensions should not create an unbroken or terraced appearance.

The development should avoid over-development of the site by major loss of existing garden space.

Dormer windows should not in general dominate the existing roof, nor rise above or break the existing ridgeline or hip of the roof, and should be finished in materials to match existing roof finishes.

The above are broad requirements and these are **30** further defined in the Householder Design Guide Supplementary Planning Guidance.

GOVERNMENT GUIDANCE: None relevant

Finalised 02/09/15 IM(1)

**DECISION NOTICE
AND
REASONS FOR REFUSAL**

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**TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
(AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(SCOTLAND) REGULATIONS 2013**

REFUSAL OF PLANNING PERMISSION

Ref. No. **2015/0517/TP**

Applicant

Mr M Wilmott
100 Mearns Road
Clarkston
East Renfrewshire
G76 7UP

Agent:

HTM Design Ltd
Mr Colin Jackson
Unit 5
Hunters Road Industrial Estate
Rutherglen
Glasgow
G73 1LB

With reference to your application which was registered on 5th August 2015 for planning permission under the abovementioned Act and Regulations for the following development, viz:-

Erection of upper floor extension cantilevered at rear

at: 100 Mearns Road Clarkston East Renfrewshire G76 7UP

the Council in exercise of their powers under the abovementioned Act and Regulations hereby refuse planning permission for the said development.

The reason(s) for the Council's decision are:-

1. The development is contrary to Policy D14 of the adopted East Renfrewshire Local Development Plan as the proposed first floor extension would not be in keeping with the character of the existing dwelling in terms of its form and design.
2. The proposed development is contrary to the adopted Supplementary Planning Guidance; Householder Design Guide as it does not comply with the general design principles.

Dated 2nd September 2015



Director of Environment
East Renfrewshire Council
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG
Tel. No. 0141 577 3001

The following drawings/plans have been refused

Plan Description	Drawing Number	Drawing Version	Date on Plan
Block Plan	BLOCK PLAN		
Location Plan	LOCATION		
Plans Proposed	P2		

GUIDANCE NOTE FOR REFUSAL OF LOCAL DEVELOPMENTS DETERMINED UNDER DELEGATED POWERS

REVIEW BY EAST RENFREWSHIRE COUNCIL'S LOCAL REVIEW BODY

1. If the applicant is aggrieved by the decision to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. A notice of review should be addressed to the Principal Committee Services Officer, Council Headquarters, Eastwood Park, Rouken Glen Road, Giffnock G46 6UG. Applicants can also ask for a review if the application has not been determined within the 2 month time period for a decision.

Requests for review must be made on the Notice of Review form which is available to download from the Council's website at www.eastrenfrewshire.gov.uk or alternatively call the Planning general enquiry lines on 0141 577 3895 or 3878 to request one. Following submission of the notice, you will receive an acknowledgement letter informing you of the date of the Local Review Body meeting or whether further information is required.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

CONTACT DETAILS

East Renfrewshire Council
Development Management Service
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG

General Inquiry lines 0141 577 3895 or 0141 577 3878
Email planning@eastrenfrewshire.gov.uk

**NOTICE OF REVIEW
AND
STATEMENT OF REASONS**

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NOTICE OF REVIEW

UNDER SECTION 43A(8) OF THE TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997 (AS AMENDED) IN RESPECT OF DECISIONS ON LOCAL DEVELOPMENTS

THE TOWN AND COUNTRY PLANNING (SCHEMES OF DELEGATION AND LOCAL REVIEW PROCEDURE) (SCOTLAND) REGULATIONS 2008

THE TOWN AND COUNTRY PLANNING (APPEALS) (SCOTLAND) REGULATIONS 2008

IMPORTANT: Please read and follow the guidance notes provided when completing this form. Failure to supply all the relevant information could invalidate your notice of review.

Use **BLOCK CAPITALS** if completing in manuscript

Applicant(s)

Agent (if any)

Name

Name

Address

Address

Contact Telephone 1

Contact Telephone 2

Fax No

Contact Telephone 1

Contact Telephone 2

Fax No

E-mail*

E-mail*

Mark this box to confirm all contact should be through this representative:

* Do you agree to correspondence regarding your review being sent by e-mail?

Yes No

Planning authority

Planning authority's application reference number

Site address

Description of proposed development

Date of application

Date of decision (if any)

Note. This notice must be served on the planning authority within three months of the date of the decision notice or from the date of expiry of the period allowed for determining the application.

Nature of application

- 1. Application for planning permission (including householder application)
- 2. Application for planning permission in principle
- 3. Further application (including development that has not yet commenced and where a time limit has been imposed; renewal of planning permission; and/or modification, variation or removal of a planning condition)
- 4. Application for approval of matters specified in conditions

Reasons for seeking review

- 1. Refusal of application by appointed officer
- 2. Failure by appointed officer to determine the application within the period allowed for determination of the application
- 3. Conditions imposed on consent by appointed officer

Review procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may tick more than one box if you wish the review to be conducted by a combination of procedures. However, please note that the Local Review Body is not bound to accede to your request(s) and will decide what procedure will be used to determine your review.

- 1. Further written submissions
- 2. One or more hearing sessions
- 3. Site inspection
- 4. Assessment of review documents only, with no further procedure

If you have marked box 1 or 2, please explain here which of the matters (as set out in your statement below) you believe ought to be subject of that procedure, and why you consider further submissions or a hearing are necessary:

THE CLIENT BELIEVES THAT THERE ARE DEVELOPMENTS WITHIN THE SAME LOCALITY THAT ARE SIMILAR TO THEIRS THAT HAVE NOT BEEN REFUSED AND WISH TO MAKE THEIR CASE.

Site inspection

In the event that the Local Review Body decides to inspect the review site, in your opinion:

- | | | |
|--|--------------------------|-------------------------------------|
| | Yes | No |
| 1. Can the site be viewed entirely from public land? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 2. Is it possible for the site to be accessed safely, and without barriers to entry? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

STATEMENT

Policy D14: Reason for Refusal 1.

The client believes that the proposed extension to the rear of their property at 100 Mearns Road is in keeping with character of the existing dwelling and adheres to Policy D14 of the Local Development Plan for Existing Buildings and Erection of Outbuildings and Garages. The client has been mindful to instruct the architect to use materials similar to those existing and to replicate as much as possible existing roof pitches and not to compromise the design of the existing bungalow. The small area of flat code 5 Lead Roof to the rear, as viewed from ground level, and the pitch of the new hipped roof mirror exactly the existing roof design at the rear (on elevation) to a smaller scale. And as such should be viewed on a site specific basis as per the policy D14.

Householder Design Guide: Reason for Refusal 2.

The client believes that the proposed extension, in keeping with 2.1. is contained within existing building lines and is not directly overlooking or overshadowing neighbouring properties, is subordinate in scale to and in appearance to the original house, Cannot be viewed from the street and looks onto a golf course to the rear and is screened by trees and hedgerows. The client also believes that in keeping with 2.1.1. the design is both innovative and contemporary and its unique secluded location was not taken into account by the Planning Authority when making their decision. The client has submitted pictorial examples of similar large scale house extensions like theirs within the Newton Mearns area which have had permission granted for a variety of innovative, contemporary and modern designs.

On matters of procedure we note:

1. The Planning Authority did not send back a complete set of Drawings with their Refusal Notice. The client fears that a decision was reached where not all of the submitted plans and elevations were taken into account.
2. The description of the proposed development was changed, by the planning authority from 'Attic Bedroom En-Suite Conversion to Rear Elevation with Extended Stair Access' to 'Erection of Upper Floor Extension Cantilevered at rear' with no consultation or agreement between parties. The planning Officer at a meeting held 28/10/15 stated that the proposals were refused as it was considered a two storey extension. This was not mentioned in the refusal notice or described in any description

If there are reasons why you think the Local Review Body would be unable to undertake an unaccompanied site inspection, please explain here:

ACCESS TO THE PROPERTY WOULD HAVE TO BE ARRANGED IN ADVANCE BETWEEN THE CLIENT (AND OR AGENT).

Statement

You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. Note: you may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

If the Local Review Body issues a notice requesting further information from any other person or body, you will have a period of 14 days in which to comment on any additional matter which has been raised by that person or body.

State here the reasons for your notice of review and all matters you wish to raise. If necessary, this can be continued or provided in full in a separate document. You may also submit additional documentation with this form.

Please see Attached Sheet -

Have you raised any matters which were not before the appointed officer at the time the determination on your application was made?

Yes No

If yes, you should explain in the box below, why you are raising new material, why it was not raised with the appointed officer before your application was determined and why you consider it should now be considered in your review.

CLIENT'S PHOTOGRAPHS SHOW THAT WHAT IS NOT BEING ALLOWED AT 100 WEARNS RD IS PERMISSIBLE AT OTHER LOCATIONS GOING THRO' THE SAME PLANNING PROCESS

List of documents and evidence

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review.

- ~~Location Plan 1:1250~~
- ~~Block Plan Proposed 1:500~~
- ~~Drawings with Plan, Elevation & Details~~
- ~~Copy Planning Application Form~~
- ~~Refusal Notice~~
- ~~East Renfrewshire's Local Plan D14~~
- ~~Householder Design Guide.~~
- ~~Block Plan 1:500 Existing~~
- ~~1set (2No) Contract~~
- ~~East Renfrewshire Council's~~
- ~~East Renfrewshire Council's~~
- Clients Pictures of current and recent planning approvals. ✓

Note. The planning authority will make a copy of the notice of review, the review documents and any notice of the procedure of the review available for inspection at an office of the planning authority until such time as the review is determined. It may also be available on the planning authority website.

Checklist

Please mark the appropriate boxes to confirm you have provided all supporting documents and evidence relevant to your review:

- Full completion of all parts of this form
- Statement of your reasons for requiring a review
- All documents, materials and evidence which you intend to rely on (e.g. plans and drawings or other documents) which are now the subject of this review.

Note. Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice from that earlier consent.

Declaration

I the applicant/agent [delete as appropriate] hereby serve notice on the planning authority to review the application as set out on this form and in the supporting documents.

Signed

[Redacted Signature]

Date

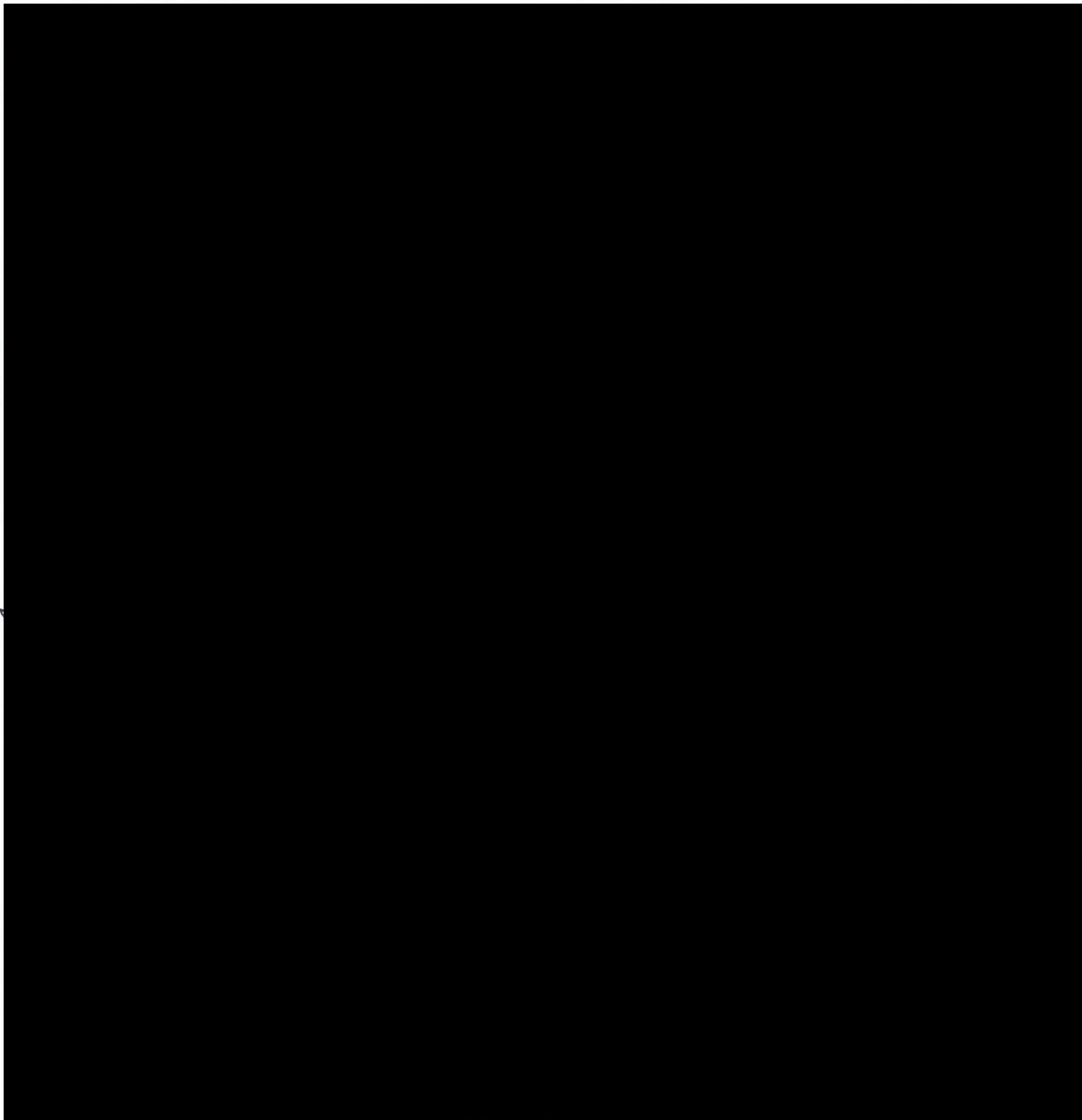
23/11/2015

Data Protection Act 1998

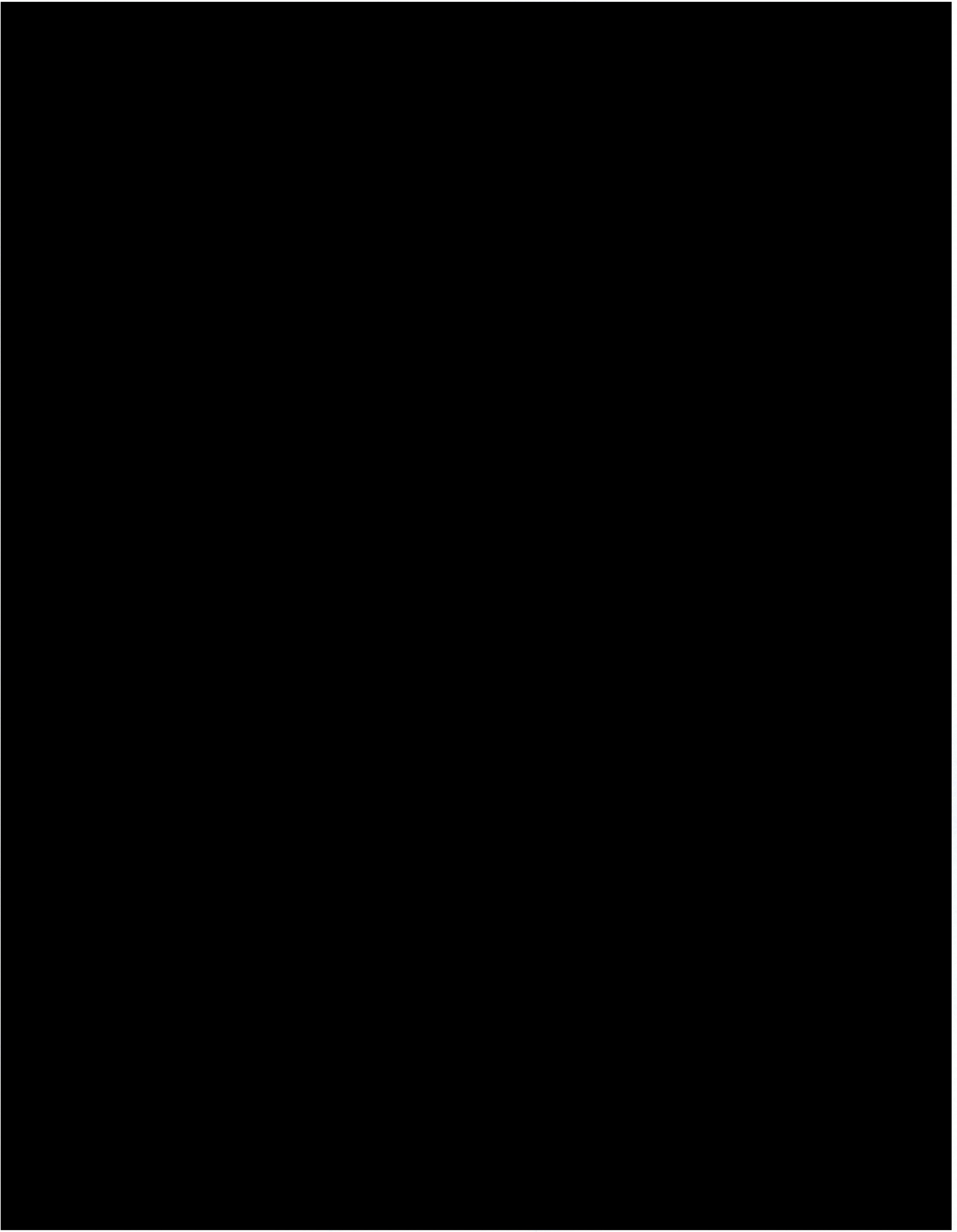
East Renfrewshire Council is the Data Controller for the purposes of the Data Protection Act 1998. Please note that the information provided with this application will appear in the public register of applications and will also be published on the Council's website. Personal details such as signatures, personal phone numbers and personal email addresses will not be published on-line. If you wish any further personal information to be excluded from publication, please request this in writing and the Council will consider your request.

Your completed notice of review should now be returned to: East Renfrewshire Council, Head of Environment (Planning, Property and Regeneration), 2 Spiersbridge Way, Spiersbridge Business Park, Thornliebank, East Renfrewshire G46 8NG. Alternatively, you can e-mail your notice of review to eamonn.daly@eastrenfrewshire.gov.uk

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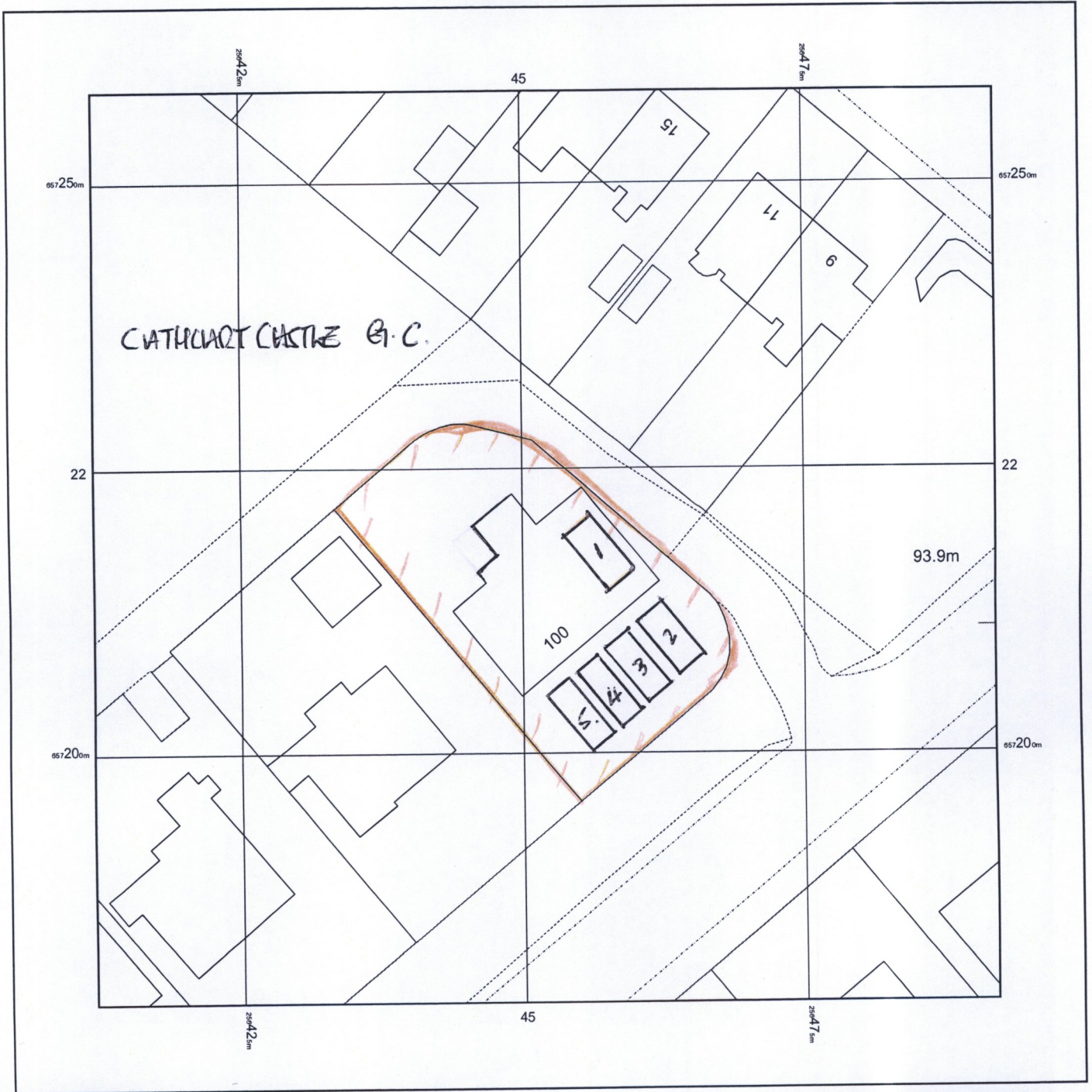
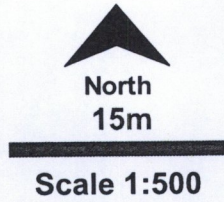
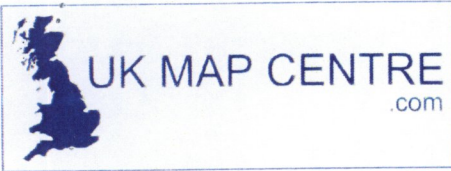


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PLANS/PHOTOGRAPHS/DRAWINGS

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Block Plan AS EXISTING

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SITTING ROOM DOWNTAKINGS:

Strip off existing flat roof coverings and felt, remove and deny flat roof joists, gyproc ceiling and sarking boards and remove from site. Temporary weather screening and prepare wall heads to receive new timber kit cavity wall construction.

MID FLOOR (U Value 0.15w/m2/c):

22mm T&G chipboard flooring laid on new 200x50mm sw joists at 450mm centres on new 125x25mm sw treated wall plate fixed to existing Sitting Room timber frame wall head and new 203x133x30kg UB's, on 150mm thick Celotex XR4000 rigid board insulation laid between joist centres on, 1200G membrane and quietex sound insulation laid between joist centres, new 12.7mm Gyproc ceiling boards for ames tape finish and on 2 layers of 15mm Gyproc-Fireline boards on staggered joists with non-shrinkable fillers on Cedar Lining board at external first floor soffit. End bearings at mid span and wall heads to be a minimum of 150mm over existing timber kit construction and on new 203x133x30kg Universal Beams supported on new Structural column bolted in-situ to 600x600mm2 30N concrete pad-stone by 4No 12.7mm diameter MS bolts. All structural steel coated in 1/2hour fire retardant intumescent paint.

SIDE & GABLE EXTERNAL WALLS (0.27w/m2/c)

Cavity wall construction, built on top of existing Sitting Room Timber Kit Cavity Wall Construction and on new 203x133x30kg UB's at external first floor soffit, on 150x25mm s.w. criddle studs at 400mm centres with 2 layers of 75mm thick Celotex GA4000 rigid board insulation between studs, on 50mm clear cavity on non-loadbearing 75x50mm cls timber framing sheeted over by 50mm Gyproc Termal Vapour Check board for ames tape finish. 2/150x50mm sw timbers forming lintels on criddle stud formation over new window openings.

REAR ELEVATION EXTERNAL WALL (0.27w/m2/c)

Timber frame cavity wall construction built on existing timber frame wall-heads and on new structural steel beams and support column of 100mm 7N Sterling Concrete Blocks with 2 Coat render finish to match existing, on 60mm cavity, on breather membrane, on 12.7mm sheathing ply, on 150x50mm sc4 grade timber studs at 600mm centres in criddle stud formation at window openings. 140 Rockwool Flexi rigid board insulation between studs on 12.5mm gyproc wallboards with thermal vapour check all for ames tape finish. B.A.T. 1m long x 38mm 1" shaped timber kit anchor straps at 1.2m centres screwed to timber kit. Vertical studs bolted to Sid & Gable walls by 10mm diameter coach-bolts at 600mm centres. New TK150 external leaf timber frame lintels by Keyline and 2x200x50mm sw timbers spiked together for internal lintel in criddle stud formation over new window openings. Stayfix stainless Steel cavity wall ties by Ancon Products to suit 50mm cavity at 375mm vertical centres and 600mm horizontal centres, wall-head and window reveals closed by 50x50mm sw fire-stops with dpc. Polysulphide sealant on 12.7mm compressible board at new build to existing vertical expansion joints. Polysulphide sealant around window and door openings to prevent air infiltration. Perp vent cavity weepers set above window levels, changes in floor levels and dpc levels at 1.2m centres.

ATTIC WALLS AT EAVES (0.18w/m2/c)

50x50mm sw fillets to rear of existing 100x50mm sw studs at 400mm centres on with 2 layers of 75mm thick Celotex GA4000 rigid board insulation between studs sheeted over by 50mm Gyproc Termal Vapour Check board for ames tape finish.

COOMBE CEILINGS (0.15w/m2/c)

Existing roof make up on existing gang nailed 125x50mm rafters increased in depth by 25x50mm sw fillets on 50mm clear air gap to underside of existing sarking on 100mm thick layer of Celotex GA4000 rigid insulation board on 50mm gyproc thermal vapour check superboard. All for ames tape finish.

MANSARD PITCHED ROOF (U VALUE 0.15w/m2/c):

Marley Mod roofing tiles to match existing colour and profile laid to a minimum pitch of 25.4 degrees on new 19kg roofing felt on 12.7mm treated sarking board, on new gang nailed trusses by Stevenson Kelly of Airdrie at 450centres and secured to new timber frame wall heads by 1M long BAT twist holding down straps screwed to new timber frame. 300mm thick layer of Crown Wool insulation laid between and over new truss centres on 50mm thick gyproc insulated ceiling boards. 38mm wide eaves continuous soffit vent and Glidevale Lead Vent Ventilator System used to ventilate attic space. 150mm UPVC deep-flow gutters on 200x25mm s.w fascia boards all round. New Code5 lead Valley gutters dressed over tile battens and under new tiles and into new 150mm UPVC gutters, on 250mm x 18mm WBP external ply fascia's to match existing. All roof drainage into existing and new 68mm Marley UPVC rainwater stacks.

MANSARD FLAT ROOF (U VALUE 0.15w/m2/c):

To BS 1178 Code5 Milled Lead Lead sheeting overlaps at minimum of 150mm. on biddim underlay on 150x25mm treated sw sarking boards on tilting fillets on New Gang Nailed Trusses by Stevenson Kelly of Airdrie. 150mm 1/2 round s.w. bottle detail at lead roof and Marley tile juncture on Glidevale Ventilator Lead Vent system. Lead flashed on to new concrete roofing tiles with a minimum of 150mm overlap.

SMOKE ALARMS

Hard wired sensors fitted to manufacturer's instructions with 12v backup battery.

TIMBER SPLICING:

Existing and new timber joists spliced on mid wall supports connected by 12mm diameter M.S. nuts, bolts and dogtooth timber connectors by BAT. Splicing overlap to be minimum of 500mm with joist ends cut and shaped at existing poll plates to ensure a minimum of 150mm bearing on wall head.

RWP / WASTE DRAINAGE:

New Marley UPVC Deep-flow Gutters all round into 75mm RWP/WP stack discharging on to main roof. All existing rainwater stacks trapped before entering the main drain and hand-hole inspections fitted at the base of each stack.

SHOWER:

Mim Sport 8.4KW electric instantaneous shower fitted with anti-scoold valve with separate earth fusing back to the distribution board in fully ceramic tiled enclosure with glass pivot shower screen and ceramic tiles to a height of 2.1mm form ceramic shower tray sealed in polysulphide mastic all round.

SOIL VENT DRAINAGE:

New shower, WHB and en-suite WC connected into existing extended stacks fitted with hand-hole access points fitted at the base of stack for rodding purposes. 100Durgo Air Admittance Valve fitted to a height greater than the WHB waste.

MECHANICAL VENTILATION:

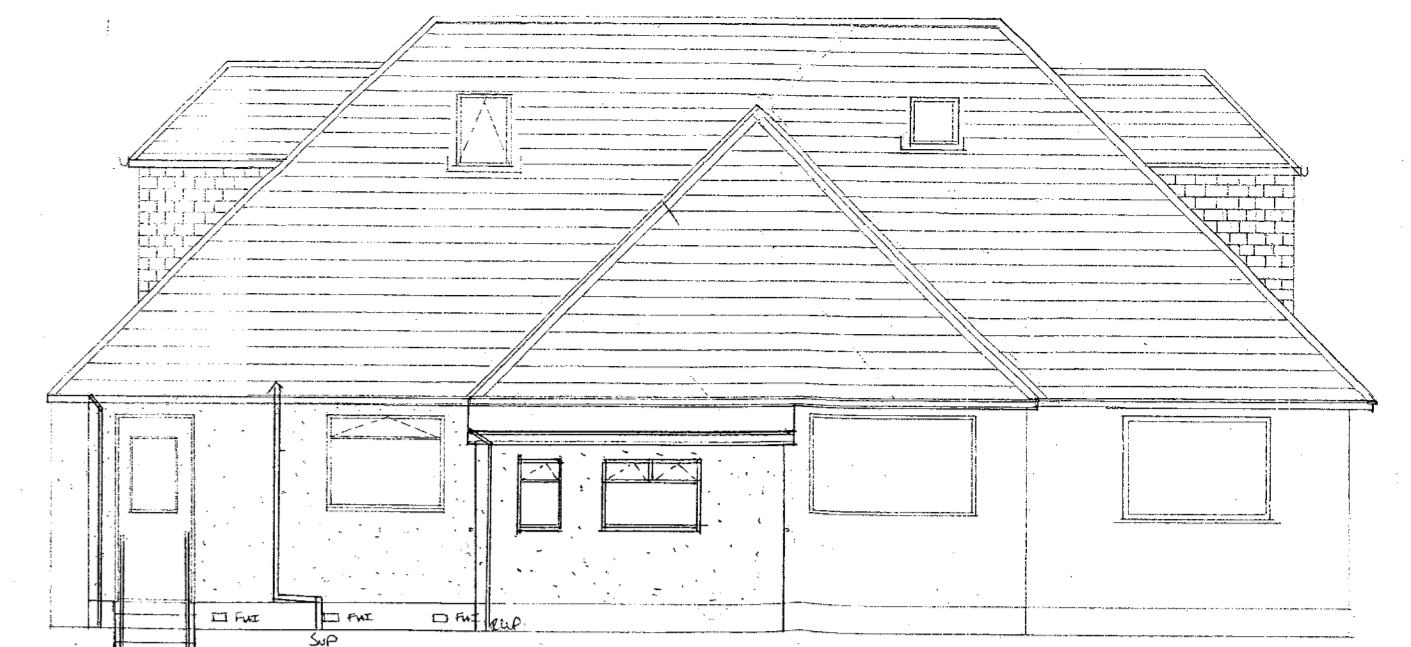
Shower room and en-suite extract fan giving 1 air change per hour 11 litres per second vented to outside via 150mm diameter Spiral Duct through roof.

STAIRS:

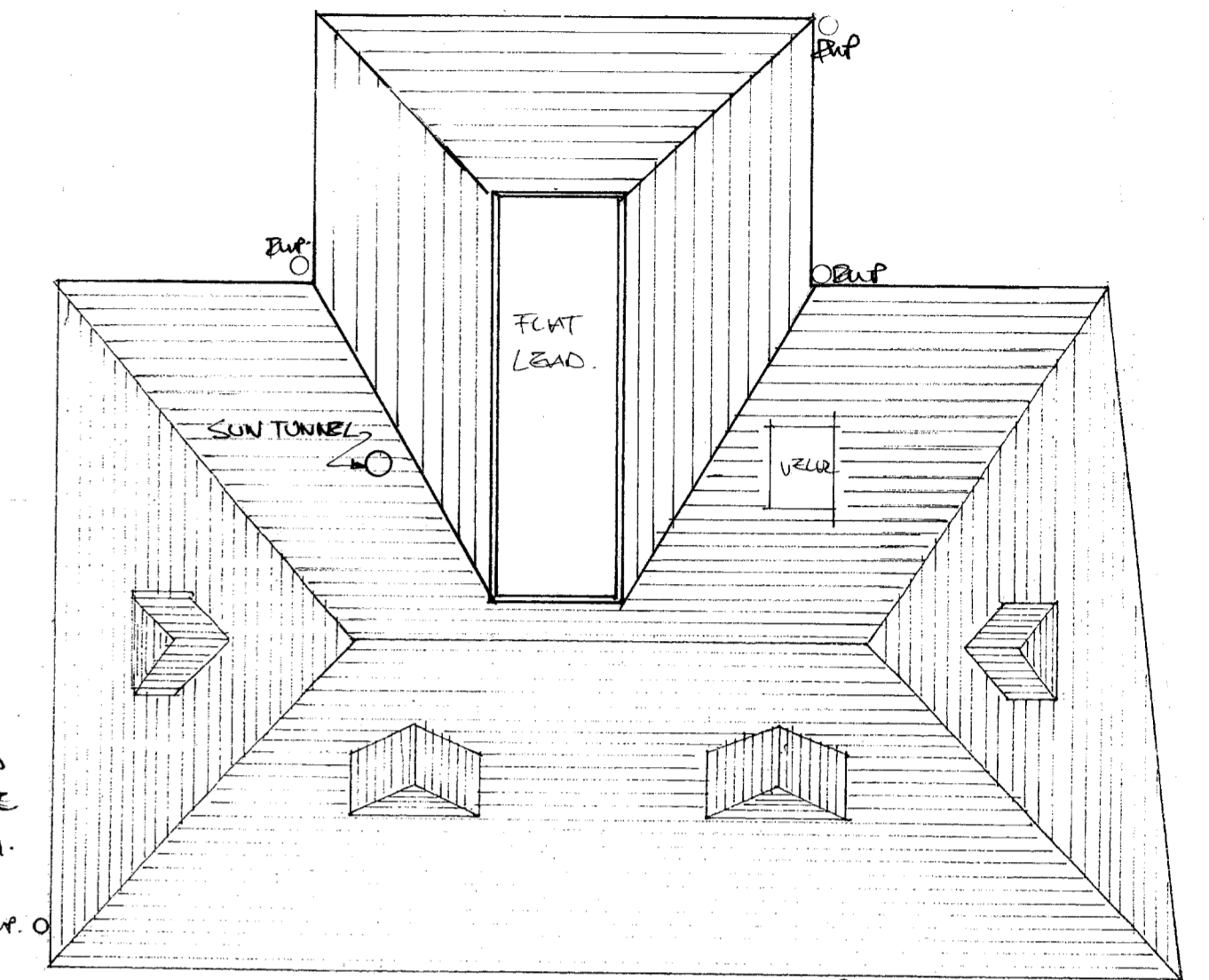
Manufactured off site by Timber Components of Falkirk to clause 4 of the regulations to a maximum pitch of 42 degrees consisting of 4 risers at 170mm per riser with total rise of 680mm. Treads of 250mm exclusive of nosings. Handrails fixed to solid walls 900mm above pitch of stairs. Width of stair over stringers 900mm with landing areas 900mm2 and minimum headroom of 2m. Openings for stair bridled in doubled up 200x500mm sw joists all round

STRUCTURAL STEEL:

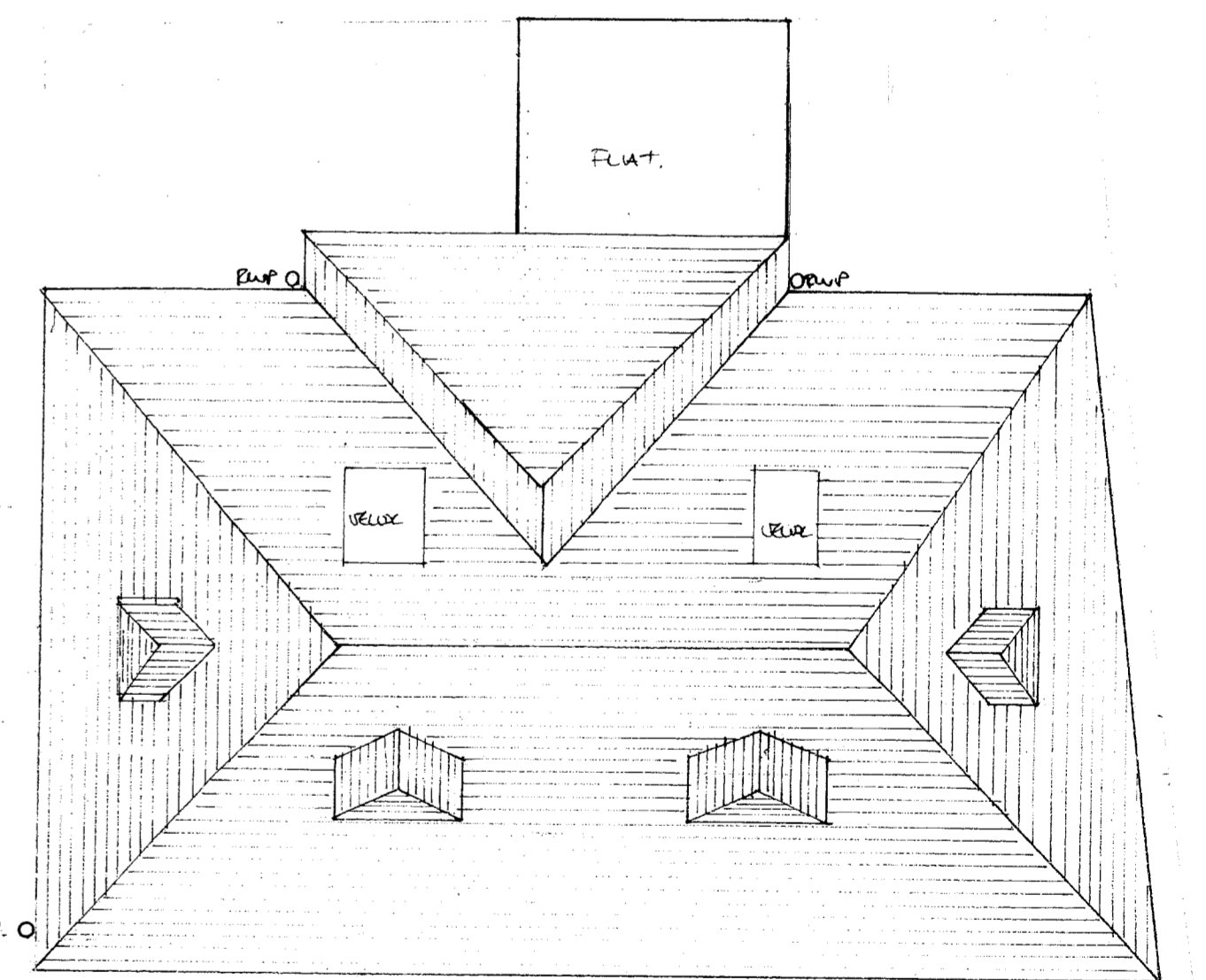
203x133x30kg Universal beams bolted on end bearing on existing wall-heads on 350x300x300mm concrete pad-stones and onto new 300mm diameter hollow section Mild Steel column with 450x450mm base plate bolted to concrete cast in-situ 30N pad-stone by 4No 12.7mm diameter MS bolts. Top of column 450x450mm head plate welded at external corner junction of Universal Beams. All structural steel coated in 1/2hour fire retardant intumescent paint.



Rear Elevation Existing 1:100



Roof Plan Proposed 1:100



Roof Plan Existing 1:100

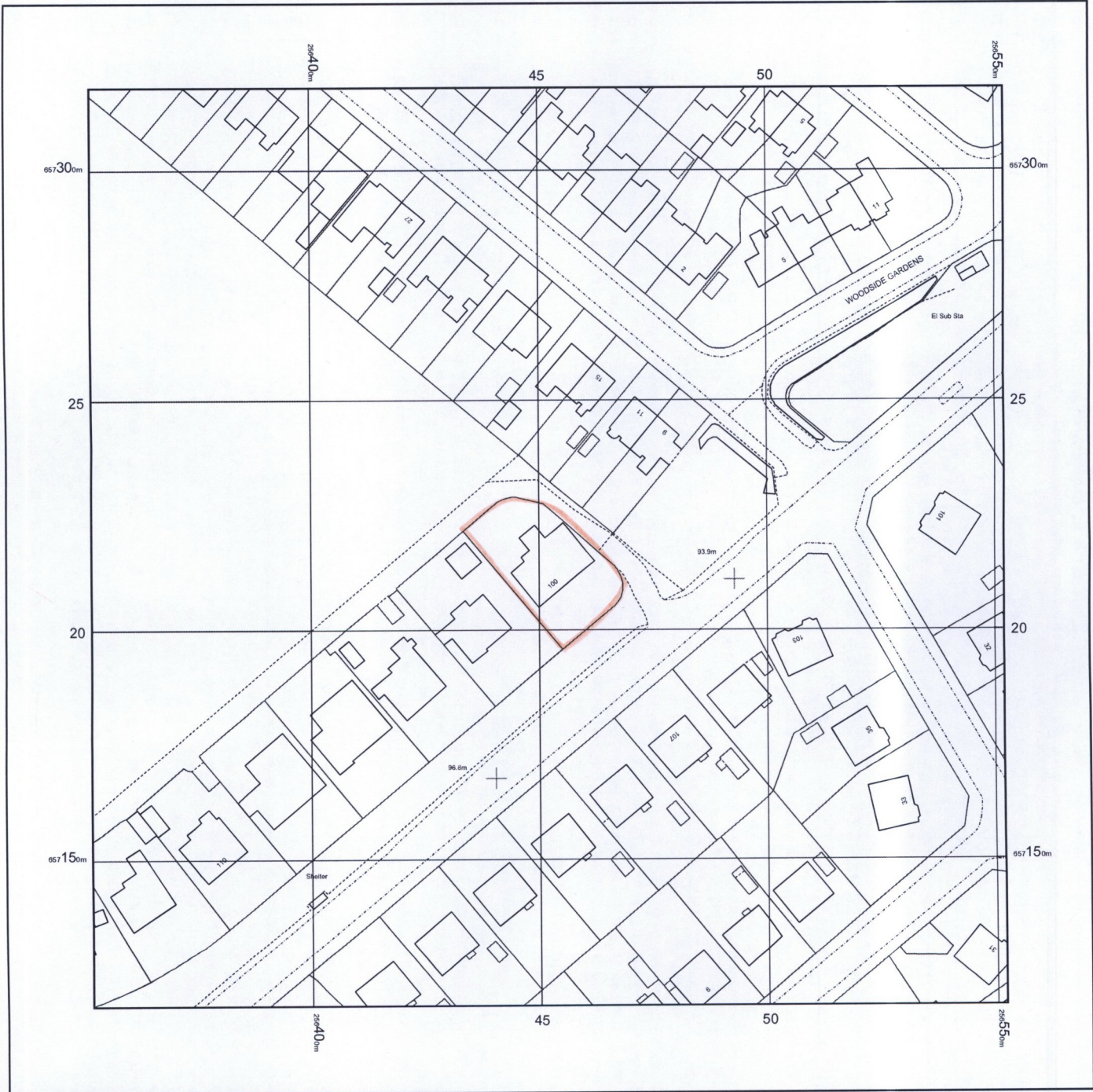
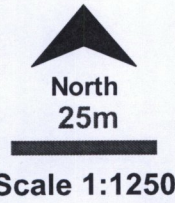
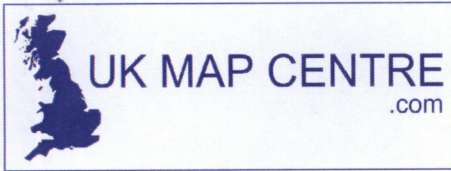
GOOD QUALITY 2ND HAND WELSH SLATE TO MATCH EXISTING.

GOOD QUALITY 2ND HAND WELSH SLATE TO MATCH EXISTING.

APPLICANT	PROPOSAL
Mr M Wilmot 100 Mearns Rd Newton Mearns Glasgow G76 7UP	Attic Bedroom En-Suite Conversion to Rear Elevation with Extended Stair Access
DATE	DECLARATION
28/07/15	This is the true copy plan referred to in the application Dated 28/05/15
SIGNED	
Drwg number Specification	

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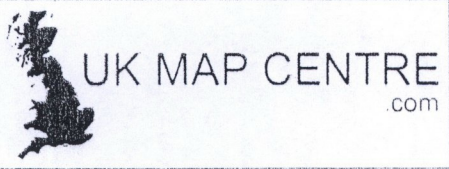
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**Town and Country Planning
(Scotland) Act 1997**
REFUSED
Director of Environment
East Renfrewshire Council

Wilmot2015

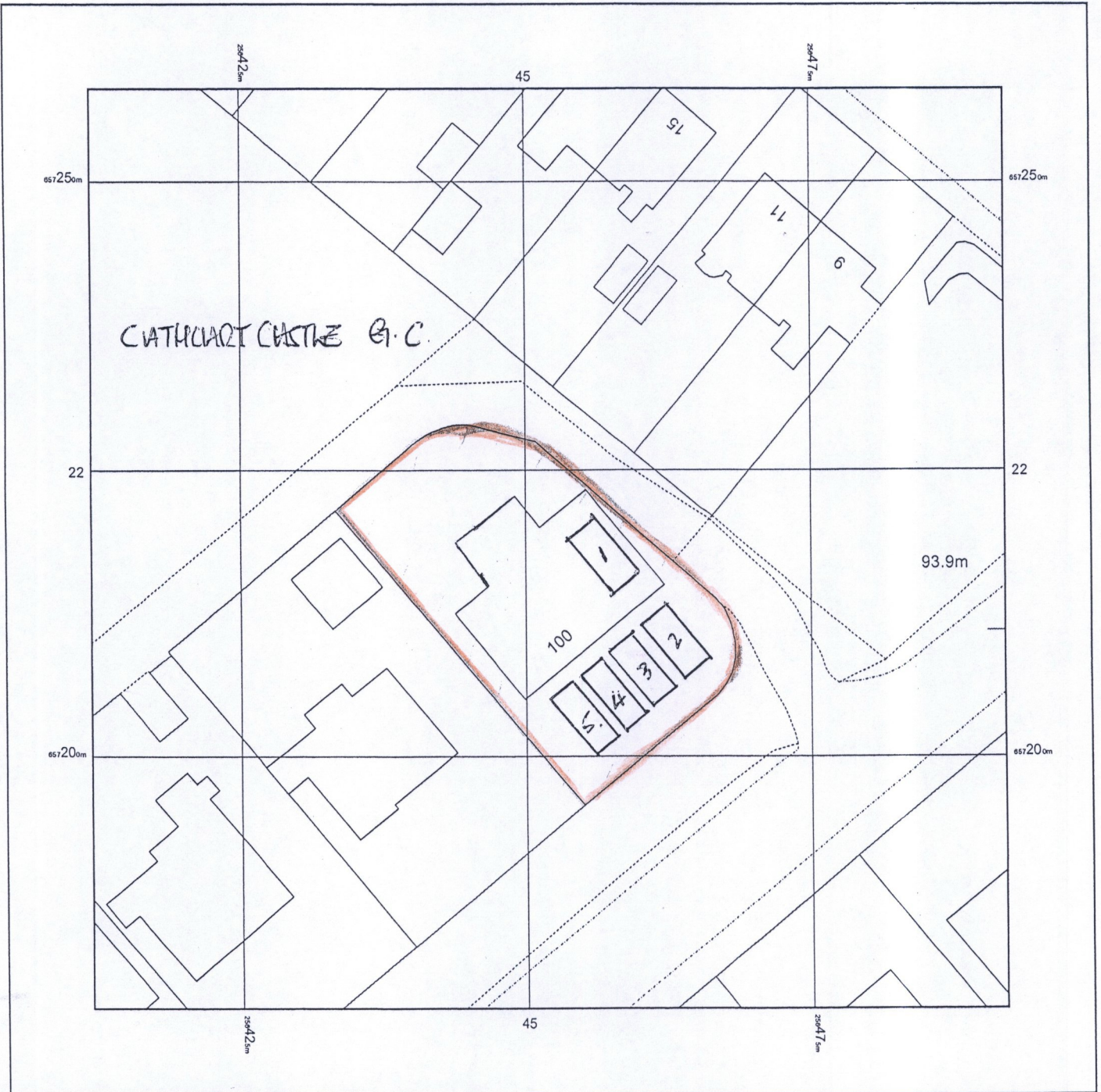
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North
15m

Scale 1:500



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**Town and Country Planning
(Scotland) Act 1997**

REFUSED

Director of Environment
East Renfrewshire Council

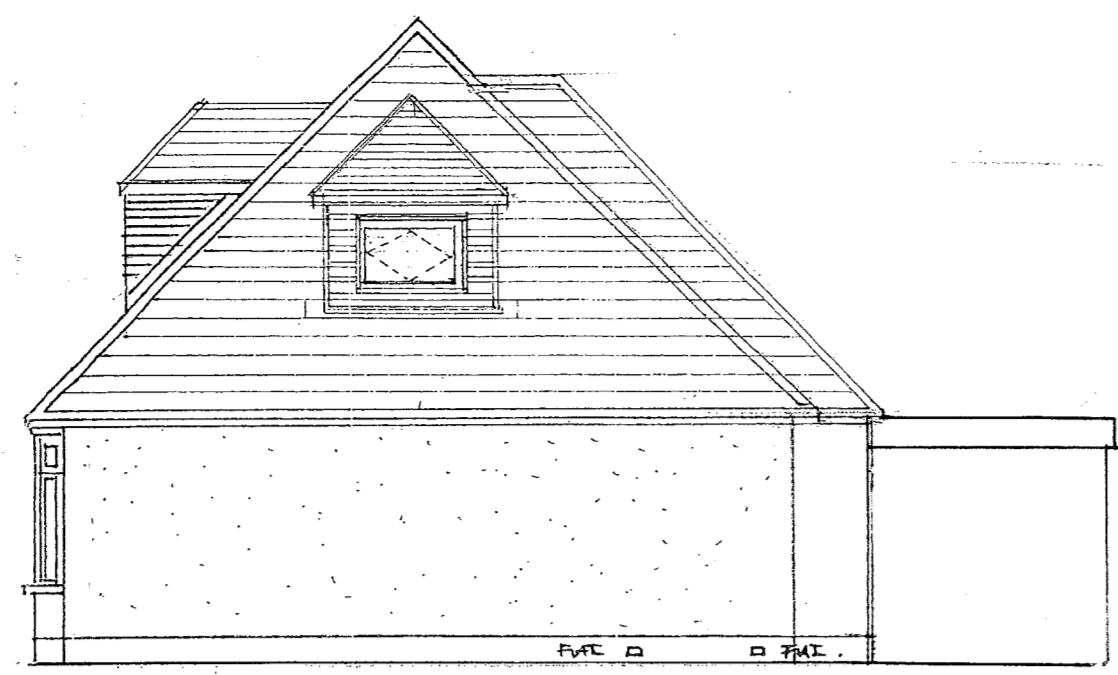
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Wilmot2015

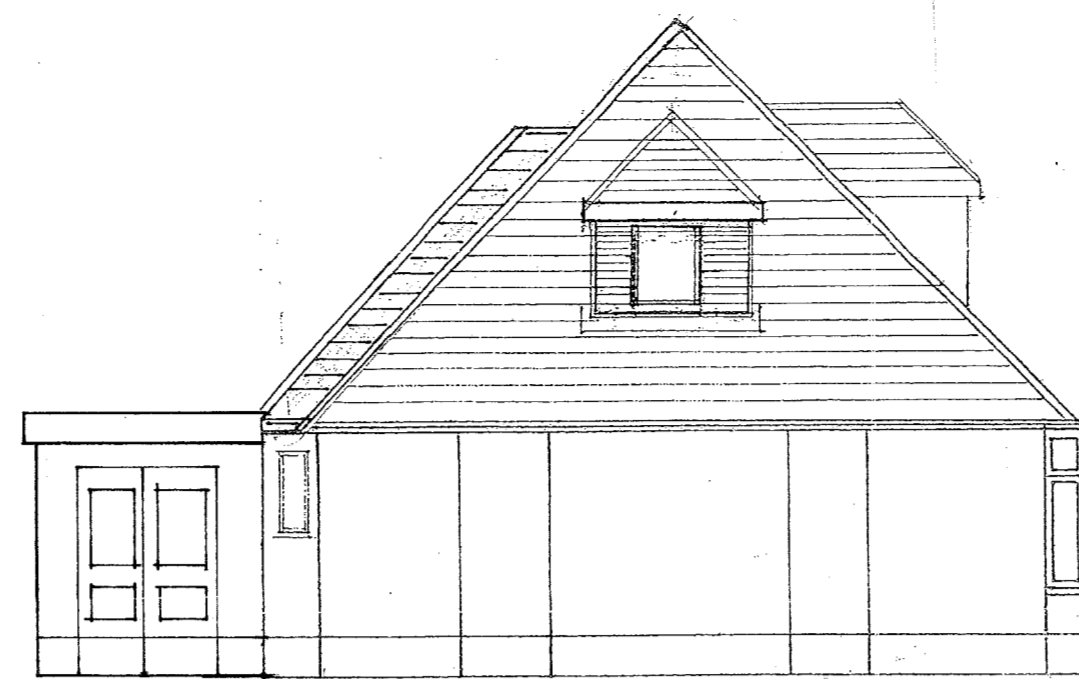
ADDITIONAL PLANS RECEIVED
Date: 06/08/15

Block Plan
AS PROPOSED

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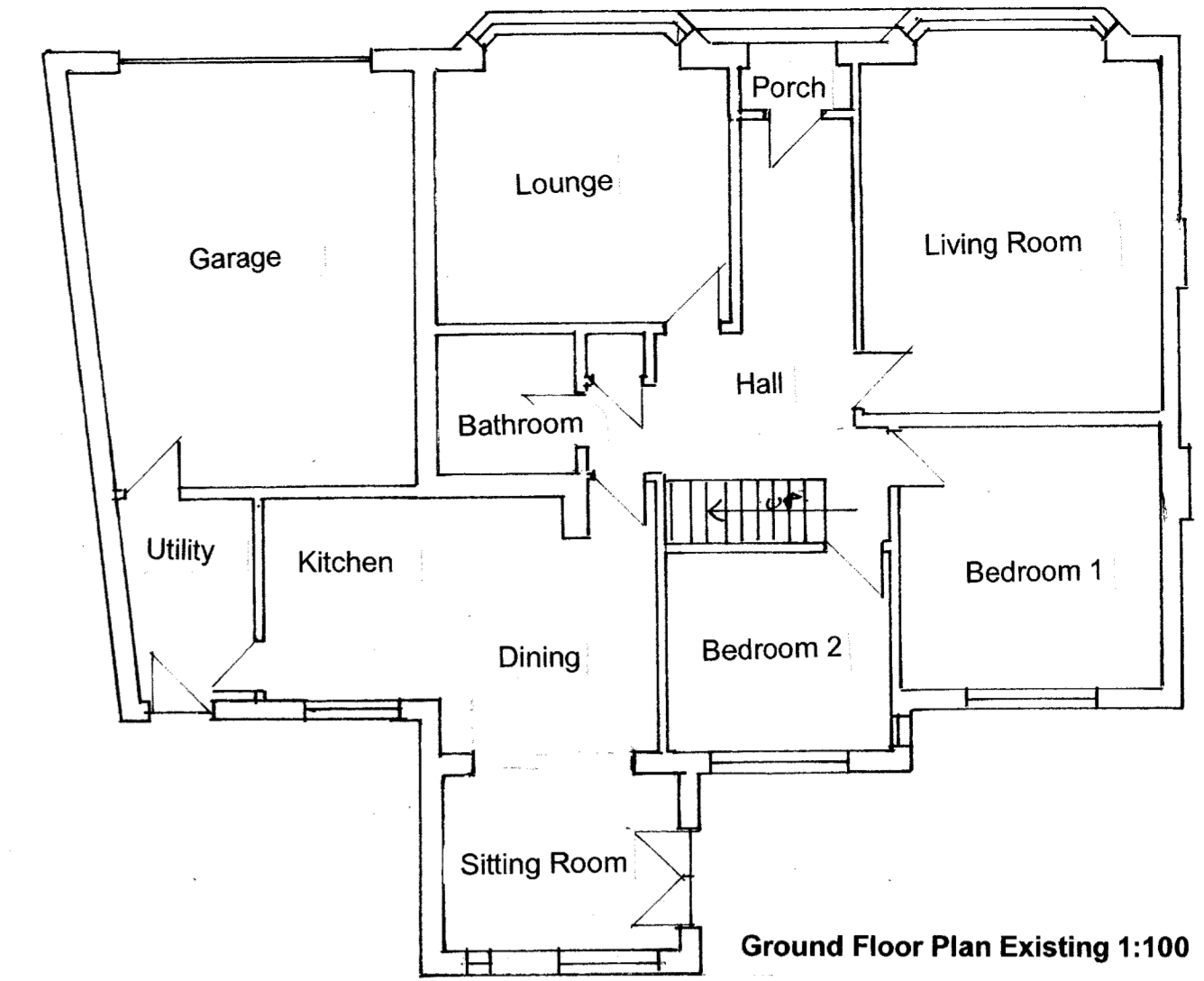
Gable Elevation 1:100



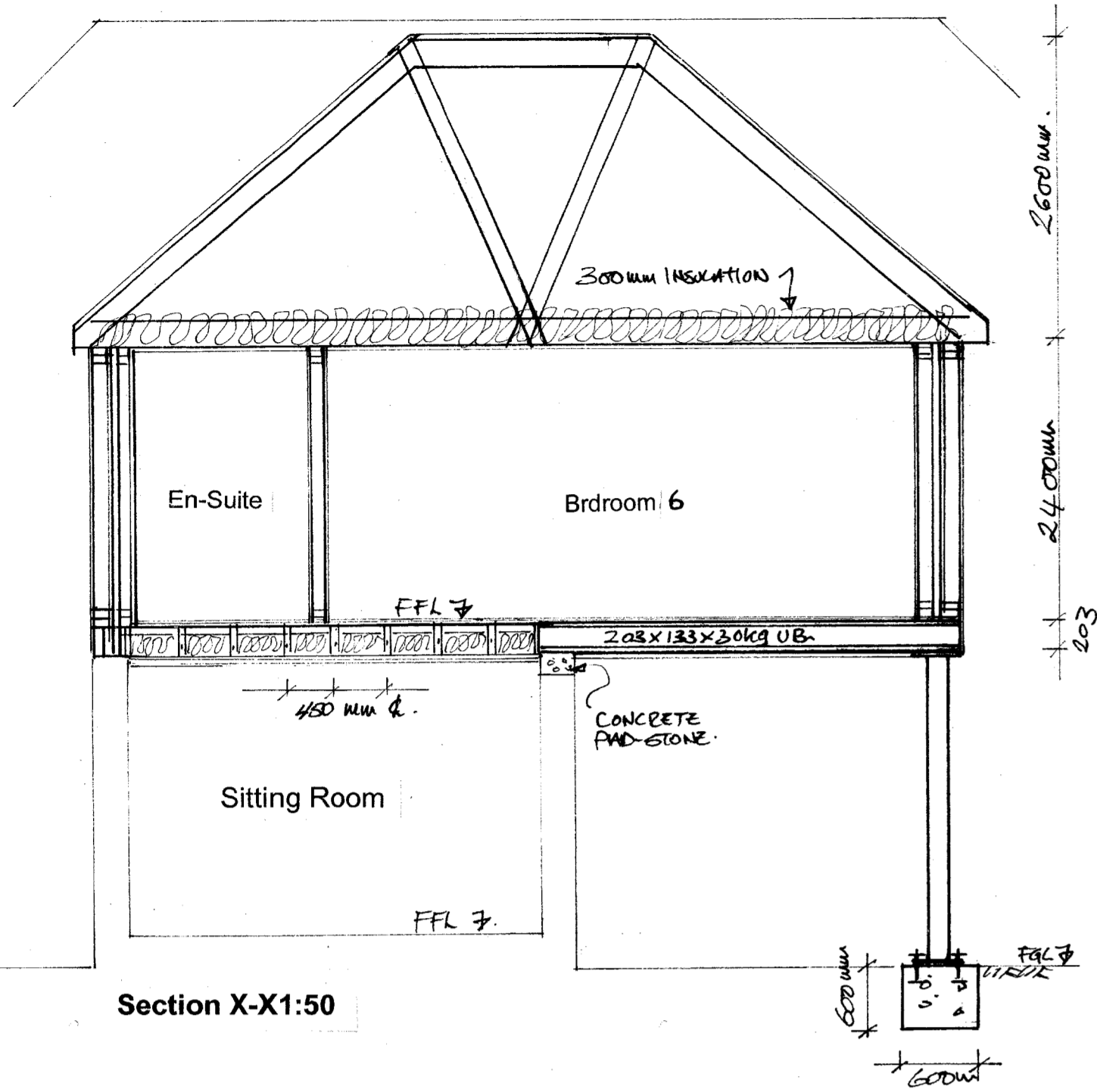
Side Elevation Existing 1:100



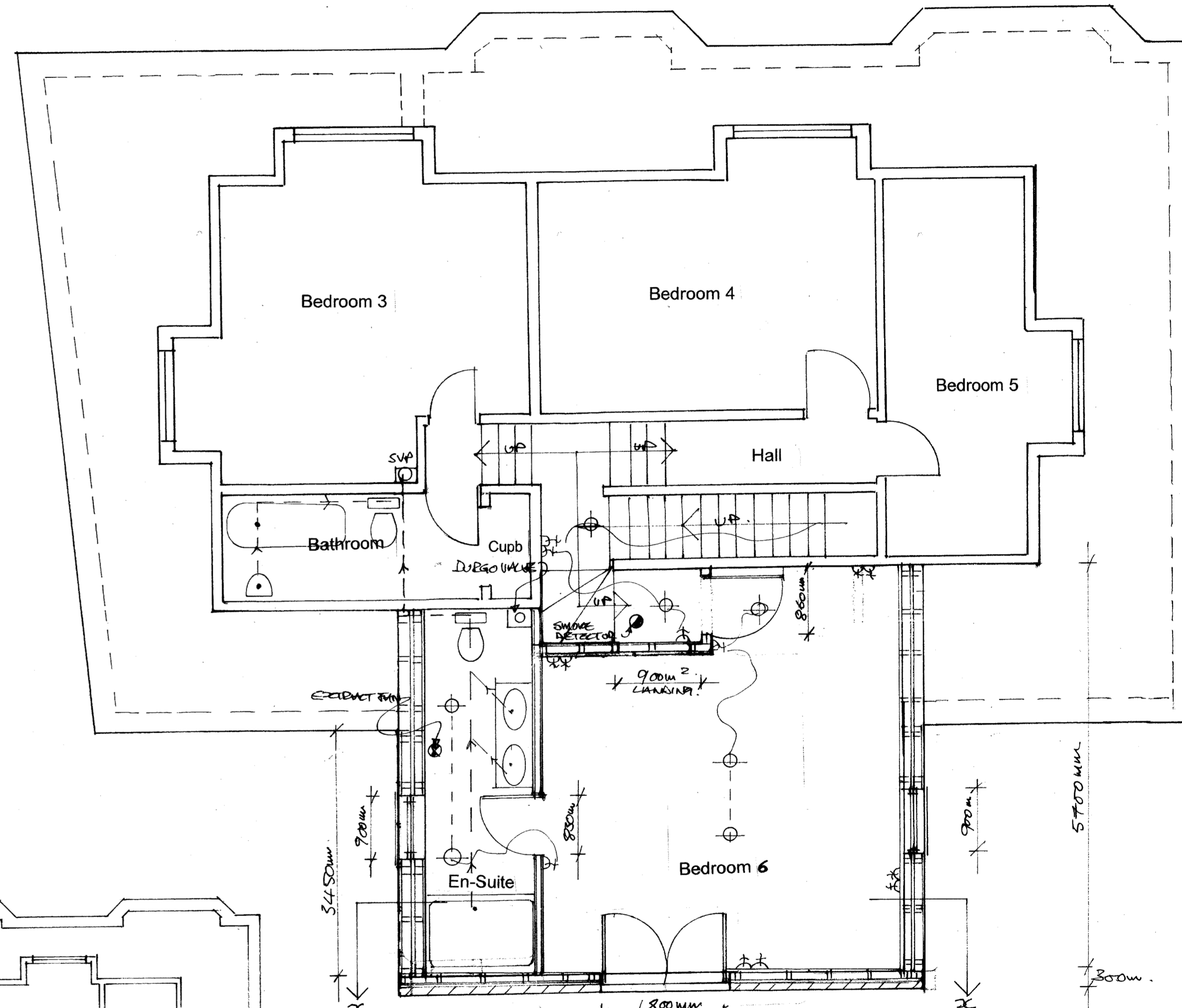
Side Elevation Proposed 1:100



Ground Floor Plan Existing 1:100



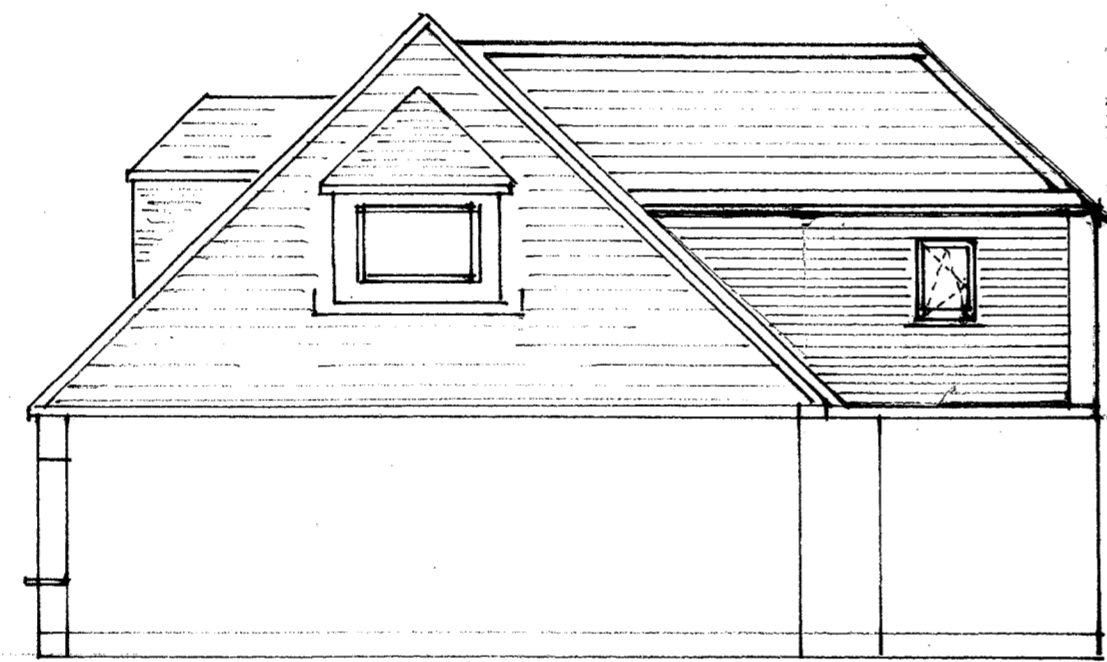
Section X-X1:50



First Floor Plan Proposed 1:50

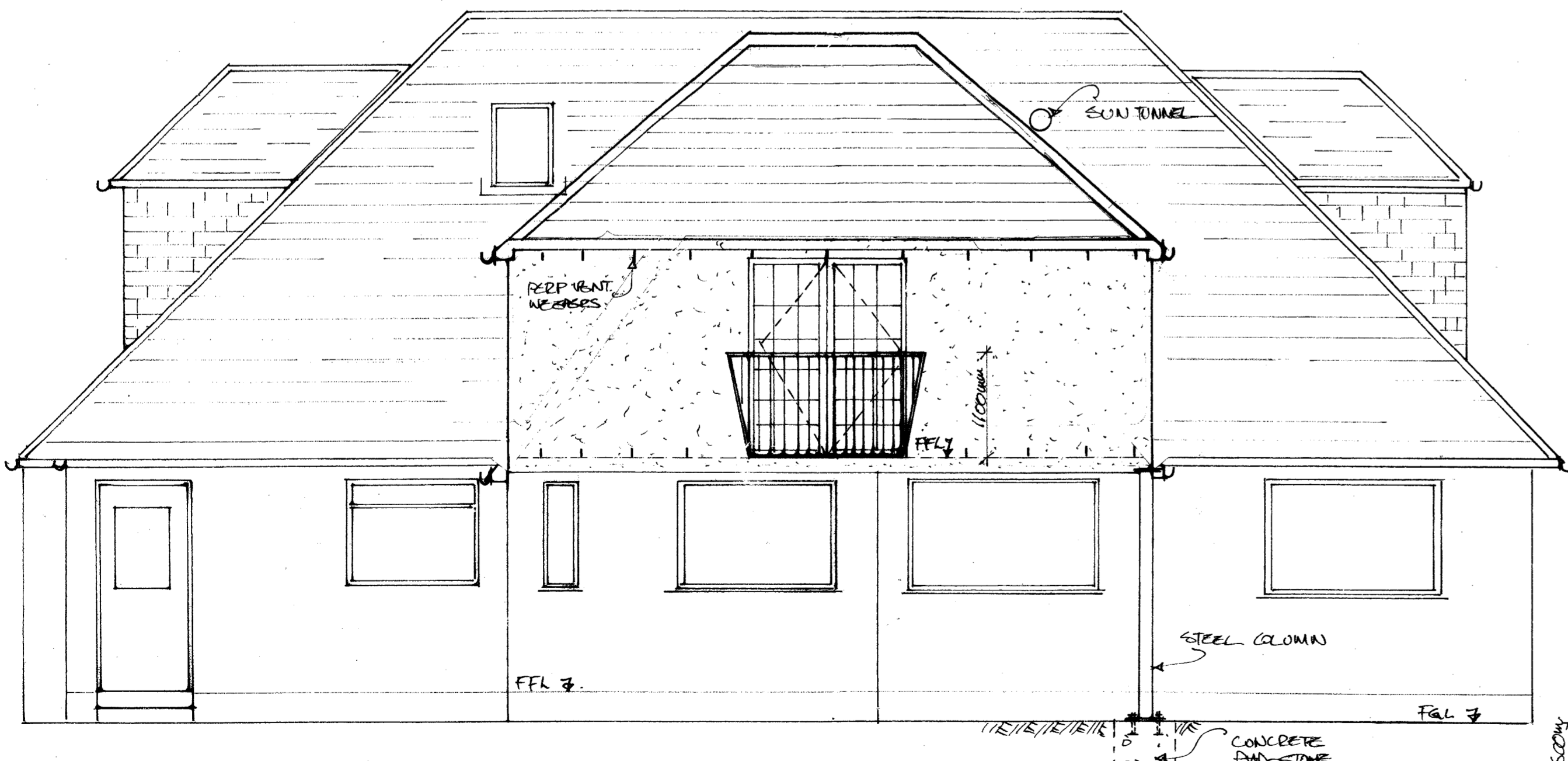


Front Elevation Existing 1:100

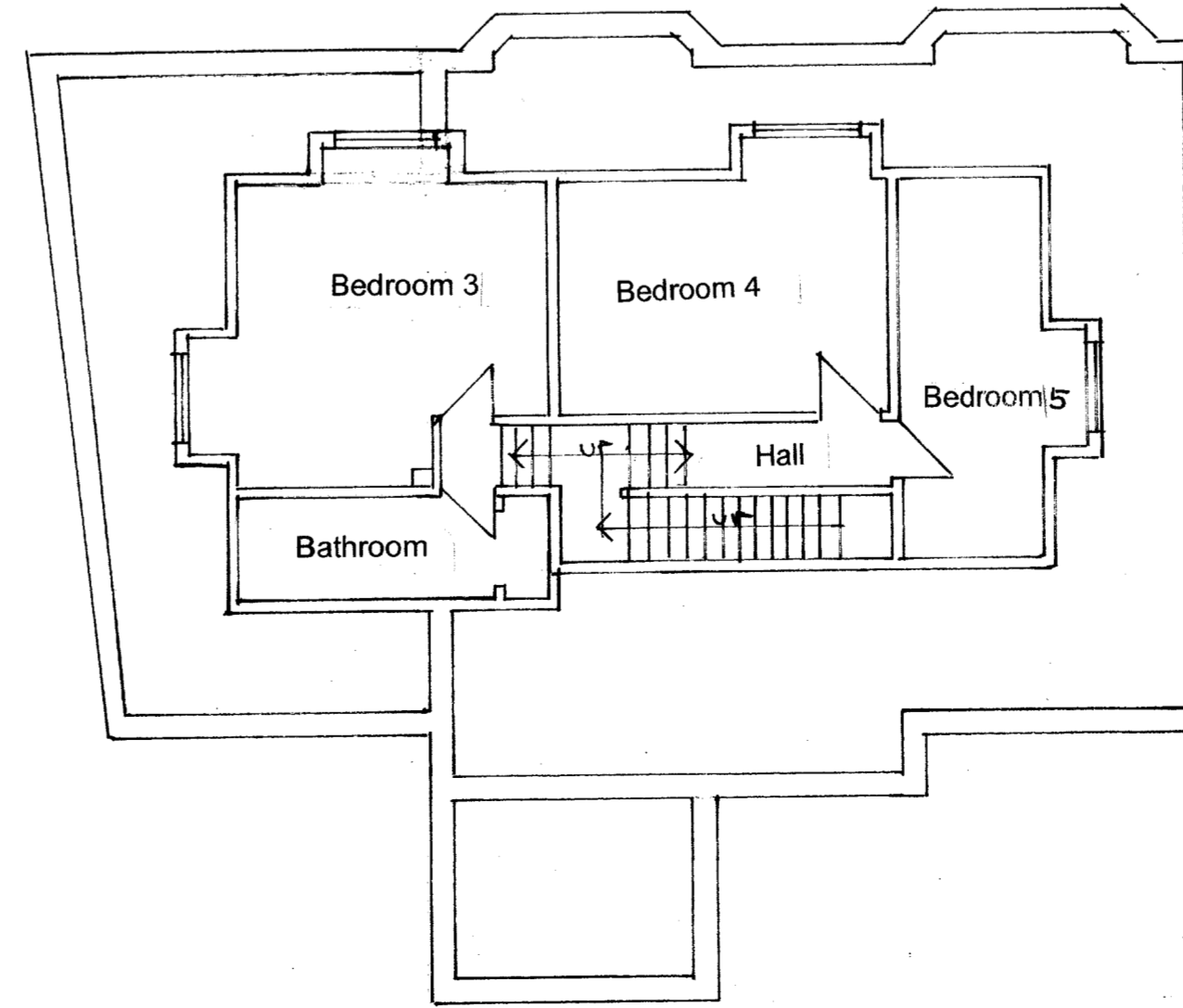


Gable Elevation 1:100

Town and Country Planning
(Scotland) Act 1997
REFUSED
Director of Environment
East Renfrewshire Council



Rear Elevation Proposed 1:50



First Floor Plan Existing 1:100

- ALL DRAINAGE TO BE TO THE ENTIRE SATISFACTION OF THE LOCAL AUTHORITY INSPECTORATE AND TO B.S. 8301: BS EN 12056-2:2000
- ALL ELECTRICAL WORK TO CONFORM TO THE I.E.E. REGULATIONS 17TH EDITION AND B.S. 7671: 2008
- ALL SETTING OUT SIZES TO BE CHECKED PRIOR TO COMMENCEMENT OF THE WORK
- NO BUILDING WORKS TO ENCR OACH ONTO ANY ADJACENT PROPERTY.
- ALL NEW GLAZING TO B.S. 6262 AND FITTED WITH TRICKLE VENTS MINIMUM 1.5m FROM FLOOR LEVEL
- ALL TEMPORARY WORKS AND PROPPING TO REMAIN TO ALLOW ADEQUATE CURING TIMES OF BUILDING MATERIALS.
- SEDBUCK RATED NATURAL GAS BOILER WITH EFFICIENCY GREATER THAN 90% AND ALL RADIATOR VALVES FITTED WITH TRV'S
- ALL INTRENAL JOINTS BETWEEN NEW CEILINGS, FLOORS AND WALL FINISHES TO BE SEALED IN
- ONE PART POLYSULPHIDE MASTIC SEALANT. ELECTRICAL FITTINGS TO HAVE PROPRIETARY SEALS. NEW DOORS AND WINDOWS TO BE FITTED WITH DRAUGHT EXCLUDERS.
- NOTE ALL BESPOKE JOINERY ITEMS (STAIRCASES & TRUSSES) TO BE SITE MEASURED BEFORE ORDERING OF MATERIALS. NO MATERIALS TO BE ORDERED FROM SCALED ARCHITECT'S DRAWINGS WITHOUT SITE SIZING.
- CLIENT TO ENSURE ALL STRUCTURAL MEMBERS BE INSPECTED BY A COMPETANT PERSON BEFORE COVERING UP.

APPLICANT	PROPOSAL
Mr M Wilmot 100 Mearns Rd Newton Mearns Glasgow G76 7UP	Attic Bedroom En-Suite Conversion to Rear Elevation with Extended Stair Access
DATE	DECLARATION
28/07/15	This is the true copy plan referred to in the application Dated 28/05/15
SIGNED	
	Drwg number Specification