

EAST RENFREWSHIRE COUNCIL

LOCAL REVIEW BODY

9 November 2022

Report by Director of Business Operations and Partnerships

REVIEW OF CASE - REVIEW/2022/08

ALTERATIONS TO EXISTING SIDE DORMER TO INCREASE ITS SIZE AND ERECTION OF DORMER TO REAR OF DWELLING

PURPOSE OF REPORT

1. The purpose of the report is to present the information currently available to allow a review of the decision taken by officers, in terms of the Scheme of Delegation made in terms of Section 43A of the Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 in respect of the application detailed below.

DETAILS OF APPLICATION

2. Application type: Full Planning Permission (Ref No:- 2021/0999/TP).
- Applicant: Mrs Fiona O'Donnell
- Proposal: Alterations to existing side dormer to increase its size and erection of dormer to rear of dwelling.
- Location: 15 Nethercliffe Avenue, Netherlee, East Renfrewshire, G44 3UW.
- Council Area/Ward: Clarkston, Netherlee and Williamwood (Ward 4).

REASON FOR REQUESTING REVIEW

3. The applicant has requested a review on the grounds that the Council's Appointed Officer refused the application.

RECOMMENDATIONS

4. The Local Review Body is asked to:-
- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
- (i) it proceeds to determine whether the decision taken in respect of the application under review should be upheld, reversed or varied; and
- (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed; or

- (b) that in the event that further procedure is required to allow it to determine the review, consider:-
 - (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

BACKGROUND

5. At the meeting of the Council on 29 April 2009, consideration was given to a report by the Director of Environment seeking the adoption of a new Scheme of Delegation in terms of the new Section 43A of the Town and Country Planning (Scotland) Act 1997, subject to approval of the scheme by Scottish Ministers.

6. The report provided details of the new hierarchy of developments that took effect from 6 April 2009 explaining that the Scheme of Delegation related to those applications within the “local development” category as set out in the Town and Country Planning (Hierarchy of Development) (Scotland) Regulations 2009, but would in future be determined by an “appointed officer”. In the Council’s case this would be either the Director of Environment or the Head of Roads, Planning and Transportation Service now designated the Head of Environment (Operations).

7. The report highlighted that historically appeals against planning decisions were dealt with by Scottish Ministers. However, following the introduction of the new planning provisions which came into effect on 3 August 2009 all appeals against decisions made in respect of local developments under delegated powers would be heard by a Local Review Body. The Local Review Body would also deal with cases where the appointed officer had failed to determine an application within two months from the date it was lodged.

NOTICE OF REVIEW – STATEMENT OF REASONS FOR REQUIRING THE REVIEW

8. The applicant in submitting the review has stated the reasons for requiring the review of the determination of the application. A copy of the applicant’s Notice of Review and Statement of Reasons including appeal statement is attached as Appendix 4.

9. The applicant is entitled to state a preference for the procedure (or combination of procedures) to be followed by the Local Review Body in the determination of the review and has detailed in their opinion that this review can continue to conclusion based on the assessment of the review documents only, with no further procedure.

10. The Local Review Body is not bound to accede to the applicant’s request as to how it will determine the review and will itself decide what procedure will be used in this regard.

11. At the meeting of the Local Review Body on 10 August 2016, it was decided that the Local Review Body would carry out unaccompanied site inspections for every review case it received prior to the cases being given initial consideration at a meeting of the Local Review Body.

12. In accordance with the above decision, the Local Review Body will carry out an unaccompanied site inspection on Wednesday, 9 November 2022 before the meeting of the Local Review Body which begins at 2.30pm.

INFORMATION AVAILABLE TO ALLOW REVIEW OF APPLICATION

13. Section 43B of the Planning etc (Scotland) Act 2006 restricts the ability of parties to introduce new material at the review stage. The Local Review Body is advised that the focus of the review should, therefore, be on the material which was before the officer who dealt with the application under the Scheme of Delegation.

14. The information detailed below is appended to this report to assist the Local Review Body in carrying out the review of the decision taken by the Appointed Officer:-

- (a) Application for planning permission – Appendix 1 (Pages);
- (b) Report of Handling by the planning officer under the Scheme of Delegation - Appendix 2 (Pages);
- (c) Decision notice and reasons for refusal - Appendix 3 (Pages); and
- (e) A copy of the applicant's Notice of Review and Statement of Reasons including appeal statement - Appendix 4 (Pages).

15. The applicant has also submitted the drawings listed below and these are attached in the applicant's Notice of Review and Statement of Reasons - Appendix 4 and in the Plans and Drawings - Appendix 5 (Pages).

- (a) Plans: Existing Plan; Existing Elevations; Sketch 1; Sketch 2; Sketch 3; and Sketch Proposal by Ian Walker which final plan was based on;
- (b) Existing Elevations;
- (c) Existing First Floor Plan;
- (d) Existing Ground Floor Plan;
- (e) Existing Section;
- (f) Specifications;
- (g) Refused – A1437.21.01 Location Plan;
- (h) Refused – A1437.21.06 Proposed First Floor Plan;
- (i) Refused – A1437.21.07 Proposed Section;
- (j) Refused – A1437.21.08 Proposed Elevations; and
- (k) Refused – A1437.21.10 Proposed Section East to West.

16. The Local Review Body is advised that initial consultation responses and representations received if any, relating to the application will be listed in the planning officer's Report of Handling.

17. All the documents referred to in this report can be viewed online on the Council's website at www.eastrenfrewshire.gov.uk.

RECOMMENDATIONS

18. The Local Review Body is asked to:-

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- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
 - (i) it proceeds to determine whether the decisions taken in respect of the application under review should be upheld, reversed or varied; and
 - (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed; or
- (b) In the event that further procedure is required to allow it to determine the review, consider:-
 - (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

Report Author: Sharon McIntyre

Director – Louise Pringle, Director of Business Operations and Partnerships

Sharon McIntyre, Committee Services Officer
e-mail: sharon.mcintyre@eastrenfrewshire.gov.uk
Tel: 0141 577 3011

Date:- October 2022

APPLICATION FORM

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100517197-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Type of Application

What is this application for? Please select one of the following: *

- Application for planning permission (including changes of use and surface mineral working).
- Application for planning permission in principle.
- Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- Application for Approval of Matters specified in conditions.

Description of Proposal

Please describe the proposal including any change of use: * (Max 500 characters)

Loft extension to increase siz of small bed room and form new shower room on rear roof

Is this a temporary permission? *

Yes No

If a change of use is to be included in the proposal has it already taken place?
(Answer 'No' if there is no change of use.) *

Yes No

Has the work already been started and/or completed? *

No Yes – Started Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	Keith Edwards Architect		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Keith	Building Name:	0/2
Last Name: *	Edwards	Building Number:	2
Telephone Number: *	01413410694	Address 1 (Street): *	Caledon Street
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Glasgow
Fax Number:		Country: *	Scotland
		Postcode: *	G12 9DX
Email Address: *	keith@ke-architect.com		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Mrs	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	
First Name: *	Fiona	Building Number:	15
Last Name: *	O'Donnell	Address 1 (Street): *	Nethercliffe Avenue
Company/Organisation		Address 2:	Netherlee
Telephone Number: *		Town/City: *	Glasgow
Extension Number:		Country: *	Scotland
Mobile Number:		Postcode: *	G44 3uW
Fax Number:			
Email Address: *			

Site Address Details

Planning Authority:

East Renfrewshire Council

Full postal address of the site (including postcode where available):

Address 1:

15 NETHERCLIFFE AVENUE

Address 2:

NETHERLEE

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

GLASGOW

Post Code:

G44 3UW

Please identify/describe the location of the site or sites

Northing

658569

Easting

257740

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

Yes No

Pre-Application Discussion Details Cont.

In what format was the feedback given? *

Meeting Telephone Letter Email

Please provide a description of the feedback you were given and the name of the officer who provided this feedback. If a processing agreement [note 1] is currently in place or if you are currently discussing a processing agreement with the planning authority, please provide details of this. (This will help the authority to deal with this application more efficiently.) * (max 500 characters)

Discussions on phone and by email were undertaken to amend the initial application which was refused. This was over a period of a couple of months amending details etc. Final sketch approval was given by Ian Walker and the client was informed of this final proposal. This submission is based on the approved sketches by Ian Walker and Fiona Henderson

Title:

Mr

Other title:

First Name:

Ian

Last Name:

Walker

Correspondence Reference Number:

15 Nethercliffe Avenue

Date (dd/mm/yyyy):

11/09/2021

Note 1. A Processing agreement involves setting out the key stages involved in determining a planning application, identifying what information is required and from whom and setting timescales for the delivery of various stages of the process.

Site Area

Please state the site area:

Please state the measurement type used:

Hectares (ha) Square Metres (sq.m)

Existing Use

Please describe the current or most recent use: * (Max 500 characters)

House

Access and Parking

Are you proposing a new altered vehicle access to or from a public road? *

Yes No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any change to public paths, public rights of way or affecting any public right of access? *

Yes No

If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?

How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *

Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).

Water Supply and Drainage Arrangements

Will your proposal require new or altered water supply or drainage arrangements? *

Yes No

Do your proposals make provision for sustainable drainage of surface water?? * (e.g. SUDS arrangements) *

Yes No

Note:-

Please include details of SUDS arrangements on your plans

Selecting 'No' to the above question means that you could be in breach of Environmental legislation.

Are you proposing to connect to the public water supply network? *

- Yes
 No, using a private water supply
 No connection required

If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).

Assessment of Flood Risk

Is the site within an area of known risk of flooding? *

Yes No Don't Know

If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.

Do you think your proposal may increase the flood risk elsewhere? *

Yes No Don't Know

Trees

Are there any trees on or adjacent to the application site? *

Yes No

If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste (including recycling)? *

Yes No

If Yes or No, please provide further details: * (Max 500 characters)

Use existing domestic waste bins

Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? *

Yes No

All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? *

Yes No

Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013? *

Yes No Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

Yes No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

Yes No

Is any of the land part of an agricultural holding? *

Yes No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: Keith Edwards

On behalf of: Mrs Fiona O'Donnell

Date: 20/12/2021

Please tick here to certify this Certificate. *

Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? *

Yes No Not applicable to this application

b) If this is an application for planning permission or planning permission in principal where there is a crown interest in the land, have you provided a statement to that effect? *

Yes No Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? *

Yes No Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? *

Yes No Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? *

Yes No Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? *

Yes No Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- Site Layout Plan or Block plan.
- Elevations.
- Floor plans.
- Cross sections.
- Roof plan.
- Master Plan/Framework Plan.
- Landscape plan.
- Photographs and/or photomontages.
- Other.

If Other, please specify: * (Max 500 characters)

Provide copies of the following documents if applicable:

- | | |
|----------------------------------------------------------------------------------------|----------------------------------------------------------------------|
| A copy of an Environmental Statement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Design Statement or Design and Access Statement. * | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A |
| A Flood Risk Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Drainage/SUDS layout. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Transport Assessment or Travel Plan | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Contaminated Land Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Habitat Survey. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Processing Agreement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |

Other Statements (please specify). (Max 500 characters)

Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mr Keith Edwards

Declaration Date: 20/12/2021



Keith Edwards Architect

[2 Caledon Street, Dowanhill, Glasgow...G12 9DX](#) [tel : 0141 341 0694](#) [e-mail...keith@ke-architect.com](#)

PLANNING REPORT...

Client Mr & Mrs O'Donnell

Premises 15 Nethercliffe Avenue, Glasgow

Date 15.12.21

This proposal is a redesign based on the former submission and application reference ... 2020/0784/TP, 15 Nethercliffe Avenue, Netherlee, East Renfrewshire

PROPOSAL... The clients require additional facilities at first floor for their growing family. There are no toilet provisions at first floor and the rear bedroom is small and has coomb ceilings starting 300m up from floor level.

This proposal will provide the required toilet facility to the upper floor along with two decent sized bedrooms for client and children. The existing house has pitched roof all round with dormers on south and west elevations. This proposal extends the smaller bedroom to the proposed new extension to rear of property to provide a good sized bedroom without coomb ceilings and new toilet facilities to the north which is required by the family at the upper level.

Having looked round the local area prior to submission the clients were favourably impressed by the variety of extensions and felt that their own property would fit in with the general alteration to houses in the immediate area. The percentage of additions to properties is very high where almost every house has an extension of some kind and many are roof / loft conversions of which this would be an additional but not out of character in proposal.

This amended application was finally given the go ahead by the Planning Officer Ian Walker which was finally agreed with the client who after a period of time has requested the application to be resubmitted and the enclosed plans indicate the final arrangement.

This application is being made within the 12month period of the final refusal notice and appeal for the former application.

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REPORT OF HANDLING

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REPORT OF HANDLING

Reference: 2021/0999/TP

Date Registered: 20 Dec 2021

Application Type: Full Planning Permission

This application is a Local Development

Ward: 4 -Clarkston, Netherlee And Williamwood

Co-ordinates: 257740/:658569

Applicant/Agent:

Applicant:

Mrs Fiona O'Donnell
15 Nethercliffe Avenue
Glasgow
Scotland
G44 3UW

Agent:

Keith Edwards
0/2
2 Caledon Street
Glasgow
Scotland
G12 9DX

Proposal: Alterations to existing side dormer to increase its size and erection of dormer to rear of dwelling

Location: 15 Nethercliffe Avenue
Netherlee
East Renfrewshire
G44 3UW

CONSULTATIONS/COMMENTS: None.

PUBLICITY: None.

SITE NOTICES: None.

SITE HISTORY:

1989/0393/TP	INSTALLATION OF SIDE DORMER WINDOW	Granted	28.08.1989
2016/0641/TP	Erection of single storey rear extension	Granted	30.11.2016
2020/0784/TP	Formation of continuous dormer window extension to side and rear.	Refused	02. 02. 2021

REPRESENTATIONS: No representations have been received.

DEVELOPMENT PLAN & GOVERNMENT GUIDANCE: See Appendix 1

SUPPORTING REPORTS:

ASSESSMENT:

Planning permission is sought for alterations to existing side dormer to increase its size and erection of dormer to rear of a hipped roof bungalow at 15 Nethercliffe Avenue, Netherlee on the corner of Leebank Drive.

This application is a revised scheme from the previously refused dormer proposal and represents a slightly scaled down proposal in terms of the rear dormer being slightly stepped down rather than a continuous extension which formed an 'L' shaped dormer window feature.

The existing house has been altered previously by the introduction of a rear extension and the conversion of the attic. The attic accommodates two bedrooms, each with the benefit of a dormer window, one to the front and one at the side facing Leebank Drive.

The proposal replaces the previous 'L' shape proposal with the increase in size to the existing side dormer and a large rear dormer addition. The rear extension would be set back from the existing side extension, and it is acknowledged that it is a slightly decreased proposal from the previous in terms of massing.

The application requires to be assessed against Policies D1 and D1.1 of the adopted East Renfrewshire Local Development Plan 2. Policy D1 Policy D1 requires that all development should not result in a significant loss of character or amenity to the surrounding area. The policy sets out 17 criteria and is an overarching policy that relates to all placemaking and design elements of proposals.

Policy D.1.1 relates to 'Extensions, Alterations and Redevelopment of Existing Buildings for Residential

Purposes' and is considered more bespoke to this assessment. The policy states that Proposals will be assessed against the following criteria:

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. Should complement the scale and character of the existing building, neighbouring properties and their setting, particularly in terms of style, form and materials;
3. The size, scale and height of any development must be appropriate to and not adversely impact or dominate the existing building;
4. Should not create an unbroken or terraced appearance;
5. Where additional bedrooms are proposed or a garage/driveway is being converted to another use other than for the parking of a vehicle, proposals will be required to provide parking in accordance with the Council's Roads Development Guide; and

6. Should avoid over-development of the site by major loss of existing front and rear garden space. No more than 50% of the rear garden should be occupied by the development.

Nethercliffe Avenue and surrounding streets are dominated by similar hipped roof bungalows and are also characterised by dormer windows. These dormers vary in size and scale but in the main accord with these policy requirements.

The proposed increase in the side dormer and large rear dormer still fails to meet these policies as it still represents an overdevelopment of the roofscape which leads to a distinctly heavy design which has a disruptive impact on the design of the roof and a consequent detrimental impact on the character of the house. The extent of the additional dormer proposed leads to a visually harmful imbalance with the overdeveloped roof becoming the dominant feature. This is exacerbated by the dwellings' corner location which exposes a number of views of the dwelling from public viewpoints and will therefore have a detrimental impact on the character of the immediate area.

It is acknowledged that the density has been reduced and that there are dormer features on a number of dwellings in the area, but the proposal is considered an example of the overdevelopment of a modest roofscape and, in comparison, the built character of the area is more heavily characterised by dormer windows that are policy compliant and of a more modest scale and density.

On balance, the proposed development by combination of scale, massing and siting on the host dwelling, conflicts with local policy requirements and in essence is overdevelopment and goes beyond what could be considered as a dormer window addition. The result is an incongruous addition that will have a dominant and detrimental impact on the appearance of the original house. Furthermore, the proposal is out of keeping with the predominant built form of the area and would significantly detract from its visual continuity on this highly visible corner location.

In conclusion, the proposed dormer additions are considered to be unsympathetic and intrusive additions that will detract from the character and appearance of the property and the immediate area. It is therefore contrary to Policies D1 and D1.1 of the adopted East Renfrewshire Local Development Plan 2.

It is considered that the modest reduction from the previous refused proposal does not overcome the harm. It is acknowledged that there are large dormers in the area, however each case is assessed on its own merits and the effect on this particular dwelling in this location, despite the modifications, are not sufficient to outweigh the harm. It is therefore recommended that the application is refused.

RECOMMENDATION: Refuse

REASON FOR REFUSAL:

1. The proposal is contrary to Policies D1 and D1.1 of the adopted East Renfrewshire Local Development Plan 2 as due to its siting, design and massing it would constitute overdevelopment, resulting in a dominant and incongruous addition to the detriment to both the design and integrity of the original dwellinghouse and the visual amenity and character of the area.

PLANNING OBLIGATIONS: None.

ADDITIONAL NOTES: None

ADDED VALUE: None

BACKGROUND PAPERS:

Further information on background papers can be obtained from planning@eastrenfrewshire.gov.uk

Ref. No.: 2021/0999/TP
(CAPITA)

DATE: 17th May 2022

DIRECTOR OF ENVIRONMENT

Reference: 2021/0999/TP - Appendix 1

DEVELOPMENT PLAN:

Strategic Development Plan

This proposal raises no strategic issues in terms of the Glasgow and the Clyde Valley Strategic Development Plan and therefore the East Renfrewshire Local Plan is the relevant policy document

Adopted East Renfrewshire Local Development Plan 2

Policy D1

Placemaking and Design

Proposals for development within the urban and rural areas should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. Proposals will be assessed against the 6 qualities of a successful place as outlined in SPP, Designing Streets and the Placemaking and Design Supplementary Guidance.

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. The proposal should be appropriate to its location, be high quality and of a size, scale, height, massing and density that is in keeping with the buildings in the locality or appropriate to the existing building and should respect local architecture, building

- form and design;
3. Respect existing building lines and heights of the locality;
 4. Create a well-defined structure of streets, public spaces and buildings;
 5. Ensure the use of high quality sustainable and durable materials, colours and finishes that complement existing development and buildings in the locality;
 6. Respond to and complement site topography and not impact adversely upon the green belt and landscape character, green networks, features of historic interest, landmarks, vistas, skylines and key gateways. Existing buildings and natural features of suitable quality, should be retained and sensitively integrated into proposals including greenspace, trees and hedgerows;
 7. Boundary treatment and landscaping should create a distinctive edge and gateway to the development and reflect local character;
 8. Promote permeable and legible places through a clear sustainable movement hierarchy favouring walking, then cycling, public transport, then the private car as forms of movement;
 9. Demonstrate connectivity through the site and to surrounding spaces via a network of safe, direct, attractive and coherent walking and cycling routes. These must be suitable for all age groups, and levels of agility and mobility to allow for ease of movement from place to place;
 10. Demonstrate that safe and functional pedestrian, cycle and vehicular access, and parking facilities and infrastructure, including for disabled and visitor parking, is provided in accordance with the Council's Roads Development Guide. Where appropriate, proposals will be required to provide secure and accessible shelters, lockers, showers and seating and be designed to meet the needs of all users. Cycle parking and facilities should be located in close proximity to the entrances of all buildings to provide convenience and choice for users;
 11. Incorporate integrated and enhance existing green infrastructure assets, such as landscaping, trees and greenspace, water management and SUDs including access and prioritise links to the wider green network as an integral part of the design process from the outset, in accordance with Policies D4 - D6. New green infrastructure must be designed to protect and enhance the habitat and biodiversity of the area and demonstrate a net gain;
 12. There will be a general presumption against all proposals that involve landraising. Where there is a justifiable reason for landraising, proposals must have regard to the scale and

visual impact of the resultant changes to the local landscape and amenity. Proposals that

adversely impact upon the visual and physical connections through the site and to the surrounding areas will be resisted;

13. Backland development should be avoided;
14. Provide safe, secure and welcoming places with buildings and spaces, including open spaces, play areas and landscaping, designed and positioned to reduce the scope for anti-social behaviour and fear of crime, improve natural surveillance, passive overlooking, security and street activity;
15. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by unreasonably restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Guidance;

16. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the proposal;

17. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by noise, dust, pollution and smell or poor air quality;

18. Ensure buildings and spaces are future proof designed to be easily adaptable and flexible to respond to changing social, environmental, technological, digital and economic conditions;

19. Incorporate provision for the recycling, storage, collection and composting of waste materials; and

20. Incorporate the use of sustainable design and construction methods and materials in the layout and design to support a low carbon economy.

Proposals must meet the requirements of any development brief prepared by the Council for an allocated site.

Further detailed guidance and information will be set out in the Placemaking and Design Supplementary Guidance, Householder Design Supplementary Guidance and the Daylight and Sunlight Design Supplementary Guidance.

Policy D1.1

Extensions and Alterations to Existing Buildings for Residential Purposes

Proposals will be assessed against the following criteria:

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. Should complement the scale and character of the existing building, neighbouring

- properties and their setting, particularly in terms of style, form and materials;
3. The size, scale and height of any development must be appropriate to and not adversely impact or dominate the existing building;
 4. Should not create an unbroken or terraced appearance;
 5. Where additional bedrooms are proposed or a garage/driveway is being converted to another use other than for the parking of a vehicle, proposals will be required to provide parking in accordance with the Council's Roads Development Guide; and
 6. Should avoid over-development of the site by major loss of existing front and rear garden space. No more than 50% of the rear garden should be occupied by the development.

Further detailed information and guidance will be set out in the Householder Design Guide Supplementary Guidance.

GOVERNMENT GUIDANCE: None

Finalised 17/05/2022 AC(6)

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**DECISION NOTICE
AND
REASONS FOR REFUSAL**

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**TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
(AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(SCOTLAND) REGULATIONS 2013**

REFUSAL OF PLANNING PERMISSION

Ref. No. **2021/0999/TP**

Applicant:

Mrs Fiona O'Donnell
15 Nethercliffe Avenue
Netherlee
Glasgow
Scotland
G44 3uW

Agent:

Keith Edwards
0/2
2 Caledon Street
Glasgow
Scotland
G12 9DX

With reference to your application which was registered on 20th December 2021 for planning permission under the abovementioned Act and Regulations for the following development, viz:-

Alterations to existing side dormer to increase its size and erection of dormer to rear of dwelling.

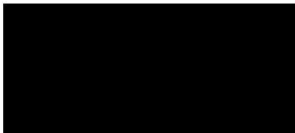
at: 15 Nethercliffe Avenue Netherlee East Renfrewshire G44 3UW

the Council in exercise of their powers under the abovementioned Act and Regulations hereby refuse planning permission for the said development.

The reason(s) for the Council's decision are:-

1. The proposal is contrary to Policies D1 and D1.1 of the adopted East Renfrewshire Local Development Plan 2 as due to its siting, design and massing it would constitute overdevelopment, resulting in a dominant and incongruous addition to the detriment of both the design and integrity of the original dwellinghouse and the visual amenity and character of the area.

Dated 17th May 2022



Director of Environment
East Renfrewshire Council
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG
Tel. No. 0141 577 3001

The following drawings/plans have been refused

Plan Description	Drawing Number	Drawing Version	Date on Plan
Location Plan	A1437.21.01		
Proposed floor plans	A1437.21.06		
Elevations Proposed	A1437.21.08		
Sections Proposed	A1437.21.07		
Sections Proposed	A1437.21.10		

GUIDANCE NOTE FOR REFUSAL OF LOCAL DEVELOPMENTS DETERMINED UNDER DELEGATED POWERS

REVIEW BY EAST RENFREWSHIRE COUNCIL'S LOCAL REVIEW BODY

1. If the applicant is aggrieved by a decision to refuse permission (or by an approval subject to conditions), the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. A Notice of Review can be submitted online at www.eplanning.scotland.gov.uk. Please note that beyond the content of the appeal or review forms, **you cannot normally raise new matters** in support of an appeal or review, unless you can demonstrate that the matter could not have been raised before, or that its not being raised before is a consequence of exceptional circumstances. Following submission of the notice, you will receive an acknowledgement letter informing you of the date of the Local Review Body meeting or whether further information is required.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

CONTACT DETAILS

**East Renfrewshire Council
Development Management Service
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG**

**General Inquiry lines 0141 577 3001
Email planning@eastrenfrewshire.gov.uk**

**NOTICE OF REVIEW
AND
SUPPORTING STATEMENT**

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100591519-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	Keith Edwards Architect		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Keith	Building Name:	
Last Name: *	Edwards	Building Number:	2
Telephone Number: *	01413410694	Address 1 (Street): *	2 Caledon Street
Extension Number:		Address 2:	Dowanhill
Mobile Number:		Town/City: *	Glasgow
Fax Number:		Country: *	United Kingdom
		Postcode: *	G12 9DX
Email Address: *	KEdwards1701@gmail.com		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mrs"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="Fiona"/>	Building Number:	<input type="text" value="15"/>
Last Name: *	<input type="text" value="O'Donnell"/>	Address 1 (Street): *	<input type="text" value="Nethercliffe Avenue"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Glasgow"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="Scotland"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="G44 3UW"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="REDACTED"/>		

Site Address Details

Planning Authority:	<input type="text" value="East Renfrewshire Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="15 NETHERCLIFFE AVENUE"/>
Address 2:	<input type="text" value="NETHERLEE"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="GLASGOW"/>
Post Code:	<input type="text" value="G44 3UW"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="658569"/>	Easting	<input type="text" value="257740"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Alterations to existing side dormer to increase its size and erection of dormer to rear of dwelling.

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Information as per the attached details for appeal against refusal.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

L10 Planning appeal L10a Existing house photos L11. Plans referred to in appeal report L12. Photos referred to in appeal report

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

2021/0999/TP

What date was the application submitted to the planning authority? *

19/01/2022

What date was the decision issued by the planning authority? *

18/05/2022

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Keith Edwards

Declaration Date: 02/08/2022

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Keith Edwards Architect

2 Caledon Street, Dowanhill, Glasgow...G12 9DX tel : 0141 341 0694 e-mail . keith@ke-architect.com

PLANNING REVIEW...

Client Mr & Mrs O'Donnell

Premises 15 Nethercliffe Avenue, Glasgow

Date 28.07.22

Application ref; 2021 /0999/TP, 15 Nethercliffe Avenue, Netherlee,
East Renfrewshire G44 3UW

This is a submission on appeal against the East Renfrewshire Council Planning Refusal for the loft alterations and extension to increase bedroom and form shower room at first floor where there are no toilet or bathing facilities to provide for their young family and this proposal would bring the property up to a more tolerable standard with everyone having easy access on both floor levels to bathing facilities.

The original application was submitted on 20.11.21 and acknowledged on 20th January 2022 with refusal notice issued 18th May 2022 This was two months past the standard response period of 2 months with no indication to myself or client about a delay.

The proposal that was submitted was a further design alteration for the loft proposal which had been previously refused, having reference 2020/0784/TP. This was dealt with by planning officer Ian Walker. I was somewhat disappointed that the resubmitted application was not given over to Ian Walker as he had history of the previous application and more importantly the officer with whom all discussions have been with over a period of weeks.

I contacted Ian Walker after the refusal of the first notice and appeal to discuss with him a way forward for the project to gain approval. Initially he was concerned that a compromise could not be reached knowing what was being looked for in terms of internal space. However, I did some further sketches and submitted the revised design which allowed the corner design proposal to be held back from the frontage and have a wrap around theme which could be either fully glazed thereby reducing the build image massing or smaller windows within a cladding proposal finish similar to the existing dormer style. Both schemes allowed the increase in floor area and connection to new rear dormer which was for a new shower room facility. The schemes forwarded to Ian Walker meant a reduction of the corner extension to the loft but was still wrapped round the corner from the existing gable dormer to new rear dormer. The reason for the increased bedroom floor area was for their daughter who would require a larger room as she grew older and the clients are proposing to remain in the house in question .

Our discussions centred round the idea of reducing the impact of the extension of the house from the street side which mainly looked out over the side and rear garden over Leabank Drive. The discussions were about how to turn the corner in a manner whereby the floor area and height could be maintained leading to the rear shower room extension which was the main driving issue for the extension. The design put forward and reason for the design were submitted for Ian Walkers attentions and after weeks of discussion was finally settled on the idea of increasing the existing side dormer in width but retaining the window central to that elevation. The massing and reduced scale of the proposal finally determined reduced the overall impact on the rear roof visible from the adjoining roads. As part of the revised design /

and a point made was that the corner ridge would be kept almost intact thereby retaining the character of this style of bungalow with four hipped roofs. This was the thrust of Ian Walker's proposal which retained an element of increase floor area and height but still allowing the connection to rear dormer proposed. Internally this allowed the otherwise cramped corner room to increase in floor area size and also the headroom over a larger internal area which made best of the bedroom space.

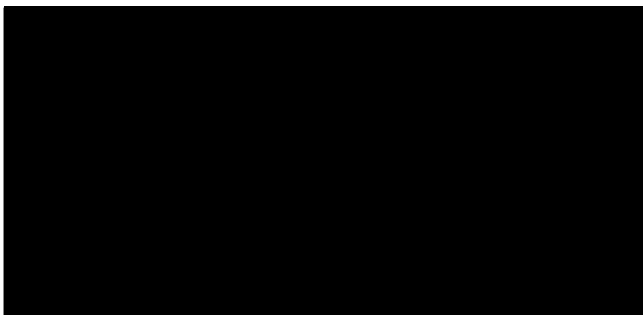
The proposal that was finally agreed with Ian Walker was the example he drew onto my own sketch with a green marker which increased to side dormer with an instant increase in internal floor area and usable space in the bedroom. This also meant that the connection between side and rear dormer could be reduced giving more distinction between the two elements of build which was part of the refusal situation thereby retaining the character of the original dormer to the front and side elevations of the property. The design agreed was far less dominant than that originally submitted and was also not felt to be incongruous to the local area with its high level of conversions, alterations and extensions to similar style pitched roof designed houses. The existing house location on a corner site with hipped roof design made this particular site more difficult to be compatible for the area as any alteration to this house roof would be more visible from both Nethercliffe Avenue and Leabank Drive.

Many of the properties in the local area have been extended in a variety of designs and the final design reached between Ian Walker and myself was a compromise on both sides but felt to be the best achievable for the site and the client's needs.

The final application submitted was based on the idea put forward by Ian Walker in regards to the side dormer increased width and I felt confident that the revised scheme would have the backing of the planning office expecting the proposal to be dealt with by the officer leading the discussion.

I trust the above and enclosed will allow the proposal to be approved.

Yours sincerely



Keith Edwards Architect

Enclosed drawings...

A03 First Floor plan existing

A05 Elevations as existing

A06 First Floor plan as existing

A06 First Floor plan proposed sk 1 Proposal to reduce corner dormer by shaping at 45 degrees with a corner window at the angle

A08 Elevations of proposal sk 1 Elevation showing one window at corner retaining the original dormer width

A06 First Floor plan proposed sk 2 Proposal to reduce corner dormer with wrap around windows to reduce massing appearance

A08 Elevations of proposal sk 2 Elevation showing connecting dormer wrap around window with retained original dormer.

A06 First Floor plan proposed sk 3 Extended dormer per Ian Walkers extended dormer width and smaller connecting wrap round

A08 Elevations of proposal sk 3 Elevation with increased width dormer and smaller connecting dormer

The final design submitted was based on the design noted in sketch 3 which had an increased width side dormer and smaller connection dormer to rear dormer proposed as per the drawing with green marker proposal.

Screenshot of sketch idea from Ian Walker on which SK3 was based on

See attached



Existing house...front facing Netherlee Road



Existing house...side facing Leabank Drive

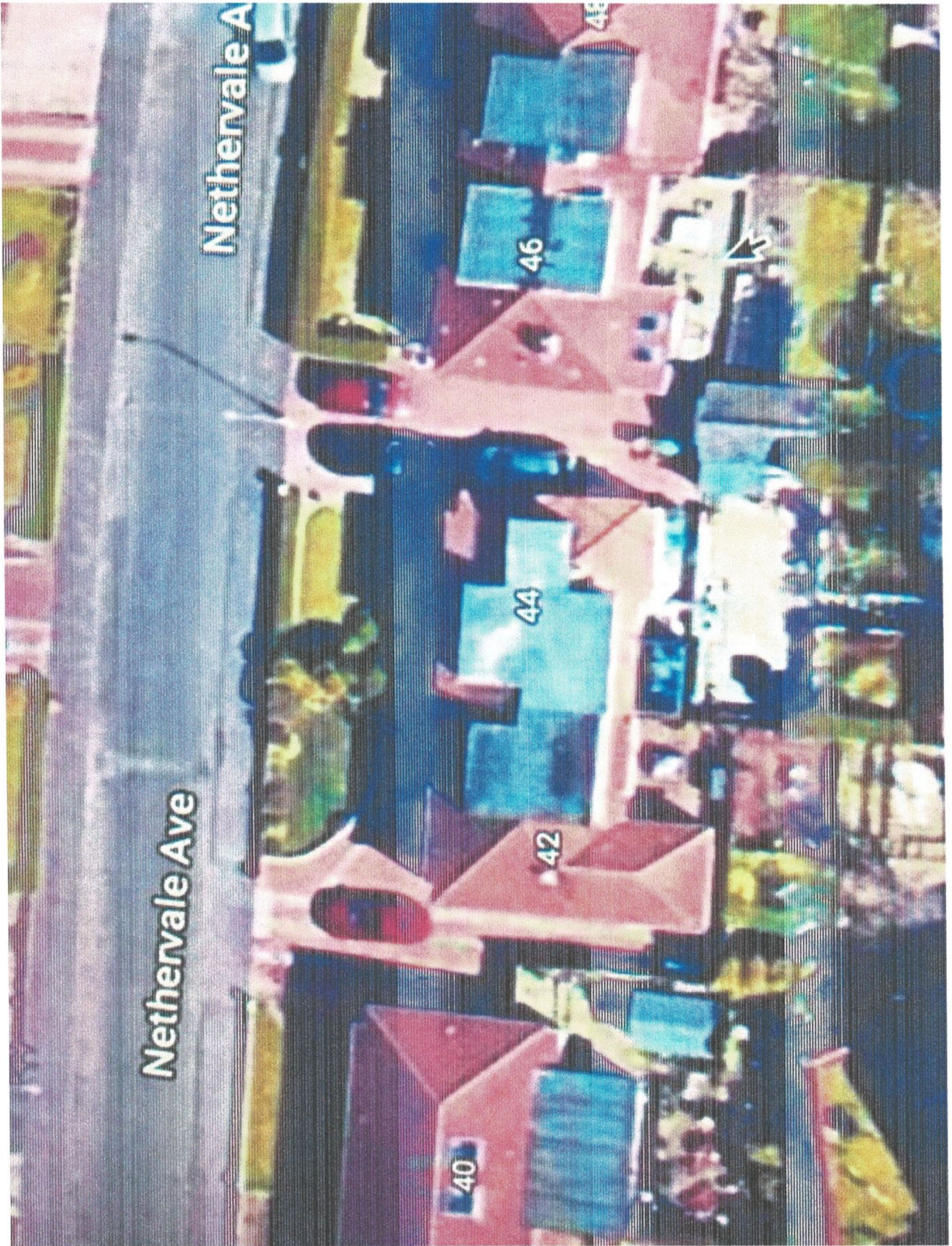




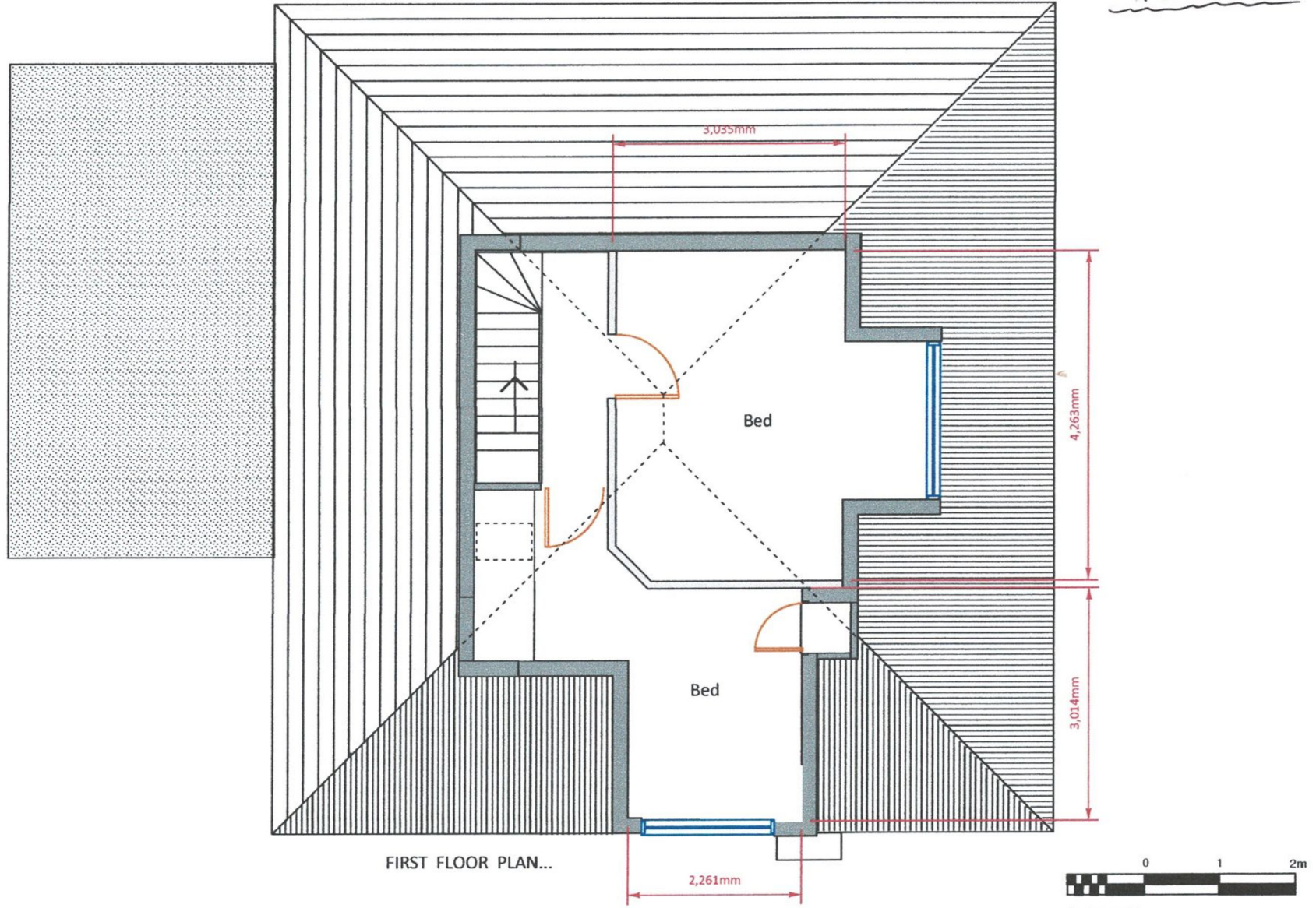








- EXISTING PLAN



Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Dwg	A1437.21.03
Title	First Floor Plan ... exist	Date	06.12.21
		Scale	1:50

KEA KEITH EDWARDS ARCHITECTS

2 CALEDON STREET, GLASGOW
G12 90X tel: 0141 341 0694

EXISTING ELEVATIONS

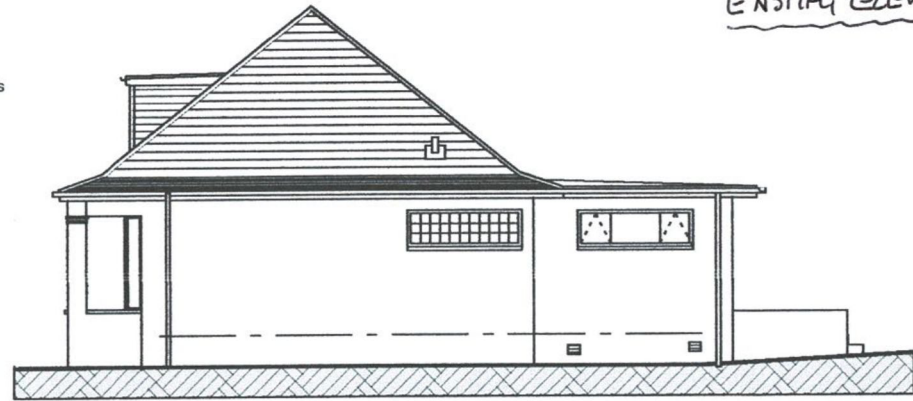


FRONT ELEVATION...

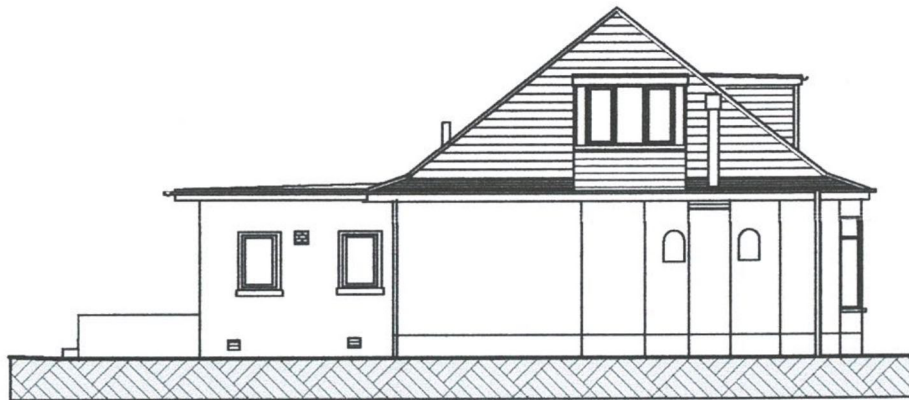
PC concrete roof tiles

PVC framed double glazed windows

white render



SIDE ELEVATION...



REAR ELEVATION...

Scale: - 1 : 100



Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Dwg	A1437.21.05
Title	Elevations ... exist	Date	06.12.21
		Scale	1:100

K&EA ARCHITECTS
 2 CALEDON STREET, GLASGOW
 G12 9DX tel: 0141 341 0694

Existing internal wall forming stair at FF level to be infilled with acoustic insulation then faced with 12.5mm plasterboard on the shower room side of stud wall.

New flat roof gutters all round connecting to new 75mm rwp which should flush onto existing roof and then to existing drainage system.

New 147x45mm structural timber frame infilled with Celotex GA 4000 insulation board 145mm thick then faced internally with 25mm thick celotex having 12.5mm wallboard internal finish.

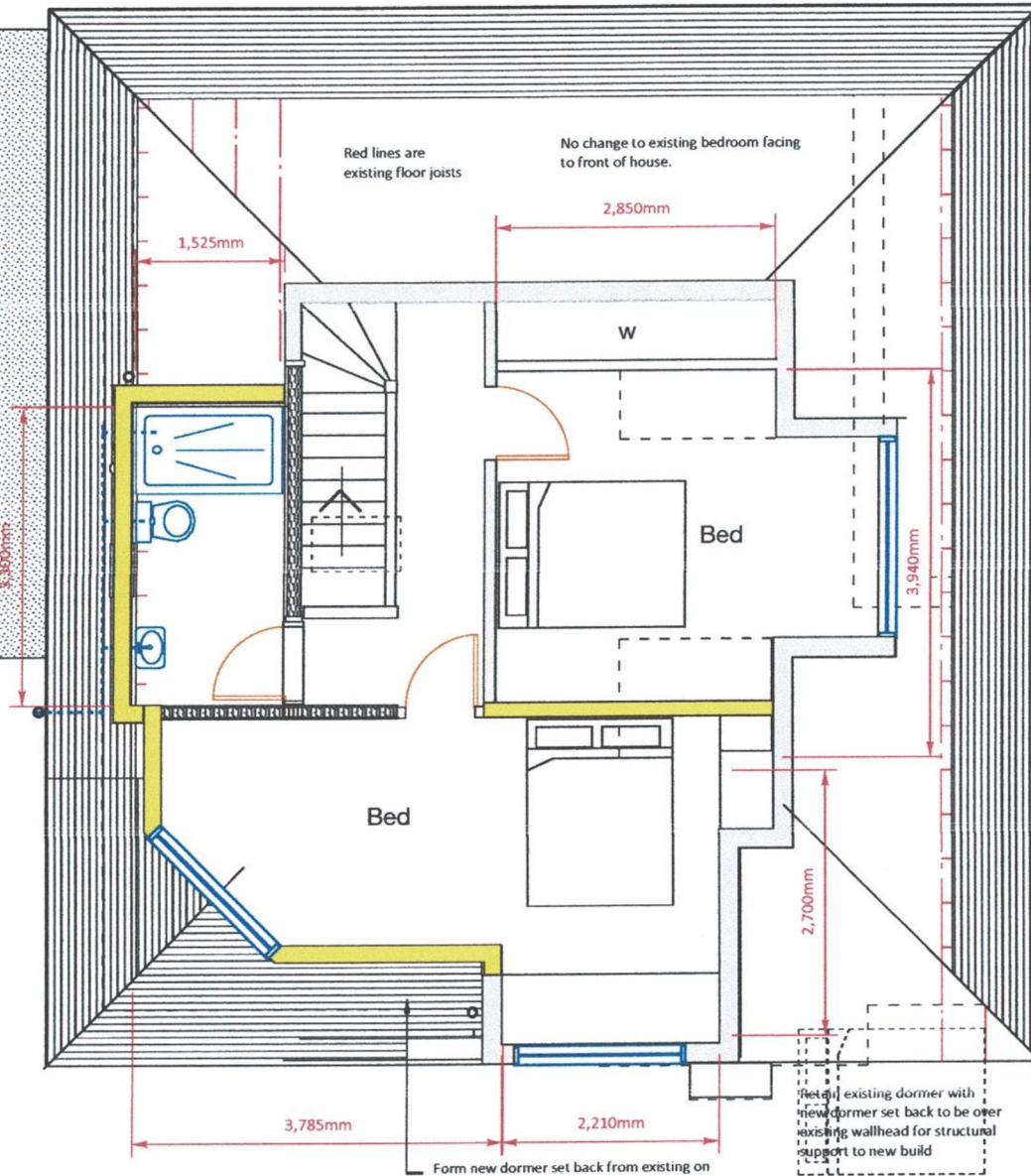
New drainage from shower room to be fed to existing s&vp stack outside ground floor within pitched roof area at rear then new connection made to pipe. Hot and cold water pipes to rise from the existing bathroom below.

Existing rooflight to stairwell retained in current position with new roof structure formed round opening where possible.

Form new internal stud walls using 97x45mm studs infilled with sound quilt insulation as per specifications.

Install double glazed pvc framed windows to match existing in style with one window having tilt and turn mechanism for escape with an opening of 450x450mm min.

Hipped end rafter to be cut at ceiling level then supported by steel lintels to side and rear new walls. Structural design by Engineer for all roof alterations required to form extended loft rooms.



FIRST FLOOR PLAN...

Form new dormer set back from existing on the side elevation round to stair to include an en-suite facility. Corner window design.

ELECTRICAL LEGEND:

- Double switch socket
- Light Fixture ceiling.
- Light switch
- Extract Fan
- Light Switch
- TV Outlet
- Telephone Outlet
- Smoke Detector ... hard wired
- Radiator
- Shaver socket outlet

SKETCH 1

Internally remove existing plasterboard faced timber stud wall and cut handrail where access required into new shower room. Form new timber handrail to side of new door over existing stairwell to keep the open aspect of the stairwell..

Re-use the existing internal bedroom door in new location as noted. Install new door to shower room

New floor through extension to have 22mm thick t&g chipboard flooring made flush with existing. Install sound insulation wherever possible in new works floor.

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Drawn	A1437.20.06
Title	First Floor Plan ... proposed	Date	04.12.20
		Scale	1:50

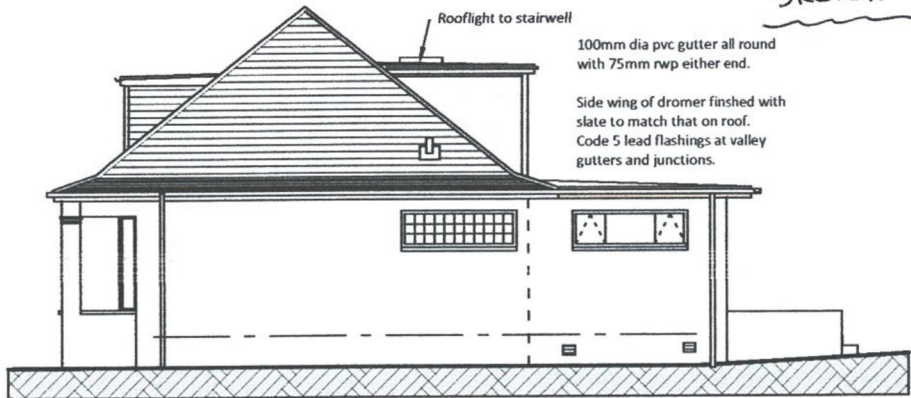
KEA KATH EDWARDS ARCHITECT
 2 CALEDON STREET, GLASGOW
 G12 9UX tel : 0141 341 0694

SKETCH 1

Flat roof over existing side dormer to be increased in height to match that of new roof having more insulation installed under finishes.



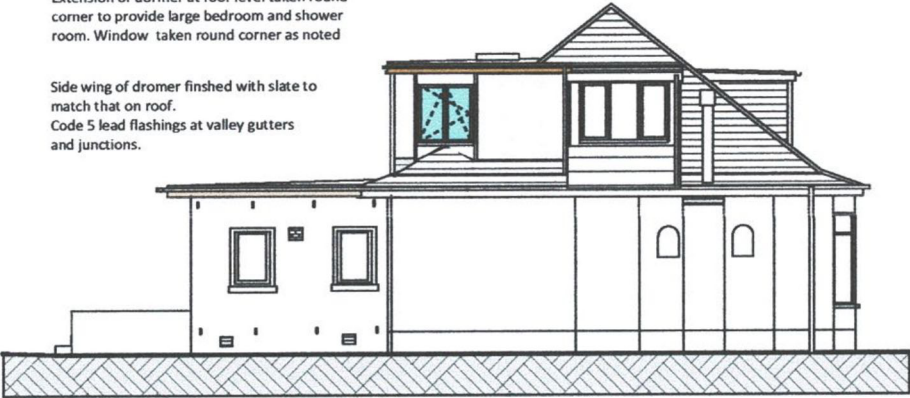
FRONT ELEVATION...



SIDE ELEVATION...

Rooflight to stairwell
100mm dia pvc gutter all round with 75mm rwp either end.
Side wing of dormer finished with slate to match that on roof. Code 5 lead flashings at valley gutters and junctions.

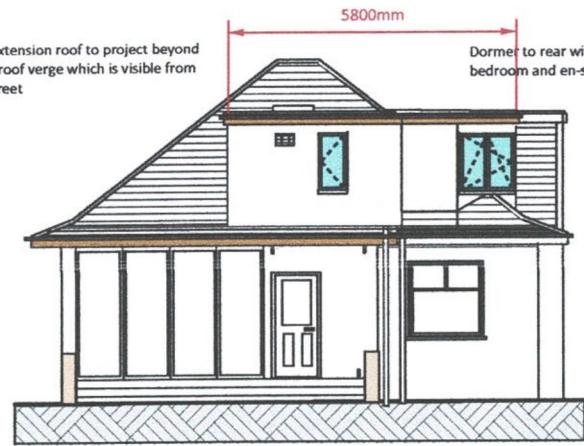
Extension of dormer at roof level taken round corner to provide large bedroom and shower room. Window taken round corner as noted
Side wing of dormer finished with slate to match that on roof. Code 5 lead flashings at valley gutters and junctions.



SIDE ELEVATION...

Rooflight to existing stairwell formed in new flat roof.

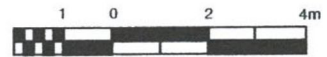
No part of extension roof to project beyond the pitched roof verge which is visible from the front street



REAR ELEVATION...

Extract vent through rear wall for shower room with 15/sec rating, insect screen fitted.

Dormer to rear with windows to bedroom and en-suite
New windows fitted with trickle vents in head frame
Corner connection set back from gable dormer and rear dormer to reduce impact on corner. Light coloured wall panels to new extensions.



Scale:- 1 : 100

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Drawn	A1437.20.08
Title	Elevations	Date	19.10.20
		Scale	1:50

KEA KETH SWANSON ARCHITECT
 2 CALEDON STREET, GLASGOW
 G12 9DX tel: 0141 341 0694

Existing internal wall forming stair at FF level to be infilled with acoustic insulation then faced with 12.5mm plasterboard on the shower room side of stud wall.

New flat roof gutters all round connecting to new 75mm rwp which should flush onto existing roof and then to existing drainage system.

New 147x45mm structural timber frame infilled with Celotex GA 4000 insulation board 145mm thick then faced internally with 25mm thick celotex having 12.5mm wallboard internal finish.

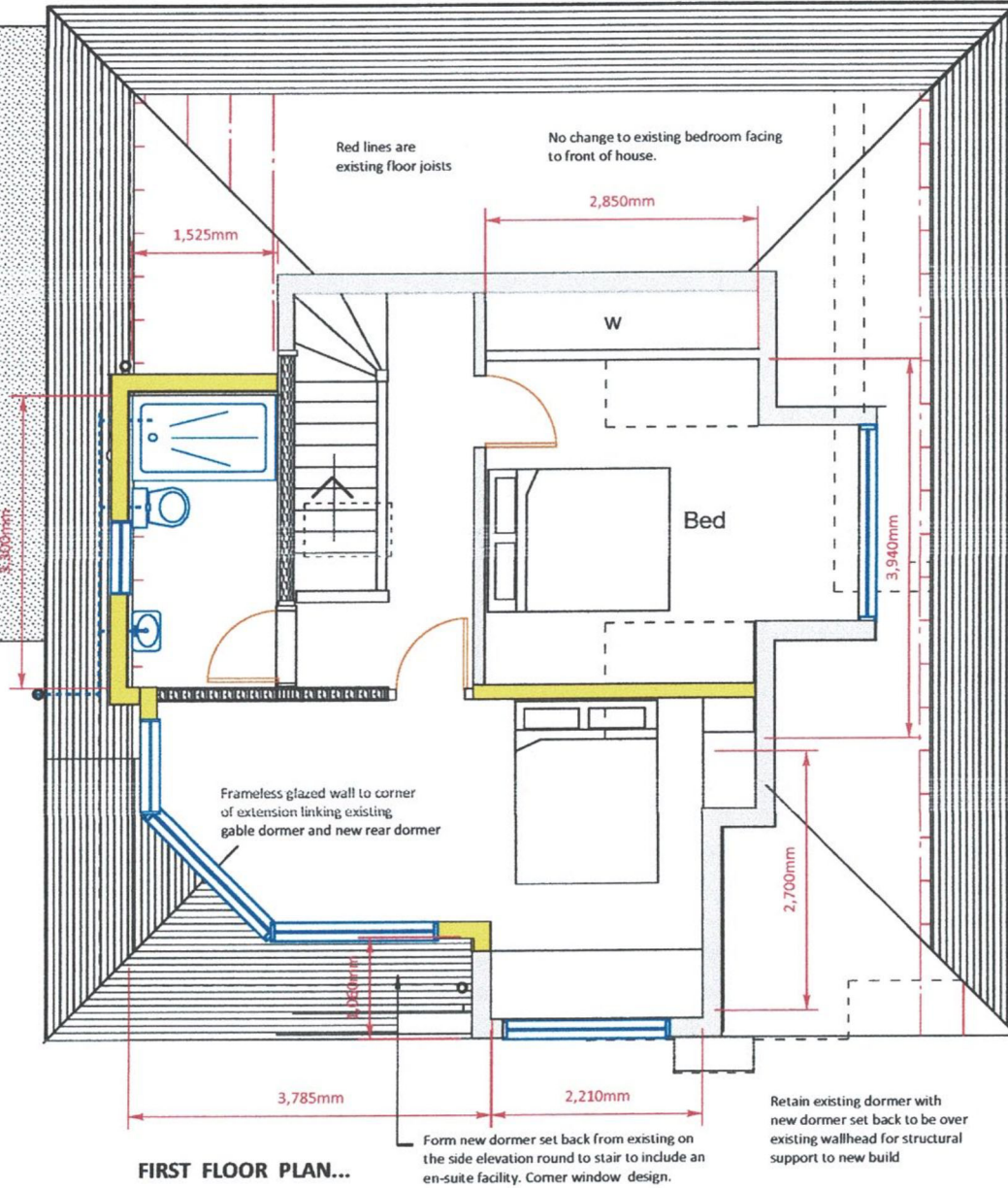
New drainage from shower room to be fed to existing s&vp stack outside ground floor within pitched roof area at rear then new connection made to pipe. Hot and cold water pipes to rise from the existing bathroom below.

Existing rooflight to stairwell retained in current position with new roof structure formed round opening where possible.

Form new internal stud walls using 97x45mm studs infilled with sound quilt insulation as per specifications.

Install double glazed pvc framed windows to match existing in style with one window having tilt and turn mechanism for escape with an opening of 450x450mm min.

Hipped end rafter to be cut at ceiling level then supported by steel lintels to side and rear new walls. Structural design by Engineer for all roof alterations required to form extended loft rooms.



FIRST FLOOR PLAN...

ELECTRICAL LEGEND:

- Double switch socket
- Light Fixture ceiling.
- Light switch
- Extract Fan
- Light Switch
- TV Outlet
- Telephone Outlet
- Smoke Detector ... hard wired
- Radiator.
- Shaver socket outlet

SKETCH 2

Internally remove existing plasterboard faced timber stud wall and cut handrail where access required into new shower room. Form new timber handrail to side of new door over existing stairwell to keep the open aspect of the stairwell..

Re-use the existing internal bedroom door in new location as noted. Install new door to shower room

New floor through extension to have 22mm thick t&g chipboard flooring made flush with existing. Install sound insulation wherever possible in new works floor.

Form new dormer set back from existing on the side elevation round to stair to include an en-suite facility. Corner window design.

Retain existing dormer with new dormer set back to be over existing wallhead for structural support to new build

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Dwg	A1437.20.06
Title	First Floor Plan ... proposed	Date	04.12.20
		Scale	1:50

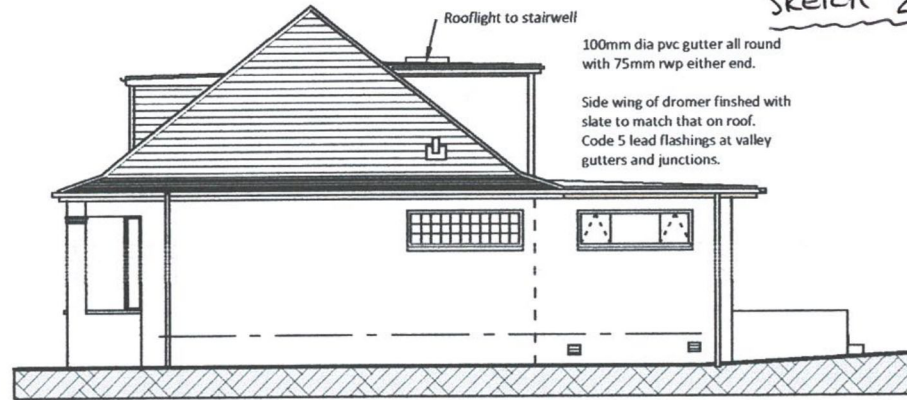
KEITH EDWARDS ARCHITECT
 2 CALEDON STREET, GLASGOW
 G12 9UX tel : 0141 341 0694

Flat roof over existing side dormer to be increased in height to match that of new roof having more insulation installed under finishes.



FRONT ELEVATION...

SKETCH 2



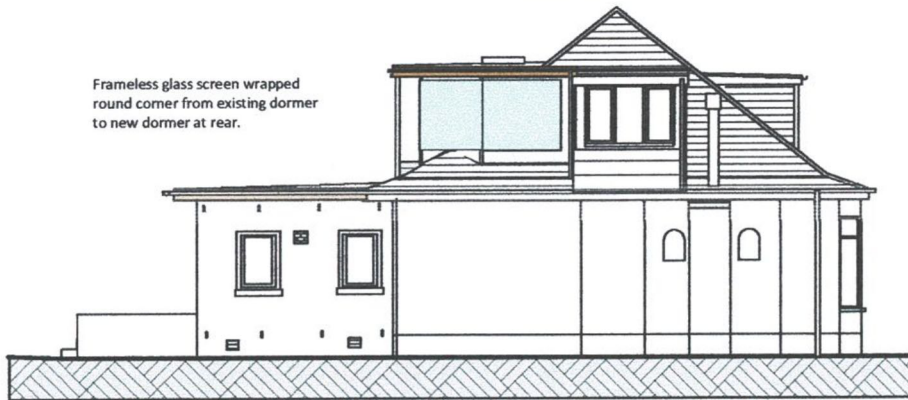
100mm dia pvc gutter all round with 75mm rwp either end.

Side wing of dormer finished with slate to match that on roof. Code 5 lead flashings at valley gutters and junctions.

SIDE ELEVATION...

Rooflight to existing stairwell formed in new flat roof.

Frameless glass screen wrapped round corner from existing dormer to new dormer at rear.



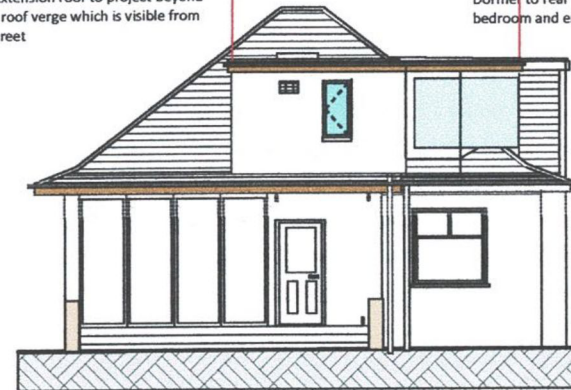
SIDE ELEVATION...

Extract vent through rear wall for shower room with 15/sec rating, insect screen fitted.

No part of extension roof to project beyond the pitched roof verge which is visible from the front street

5800mm

Dormer to rear with windows to bedroom and en-suite



Corner connection set back from gable dormer and rear dormer to reduce impact on corner. Light coloured wall panels to new extensions.

REAR ELEVATION...



Scale:- 1 : 100

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Dwg	A1437.20.08
Title	Elevations	Date	19.10.20
		Scale	1:50

KEA KEITH EDWARDS ARCHITECT
 2 CALEDON STREET, GLASGOW
 G12 9DX tel : 0141 341 0604

Existing internal wall forming stair at FF level to be infilled with acoustic insulation then faced with 12.5mm plasterboard on the shower room side of stud wall.

New flat roof gutters all round connecting to new 75mm rwp which should flush onto existing roof and then to existing drainage system.

New 147x45mm structural timber frame infilled with Celotex GA 4000 insulation board 145mm thick then faced internally with 25mm thick celotex having 12.5mm wallboard internal finish.

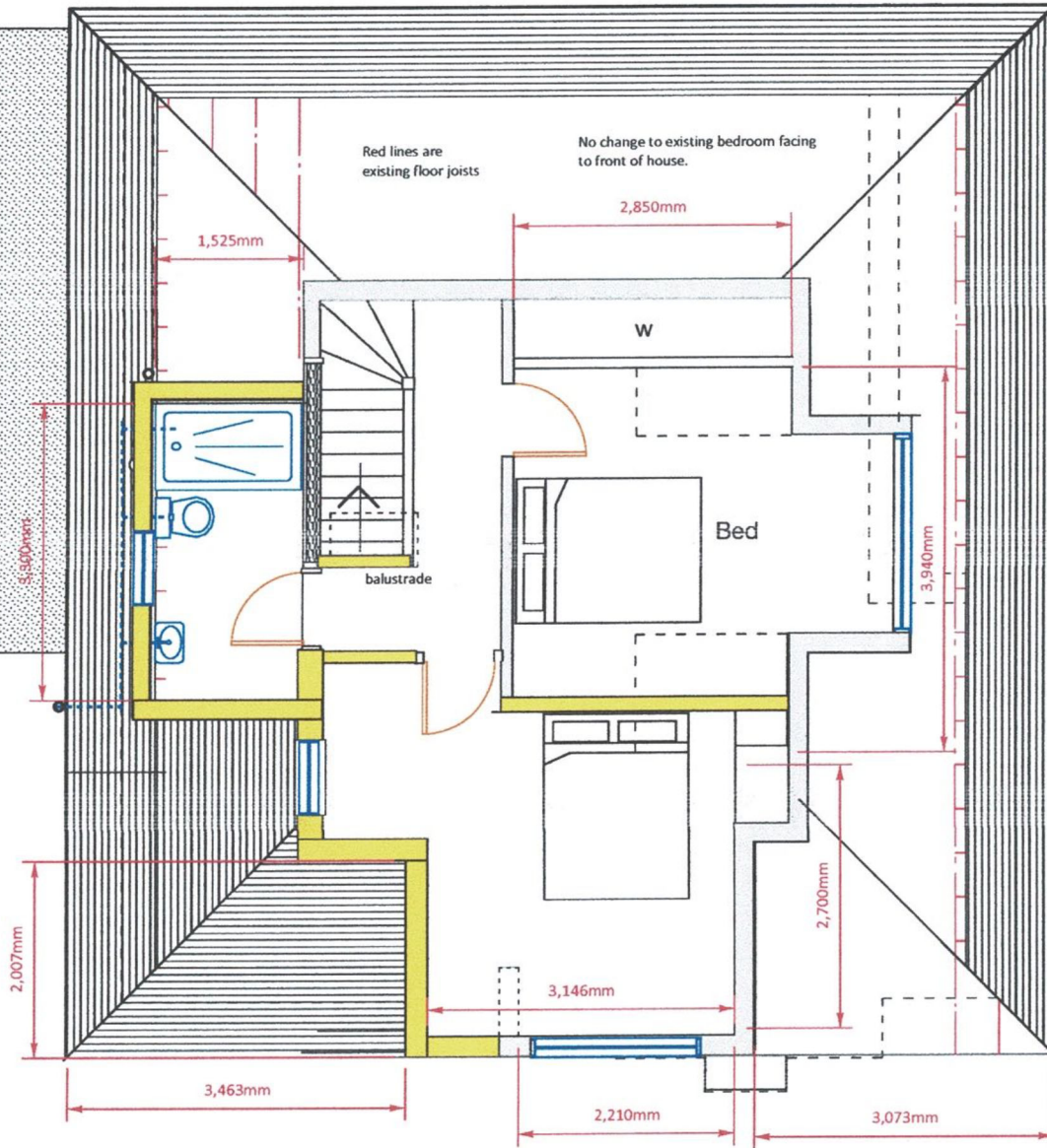
New drainage from shower room to be fed to existing s&vp stack outside ground floor within pitched roof area at rear then new connection made to pipe. Hot and cold water pipes to rise from the existing bathroom below.

Existing rooflight to stairwell retained in current position with new roof structure formed round opening where possible.

Form new internal stud walls using 97x45mm studs infilled with sound quilt insulation as per specifications.

Install double glazed pvc framed windows to match existing in style with one window having tilt and turn mechanism for escape with an opening of 450x450mm min.

Hipped end rafter to be cut at ceiling level then supported by steel lintels to side and rear new walls. Structural design by Engineer for all roof alterations required to form extended loft rooms.



FIRST FLOOR PLAN...

Extend existing side dormer by 800mm to achieve larger room

Red lines are existing floor joists
No change to existing bedroom facing to front of house.

ELECTRICAL LEGEND:

- Double switch socket
- Light fixture ceiling
- Light switch
- Extract Fan
- Light Switch
- TV Outlet
- Telephone Outlet
- Smoke Detector ... hard wired
- Radiator
- Shaver socket outlet

SKETCH 3

Internally remove existing plasterboard faced timber stud wall and cut handrail where access required into new shower room. Form new timber handrail to side of new door over existing stairwell to keep the open aspect of the stairwell..

Re-use the existing internal bedroom door in new location as noted. Install new door to shower room

New floor through extension to have 22mm thick t&g chipboard flooring made flush with existing. Install sound insulation wherever possible in new works floor.

Retain existing dormer with new dormer set back to be over existing wallhead for structural support to new build

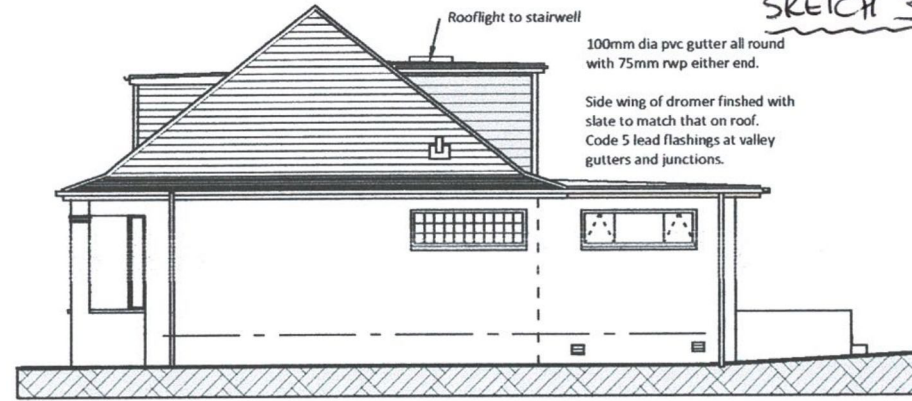
Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension ... SKETCH 3	Dwg	A1437.20.06
Title	First Floor Plan ... proposed	Date	04.12.20
		Scale	1:50

KEA ARCHITECTS
2 CALEDON STREET, GLASGOW
G12 9DX tel: 0141 341 0694

Flat roof over existing side dormer to be increased in height to match that of new roof having more insulation installed under finishes.



FRONT ELEVATION...



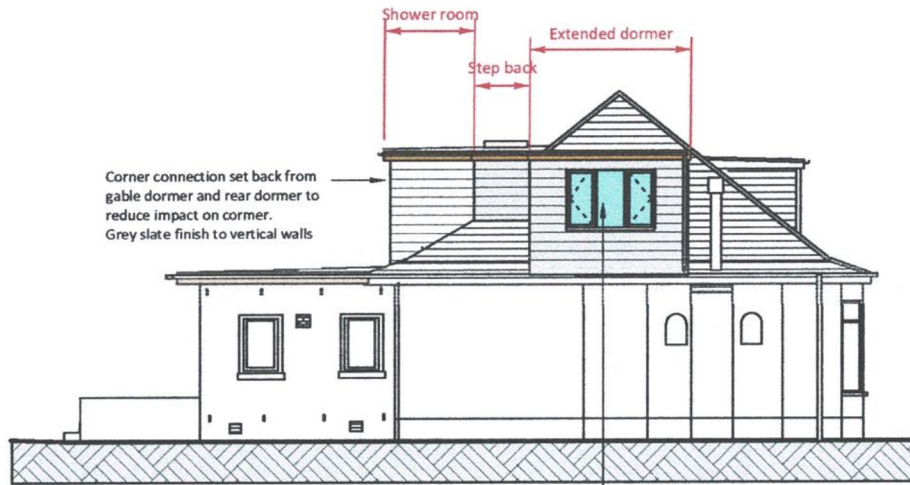
SKETCH 3

100mm dia pvc gutter all round with 75mm rwp either end.

Side wing of dormer finished with slate to match that on roof. Code 5 lead flashings at valley gutters and junctions.

SIDE ELEVATION...

Extract vent through rear wall for shower room with 15/sec rating, insect screen fitted.

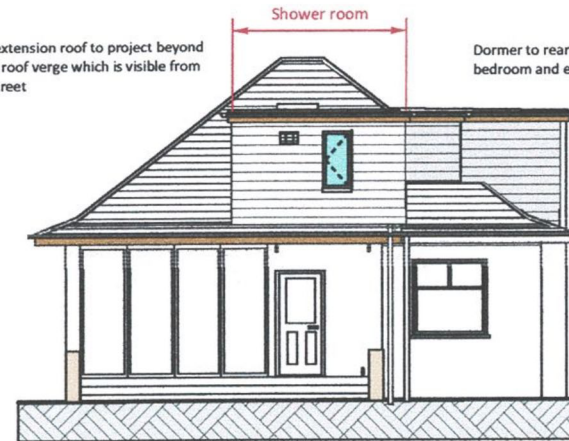


SIDE ELEVATION...

Corner connection set back from gable dormer and rear dormer to reduce impact on corner. Grey slate finish to vertical walls

Existing window to be centred on new extended wall of dormer.

No part of extension roof to project beyond the pitched roof verge which is visible from the front street



REAR ELEVATION...

Dormer to rear with windows to bedroom and en-suite

Corner connection set back from gable dormer and rear dormer to reduce impact on corner. Grey slate finish to vertical walls



Scale:- 1 : 100

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Dwg	A1437.21.08
Title	Elevations ... proposed	Date	06.12.21
		Scale	1:50

KEA KEITH EDWARDS ARCHITECT
 2 CALEDON STREET, GLASGOW
 G12 9DX tel: 0141 341 0694

SKETCH PROPOSAL BY
IAN WALKER WHICH FINAL
PLAN WAS BASED ON



Existing internal wall forming stair at FF level to be infilled with acoustic insulation then faced with 12.5mm plasterboard on the shower room side of stud wall.

New flat roof gutters all round connecting to new 75mm rwp which should flush onto existing roof and then to existing drainage system.

New 147x45mm structural timber frame infilled with Celotex GA 4000 insulation board 145mm thick then faced internally with 25mm thick celotex having 12.5mm wallboard internal finish.

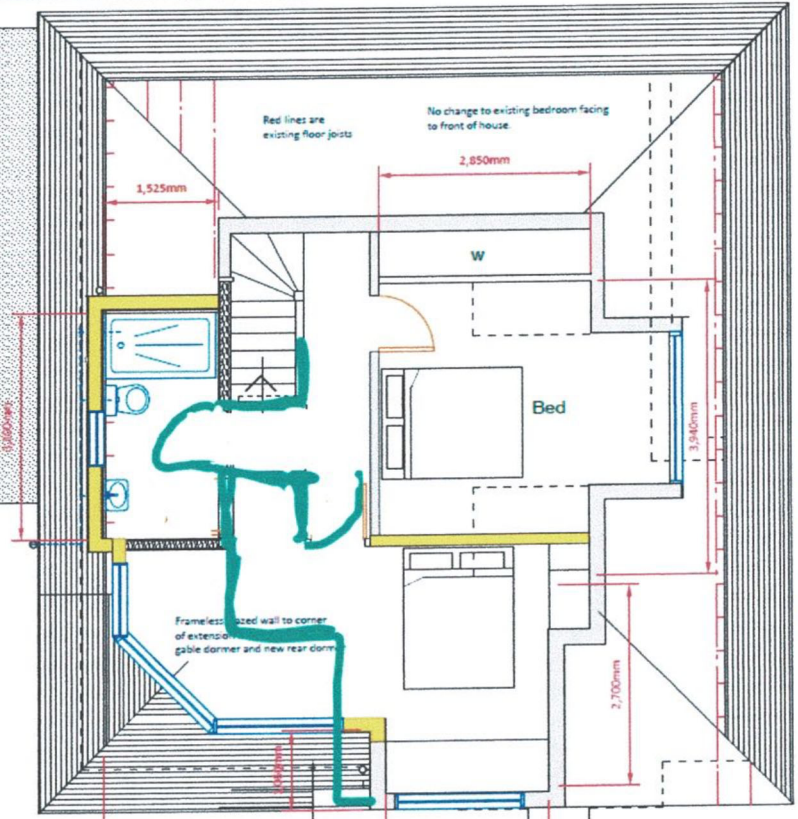
New drainage from shower room to be fed to existing sump stack outside ground floor within pitched roof area at rear then new connection made to pipe. Hot and cold water pipes to rise from the existing bathroom below.

Existing rooflight to stairwell retained in current position with new roof structure formed round opening where possible.

Form new internal stud walls using 97x45mm studs infilled with sound quilt insulation as per specifications.

Install double glazed pvc framed windows to match existing in style with one window having tilt and turn mechanism for escape with an opening of 450x450mm min.

Hipped end rafter to be cut at ceiling level then supported by steel lintels to side and rear new walls. Structural design by Engineer for all roof alterations required to form extended loft rooms.



ELECTRICAL LEGEND:

- ▲ Double switch socket
- ⊗ Light fixture ceiling
- ⊙ Light switch
- ⊖ Extract fan
- ⊕ Light switch
- ⊕ TV Outlet
- ⊕ Telephone Outlet
- ⊕ Smoke Detector - hard wired
- ⊕ Radiator
- ⊕ Shower socket outlet

Internally remove existing plasterboard faced timber stud wall and cut handrail where access required into new shower room. Form new timber handrail to side of new door over existing stairwell to keep the open aspect of the stairwell.

Re-use the existing internal bedroom door in new location as noted. Install new door to shower room

New floor through extension to have 22mm thick t&g chipboard flooring made flush with existing. Install sound insulation wherever possible in new works floor.

FIRST FLOOR PLAN...

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow	Architect	KEITH EDWARDS ARCHITECT
Project	Loft extension	Ref	41437.20.06	Architect	J. CALKIN 116891 - GLASGOW 012 904 341 0245 141 0494
File	First Floor Plan - proposed	Date	04.12.20	Scale	1:50

PLANS/DRAWINGS

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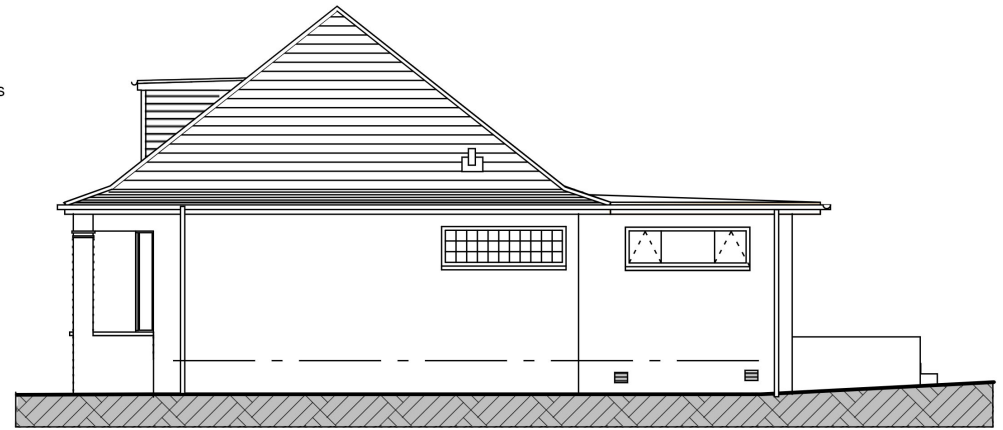


FRONT ELEVATION...

PC concrete roof tiles

PVC framed double glazed windows

white render

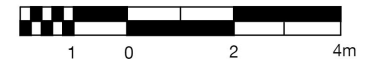


SIDE ELEVATION...

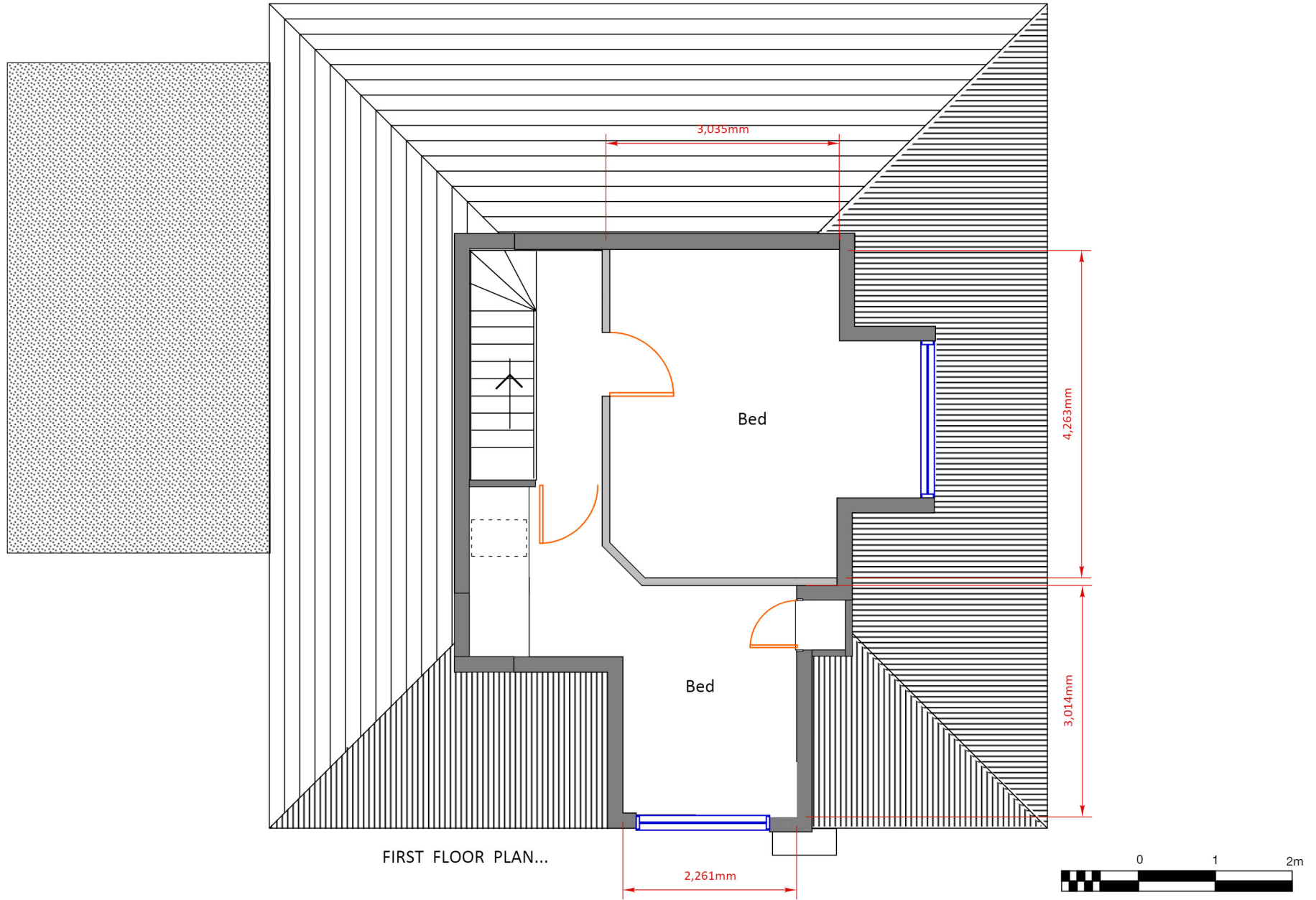


REAR ELEVATION...

Scale:- 1 : 100



Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow	 KEITH EDWARDS ARCHITECT 2 CALEDON STREET, GLASGOW G12 9DX tel : 0141 341 0694	
Project	Loft extension	Dwg	A1437.21.05		
Title	Elevations ... exist	Date	06.12.21		Scale

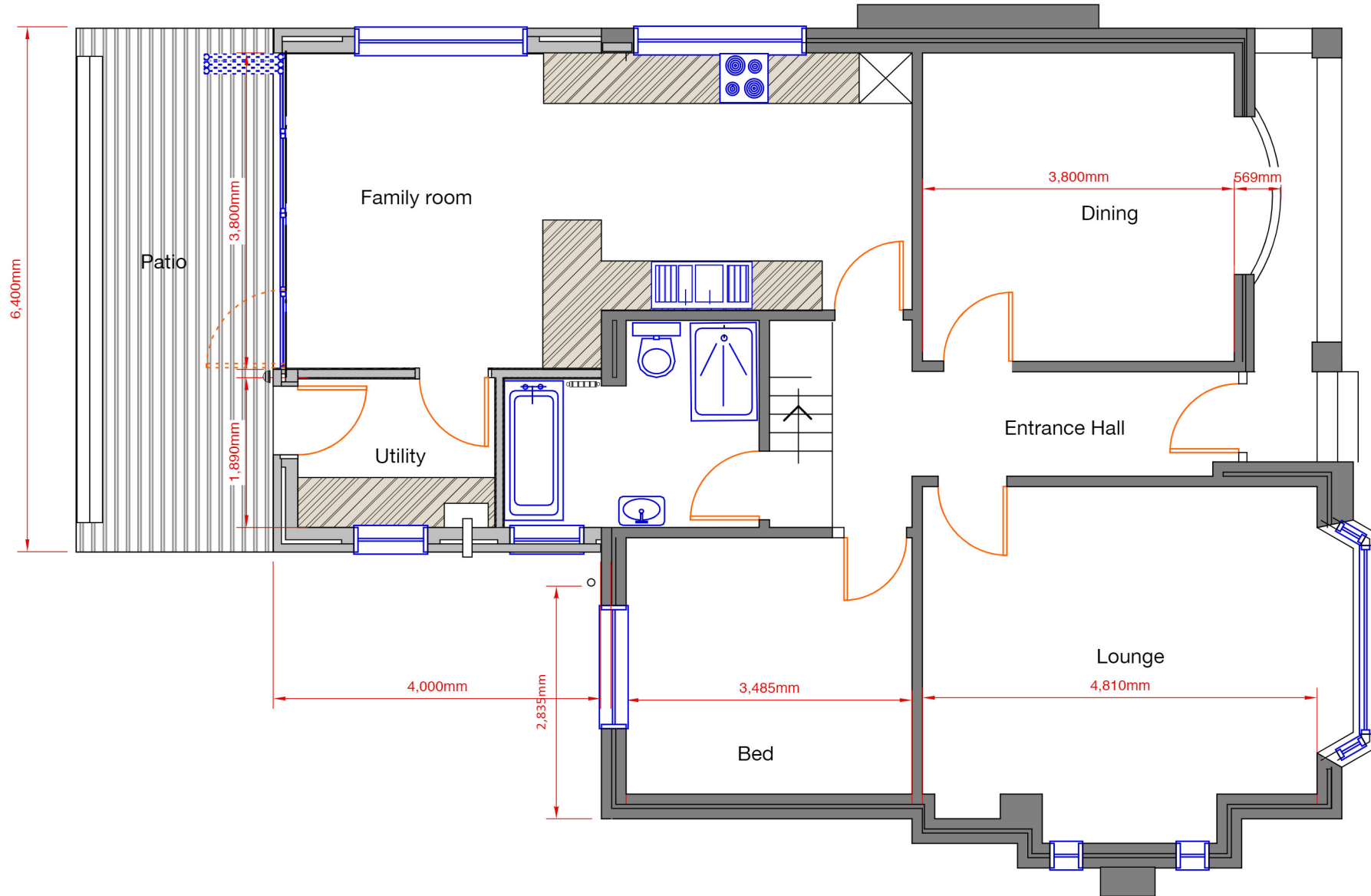


Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Dwg	A1437.21.03
Title	First Floor Plan ... exist	Date	06.12.21
		Scale	1:50

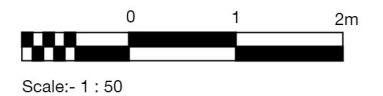
KEITH EDWARDS ARCHITECT


2 CALEDON STREET, GLASGOW
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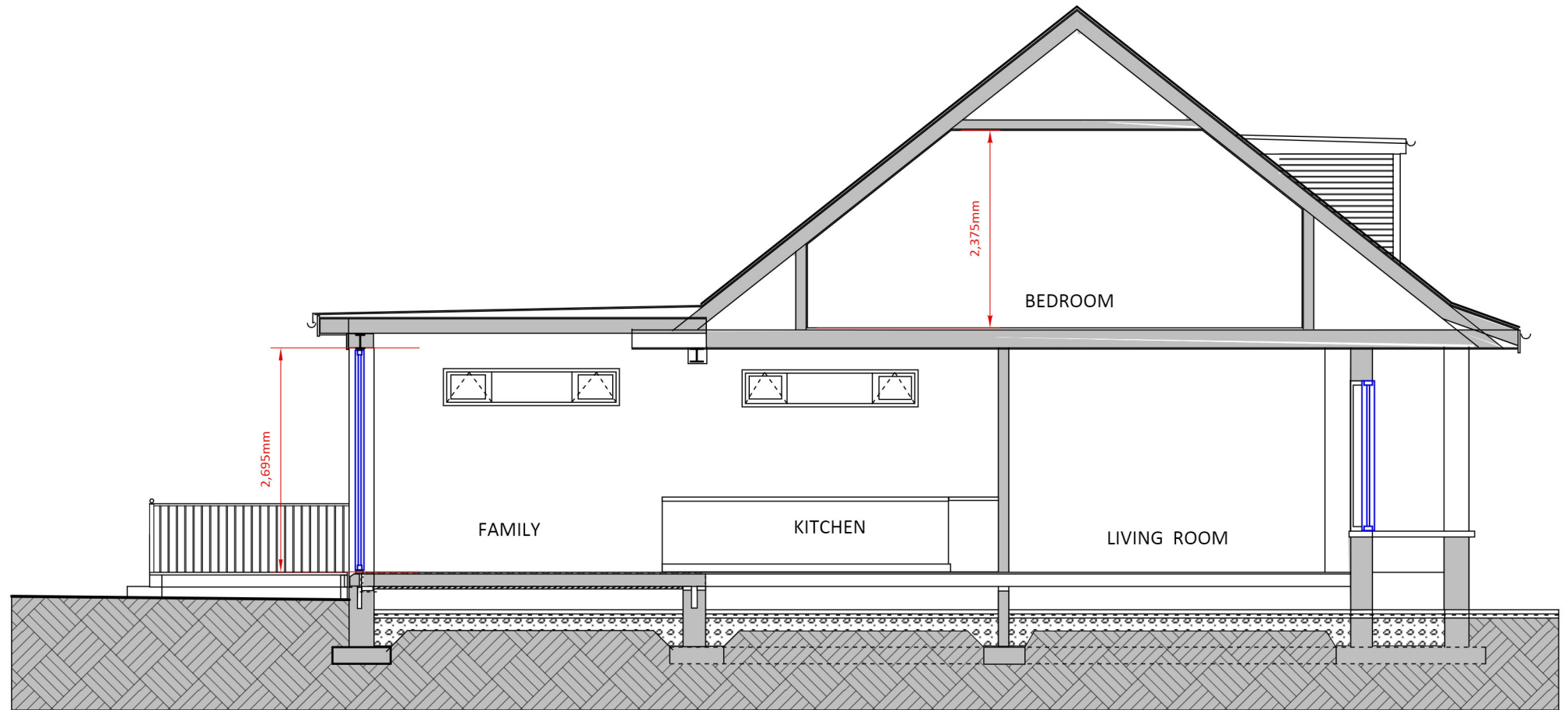


GROUND FLOOR PLAN...



Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow	 KEITH EDWARDS ARCHITECT 2 CALEDON STREET, GLASGOW G12 9DX tel : 0141 341 0694	
Project	Loft extension	Dwg	A1437.21.02		
Title	Ground Floor Plan ... exist	Date	06.12.21		Scale


66



SECTION ...



Scale:- 1 : 50

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow	 KEITH EDWARDS ARCHITECT 2 CALEDON STREET, GLASGOW G12 9DX tel : 0141 341 0694
Project	Loft extension	Dwg	A1437.21.04	
Title	Section ... exist	Date	06.12.21	
		Scale	1:50	

**CONSTRUCTION NOTES...
FOUNDATIONS...**

not required.

SUBSTRUCTURE:

Not required

SOLUM...

Not required

DPC:

Not required.

FIRST FLOOR:...

22mm waterproof grade T&G chipboard glued and screwed through 20mm gyproc plank to 175x50mm timber joists set at 400mm ctrs nailed to existing timber wallplates. Install throughout exposed area sound insulation quilt if none is in evidence. The existing ground floor ceilings are to be retained in full. For sound insulation install min 100mm thick mineral wool insulation min. 10kg/m³ within existing ceiling.

SUPERSTRUCTURE.:

New dormer wall to have grey slate nailed through Tyvek Reflex stapled to 9mm OSB board nailed to 147x45mm Structural timber stud frame built up from floor level having 145mm Celotex GA4000 insulation between vertical studs all faced with 25mm Celotex GA4000 internally then faced with 12.5mm wallboard. Fit new double glazed pvc framed windows with trickle vents as noted on plans. Code 5 lead flashings to be installed at all junctions of new wall and roof with existing pitched roof to form valley gutters feeding into 100mm dia pvc gutter and 75mm downpipes as existing. Ceiling lined with 12.5mm plasterboard with density of 10kg/m² with staggered joints screw fixed. Timber lintols over windows to be constructed with 3x147x45mm C24 timbers spiked together at 300mm staggered centres supported on cripple studs either side. Engineer design for opening more than 3.60m. Extract vents for WC/shower room taken through rear wall. All structural timbers to be in accordance with BS 5268 Part 2:1991 and BS 5268 Part 3:1985 For sound insulation install min 60mm thick mineral wool insulation min. 10kg/m³ within internal stud walls of new shower room. Hip end timber being trimmed to be held in place with steel beam spanning from outer structural frame of new dormer which is supported on external brick wall below onto then span over to new inner leaf structural wall timbers located above the existing brick wall at ground floor between hall and bathroom.

ROOF:..

Single layer PVC (Sarna) roofing bonded over 150mm Celotex GA4000 between timbers all over Tyvek supra bonded to 10mm OSB board nailed on joiner built roof as per section details. 170x47mm C16 rafters nailed to wallhead using galvanised truss clips to form new roof structure. Install 50mm wide furring pieces over rafters to give roof fall to gutters. Sarna dressed under existing slates by min 150mm vertical height. Where new roof butts onto existing new joists to be nailed to existing with new joists resting on existing wallhead for strength of junction. See structural Engineers details and specifications for construction of dormer walls and roof

PARTITIONS:

Partitions constructed with 70x45mm framing at 600mm ctrs with double top and bottom stud frame if loadbearing, single if non-load bearing. All frames infilled with 50mm mineral wool batts or quilt with minimum thickness of 50mm and density of 10kg/m³. (wire reinforced if required) 12.5mm plasterboard with density of 10kg/m² screw fixed at max. 200mm ctrs both sides with taped/ filled joints between board on wall and ceiling and at all junctions. 95x12mm pencil round skirting boards all round with door blocks giving break to door facings. Allow for hinges and door handles to client agreement on all new installations.

ELEMENTAL U VALUES..

As designed elemental U value calculations as noted above in specification.

Roof 0.14
Wall 0.15
Windows 1.4

STRUCTURAL ENGINEERS DESIGN AND SPECIFICATIONS
FOR STEEL AND STRUCTURAL TIMBER REQUIREMENTS
TO BE READ IN CONJUNCTION WITH ARCHITECTS PLANS..

ELECTRICAL:

All electrical work to be installed, designed, tested and constructed in accordance with BS 7671:2008 (4.5) fitted with RCB's. Any recessed lights fitted with fire hoods to maintain fire resistance of 30 minutes. Shower, wc extract 15l/sec Switch outlets positioned min. 350mm from internal corners, projecting walls or similar obstructions and not more than 1.2m above floor level. Light switches positioned between 900 and 1100mm above floor level. Sockets should be min. 150mm above worktops. and 400mm above floor level. New lights to be fire rated recessed light unit with LED lighting.

SMOKE DETECTORS/FIRE ALARM UNITS:

Electrically operated smoke detectors/fire alarms wired to independent circuit electrically protected consumer unit, complete with battery backup. All detectors to be interconnected to ensure all operate when activated. Smoke detectors located maximum 3m from bedrooms and 7m from lounge, 300mm from light fittings. Supply and fit Grade D fire detection and fire alarm system in accordance with BS5839: Part 6: 2004 comprising at least 1 powered smoke alarm and at least 1 mains powered heat alarm in kitchen

PLUMBING & DRAINAGE:

100mm dia. deep flow PVC gutters with brackets at 600mm ctrs screwed back to fascia & 68mm dia. PVC downpipes with holderbats at 1800mm ctrs, 100mm dia. Internal drainage pipe sizes to be as follows:-
WC.....100mmUPVC, WHB.....32mm dia. ABS
BATH.....40mm dia. ABS SINK.....50mm dia. ABS
SHOWER.....40mm dia. ABS...fit removable grate for cleaning, 75mm deep seal trap. All drainage pipework exceeding 6.0m to be vented with internal access for rodding purposes to be located 1.0m above floor level
Hot and cold water extended from existing in house to outlet taps as necessary in extension Hot water storage should not be less than 60 degrees and distributed at a temperature of not less than 55 degrees C. Final discharge pipe from megaflo system to be at ground floor taken to rear wall
Discharge from sanitary fittings to prevent scalding should not exceed 48 degree C. If thermostatic mixing valves are used then the above temperatures apply to BS EN 1111:1999 or BS EN1287: 1999 and fitted as close as possible to outlet. S&VP to rise min 900mm above any window within 3.0metres. All hot and cold water heating pipes and hot water pipes to be insulated to comply with BS:5422 : 2001. Thermostatic mixing valve limited to max 48degree C and comply with BS5422: 2009

SANITARYWARE:

Walls clad with ceramic wall tiles fixed with moisture resistant BAL grouting on 12.5mm moisture resistant plasterboard on timber framing. Anti-scald valve fitted to BS:1415 to shower/ bath. Trap accessible for cleaning Walls round wc to be fitted with 12mm plywood for future grab rails fittings under the finished plasterboard. (Ground floor only)

MECHANICAL VENTILATION:

Mechanical extract fan capacities ducted to external air wired to independant switch :- Kitchen...60l/sec, Utility room...60l/sec, bath, shower & wc...15l/sec Vertical ducts to be fitted with condensation trap. All ducted to extract vents as noted on elevations. Trickle vent to all rooms to be 1100sq.mm fitted in window head frames Infiltration of air into buildings is to be prevented as far as reasonably practicable by:
A...sealing dry lining junctions between walls and ceilings and floors and at window, door and roof openings.
B...Sealing vapour control membranes intimer framed and other framed panel construction.
C...Sealing at services pipe penetrations through the fabric of the building and around pipe and other service boxing.
D...Fitting of draught exclusion strips in the frames of opening sections of windows, external doors and rooflights..

CENTRAL HEATING:

Fit new thermostatically controlled radiators extended from existing system in all rooms as noted or as directed on site.Towel radiators located in shower room Commissioning certificate for installation to be submitted on completion.

WINDOWS /DOORS: ...

Double glazed high performance upvc windows with adjustable trickle vents in head frame All safety/ toughened glazing to be designed to BS6262: Part 4 : 2005 Trickle vents to apartments to be 11,000sqmm, all other rooms 10,000sqmm. or 1100sqmm per apartment. Trickle vents should be min 1.75m above finished floor level. Timber cills/ apron internally to be 19mm thick. Windows to have opening sections as per elevations with internal locking mechanism. Restrictor stays to be fitted to all new windows opening over access routes. All new doors and windows to have U-value of 1.4 max First floor compartment windows to have tilt and turn windows fitted for ease of cleaning and emergency escape. Window opening minimum 450x450mm. Cill height lower than 1100mm from floor level.

ENERGY...

Minimum of 75% of fixed light fittings are to be low energy type in compliance with Technical Standard 6.5.1 External lighting to be low energy fittings with PIR activation. Heating and hot water system inspected and commissioned in accordance with manufacturers recommendations and Technical Standard 6.5.1

SECURED BY DESIGN (SBD)...

Doors ... Front entrance doorsets shall be certificated to one of the following standards:
•PAS 24:2007 (Note 21.1.1) or WCL 1 (Note 21.1.2)
Windows ... The SBD standards for ground floor, basement and easily accessible windows (Note 28.1.1) are as follows: •BS 7950: 1997 or WCL 4 (Note 28.1.2)
All windows must incorporate key lockable hardware unless designated as emergency egress routes, 1 b

STRUCTURAL NOTES...

All structural timber to be grade C16 to BS 5268 *unless otherwise specified by Structural Engineer. All lintols in timber frame: 3/220x45Dp timbers supported on double cripple studs at each end. All timber to timber fixings at bridle, beams etc. made using fully nailed joist hangers speedy type. Foundations built off original subsoil soil bearing pressure 200kN.m². Engineer informed of soft spots Concrete grade C30 to BS 8500 parts 1&2 with min cement content 250kg/m³. Top of foundation 450mm min below finished ground level 7N dense blockwork min density 1800kg/m³ and mortar designation (111) all to BS5628

WATER EFFICIENCY...

Water efficient fittings should be provided to all WCs and WHBs within a dwelling. Dual flush WC cisterns should have an average flush volume of not more than 4.5 litres. Single flush WC cisterns should have a flush volume of not more than 4.5 litres. Taps serving wash or hand rinse basins should have a flow rate of not more than 6 l/min. When specifying water efficient fittings consideration should be given to the operational flow rates that some heating or hot water appliances, such as combination boilers, need to activate their water heating function. When installing low volume flush WCs, the pipe diameter, discharge and gradient interrelationship of the drainage system is critical in order that the new and any existing sections of the drain operate as intended. Plumbing and associated water installations should be carried out and commissioned by persons who possess sufficient technical knowledge, relevant practical skills and experience for the nature of the work undertaken. An approved Certifier of Construction, who has been assessed to have the professional skills and relevant experience, can certify compliance of plumbing, heating or drainage installations

LEADWORK:

All leadwork code 5 to BS EN 12588 ragged into walls with min. 150mm upstand fixed in place with proprietary fixing clips to BS 6915 at max. 450mm ctrs. Lead sealant applied to ragglies. Lead forming valley gutters to be dressed vertically 150mm above slate and under timber wall linings and under slate to sides by 150mm over 45x25mm battens

GLAZING:

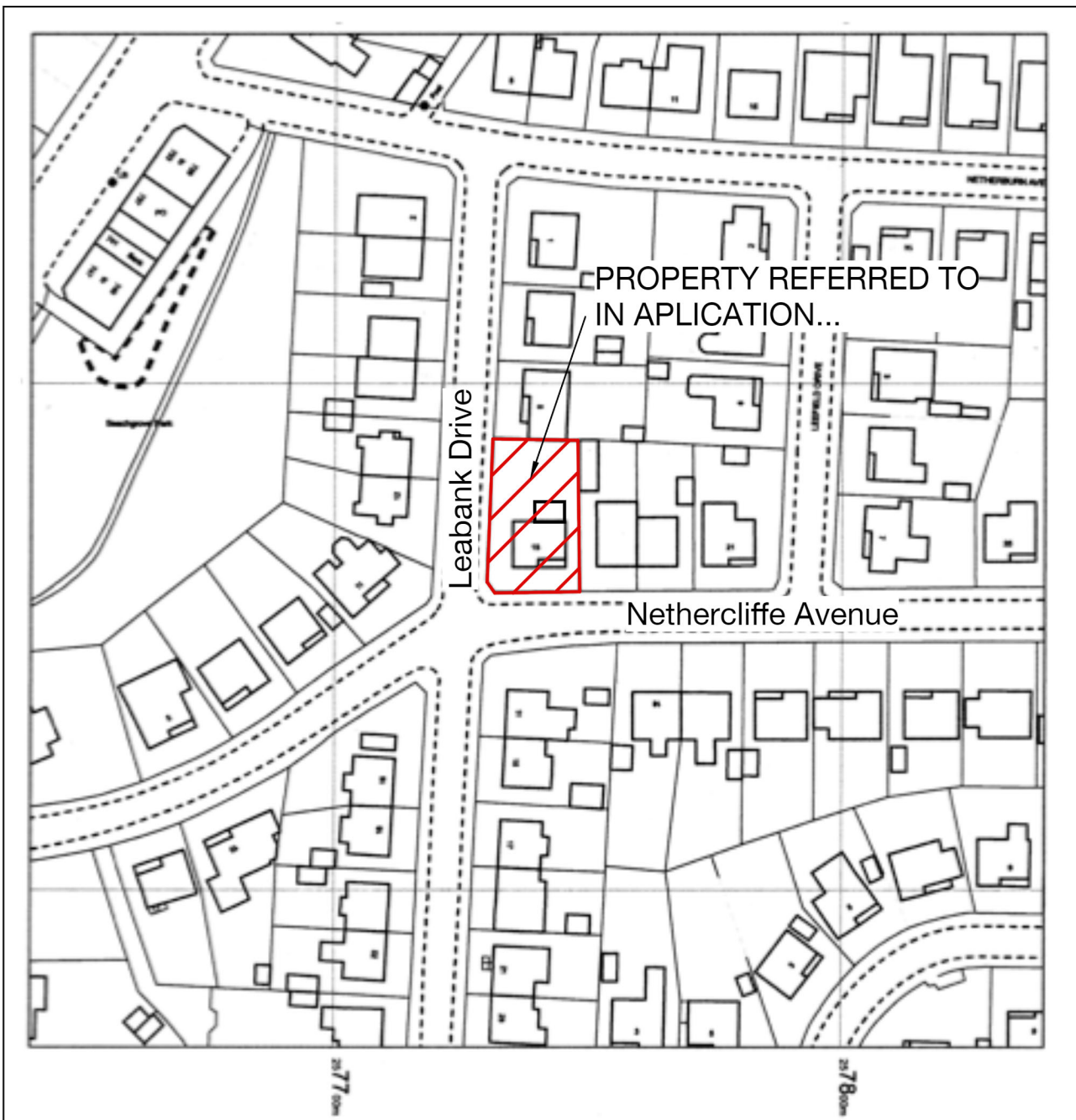
All glazing below 800mm to be toughened safety glass to BS6262: Part 4 2005 All glazing below 1500mm in doors and side lights to be toughened safety glass to BS 6262:2005 Protective barrier fitted in front of all glazing below 800mm above floor level capable of resisting loads specified in BS 6399:Part 1:1996

GENERAL...

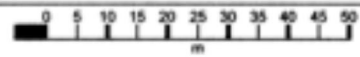
- All electrical work to be to the latest IEE rules and regulations with electrical work undertaken by contractor who can sign electrical completion certificate.
- The building owner is responsible for notifying the Local Authority when the works are due to start on site. Any change however minor should be discussed with the Local Authority prior to carrying out any works as any unspecified works may require an amendment to building warrant.
- All service position on drawings are indicative only. The building owner should contact all services to locate exact positions of all services required.
- All apartments to have translucent glazed openings with area of at least 1/15th of the floor area of the apartment located in an external wall or in a wall between the apartment and a conservatory.
- Construction and work carried out to ensure there are no substantial thermal bridges or gaps of insulation occur within building elements.

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Dwg	A1437.21.10
Title	Specifications	Date	06.12.21
		Scale	n/a

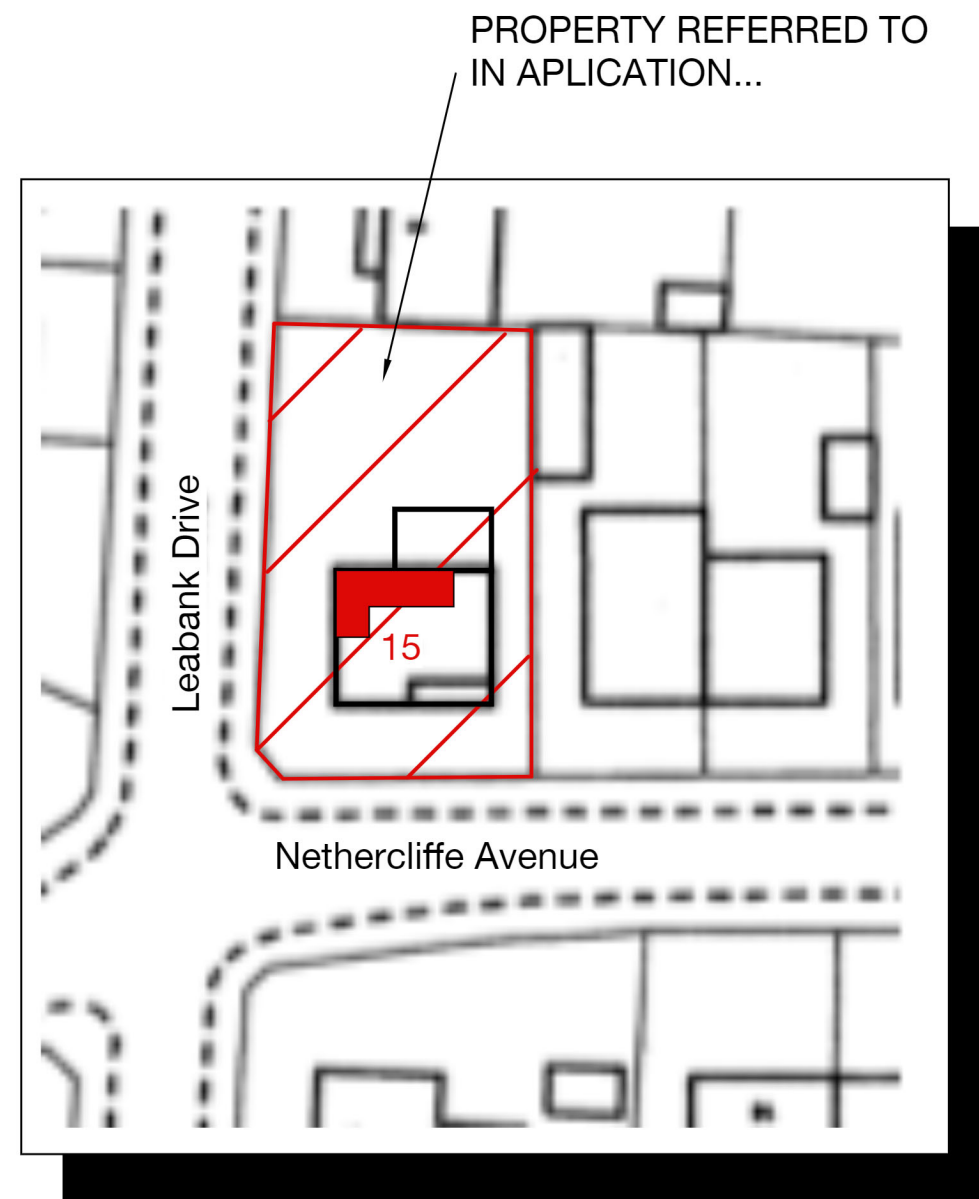
KEA
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2 CALEDON STREET, GLASGOW
G12 9DX tel: 0141 341 0694



LOCATION PLAN 1 : 1250



OS MasterMap 1250/2500/10000 scale
 30 September 2016, ID: MNOW-00564716
 mapsnow.co.uk
 1:1250 scale print at A4, Centre: 257740 E, 658569 N
 ©Crown Copyright and database rights 2016 OS
 100019980



BLOCK PLAN 1 : 500
 Site area ... 528sq.m.

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Dwg	A1437.21.01
Title	Location/Block plans	Date	06.12.21
		Scale	1:1250, 1:500



KEITH EDWARDS ARCHITECT
 2 CALEDON STREET, GLASGOW
 G12 9DX tel : 0141 341 0694

Existing internal wall forming stair at FF level to be infilled with acoustic insulation then faced with 12.5mm plasterboard on the shower room side of stud wall.

New flat roof gutters all round connecting to new 75mm rwp which should flush onto existing roof and then to existing drainage system.

New 147x45mm structural timber frame infilled with Celotex GA 4000 insulation board 145mm thick then faced internally with 25mm thick celotex having 12.5mm wallboard internal finish.

New drainage from shower room to be fed to existing s&vp stack outside ground floor within pitched roof area at rear then new connection made to pipe.
Hot and cold water pipes to rise from the existing bathroom below.

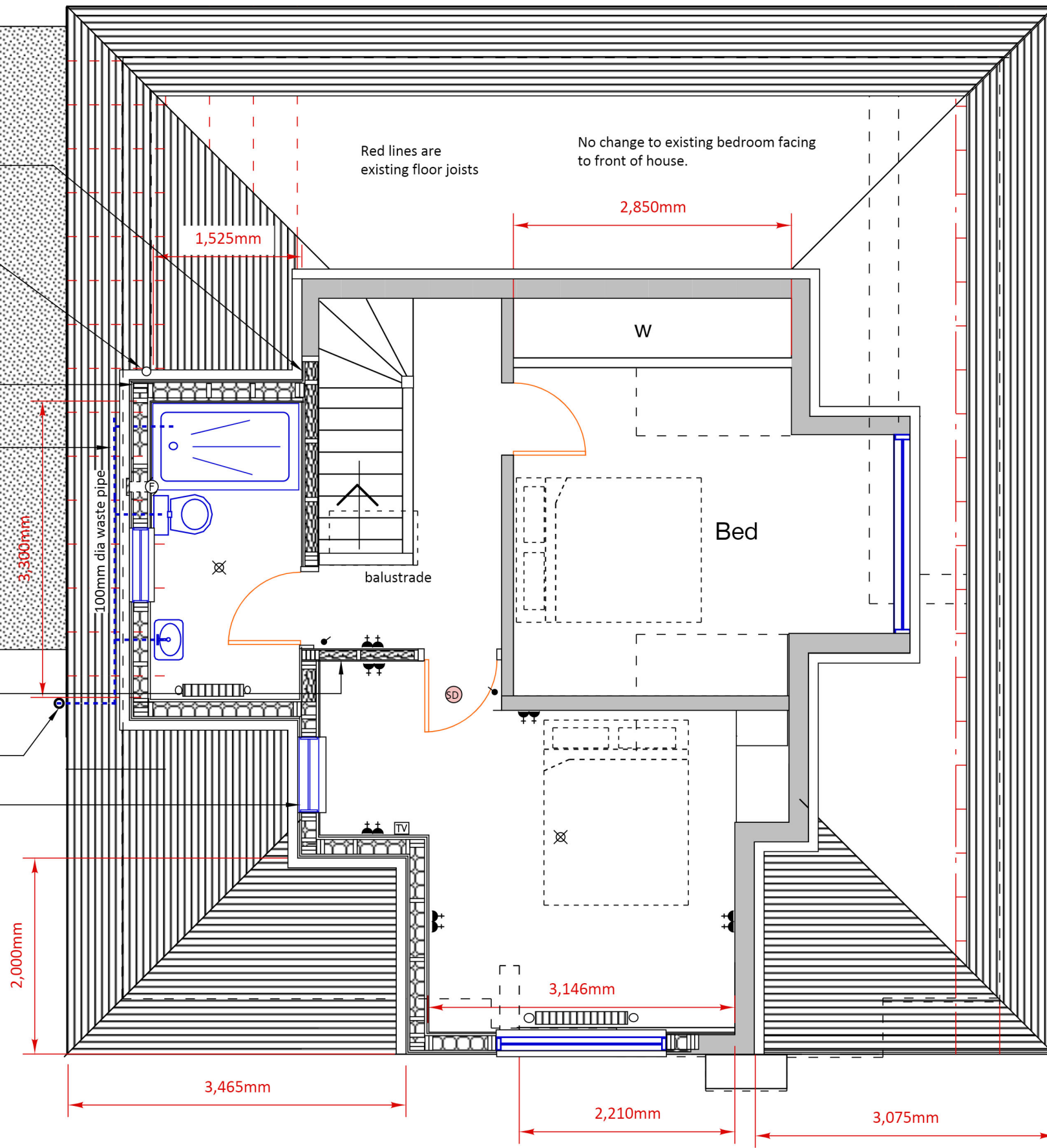
Existing rooflight to stairwell retained in current position with new roof structure formed round opening where possible.

Form new internal stud walls using 97x45mm studs infilled with sound quilt insulation as per specifications.

100mm dia s&vp existing with new connection at first floor

Install double glazed pvc framed windows to match existing in style with one window having tilt and turn mechanism for escape with an opening of 450x450mm min.

Hipped end rafter to be cut at ceiling level then supported by steel lintels to side and rear new walls.
Structural design by Engineer for all roof alterations required to form extended loft rooms.



Red lines are existing floor joists
No change to existing bedroom facing to front of house.

ELECTRICAL LEGEND:

- Double switch socket
- Light Fixture ceiling.
- Light switch
- Extract Fan
- Light Switch
- Tv Outlet
- Telephone Outlet
- Smoke Detector ... hard wired
- Radiator.
- Shaver socket outlet

Internally remove existing plasterboard faced timber stud wall and cut handrail where access required into new shower room. Form new timber handrail to side of new door over existing stairwell to keep the open aspect of the stairwell..

Re-use the existing internal bedroom door in new location as noted. Install new door to shower room

New floor through extension to have 22mm thick t&g chipboard flooring made laid over 20mm gyproc board for sound insulation. Retain existing deadening. Install sound insulation wherever possible in new works floor.

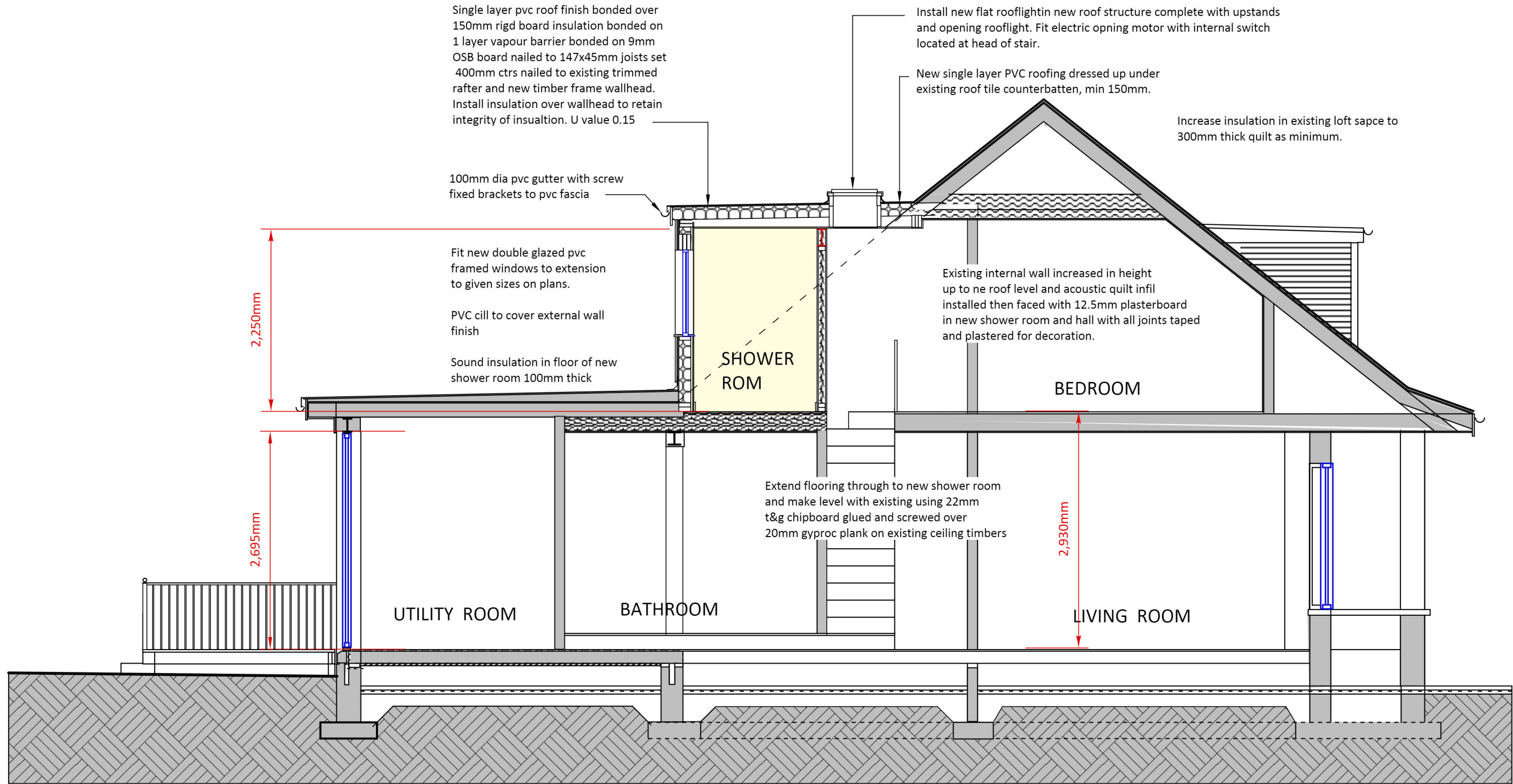
Retain existing dormer with new dormer set back to be over existing wallhead for structural support to new build

FIRST FLOOR PLAN...

Extend existing side dormer by 800mm to achieve larger room and alter window position to be central to wall.

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension, extend bedroom + shower room	Dwg	A1437.21.06
Title	First Floor Plan ... proposed	Date	07.12.21
		Scale	1:50

KEA KEITH EDWARDS ARCHITECT
2 CALEDON STREET, GLASGOW
G12 9DX tel : 0141 341 0694



Single layer pvc roof finish bonded over 150mm rigid board insulation bonded on 1 layer vapour barrier bonded on 9mm OSB board nailed to 147x45mm joists set 400mm ctrs nailed to existing trimmed rafter and new timber frame wallhead. Install insulation over wallhead to retain integrity of insulation. U value 0.15

Install new flat rooflight in new roof structure complete with upstands and opening rooflight. Fit electric opening motor with internal switch located at head of stair.

New single layer PVC roofing dressed up under existing roof tile counterbatten, min 150mm.

Increase insulation in existing loft space to 300mm thick quilt as minimum.

100mm dia pvc gutter with screw fixed brackets to pvc fascia

Fit new double glazed pvc framed windows to extension to given sizes on plans.

PVC cill to cover external wall finish

Sound insulation in floor of new shower room 100mm thick

Existing internal wall increased in height up to ne roof level and acoustic quilt infill installed then faced with 12.5mm plasterboard in new shower room and hall with all joints taped and plastered for decoration.

Extend flooring through to new shower room and make level with existing using 22mm t&g chipboard glued and screwed over 20mm gyproc plank on existing ceiling timbers

SECTION ...



Scale:- 1 : 50

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Dwg	A1437.21.07
Title	Section	Date	07.12.21
		Scale	1:50

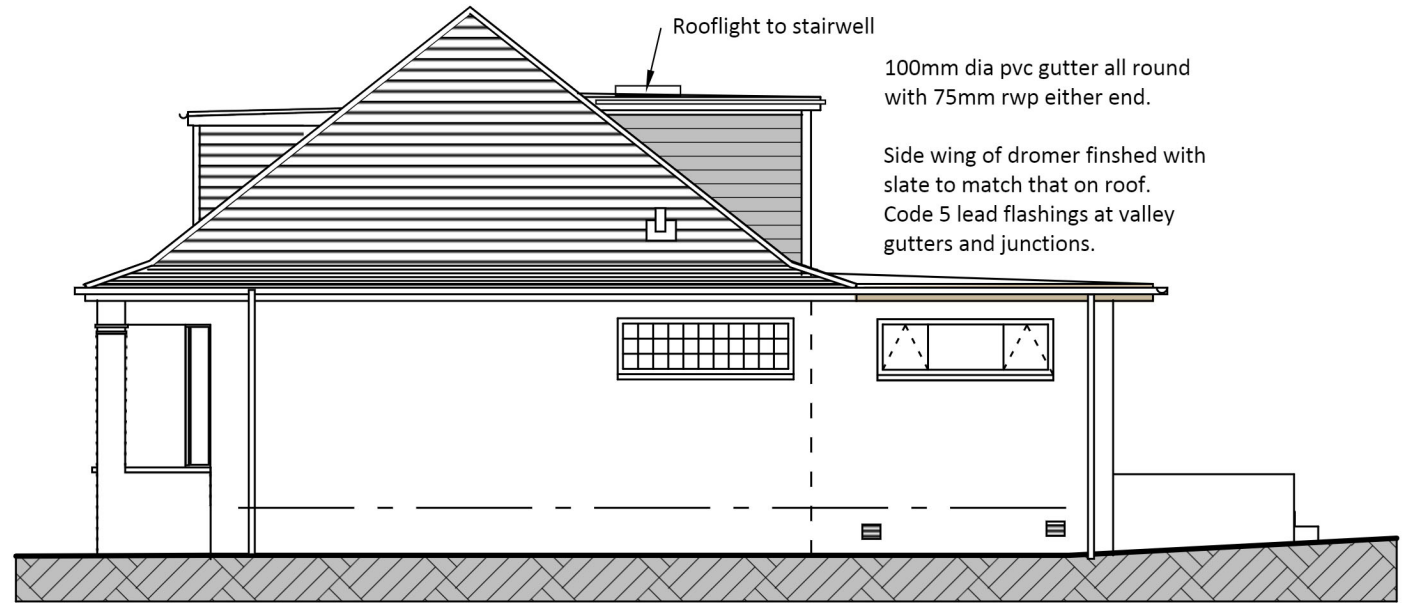
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G12 9DX tel : 0141 341 0694

Flat roof over existing side dormer to be increased in height to match that of new roof having more insulation installed under finishes.



FRONT ELEVATION...

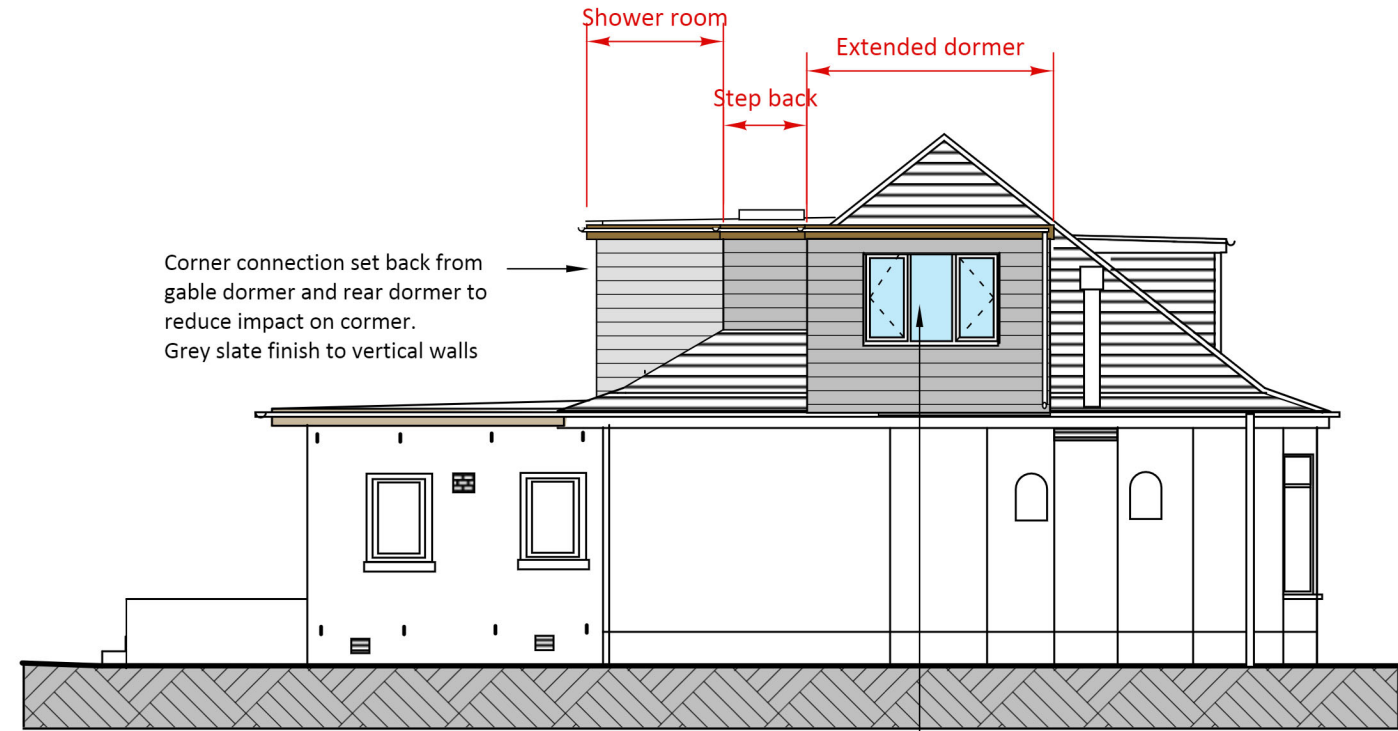


SIDE ELEVATION...

100mm dia pvc gutter all round with 75mm rwp either end.

Side wing of dromer finished with slate to match that on roof. Code 5 lead flashings at valley gutters and junctions.

Extract vent through rear wall for shower room with 15l/sec rating. insect screen fitted.

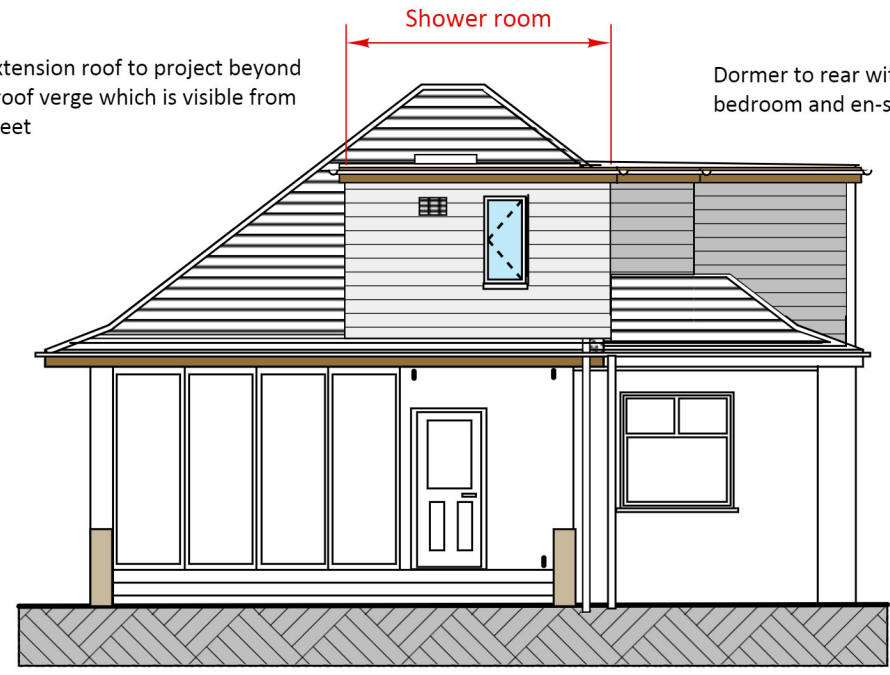


Corner connection set back from gable dormer and rear dormer to reduce impact on corner. Grey slate finish to vertical walls

SIDE ELEVATION...

Existing window to be centred on new extended wall of dormer.

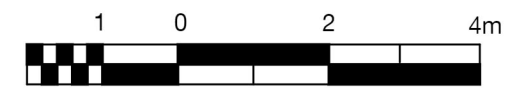
No part of extension roof to project beyond the pitched roof verge which is visible from the front street



REAR ELEVATION...

Dormer to rear with windows to bedroom and en-suite

Corner connection set back from gable dormer and rear dormer to reduce impact on corner. Grey slate finish to vertical walls



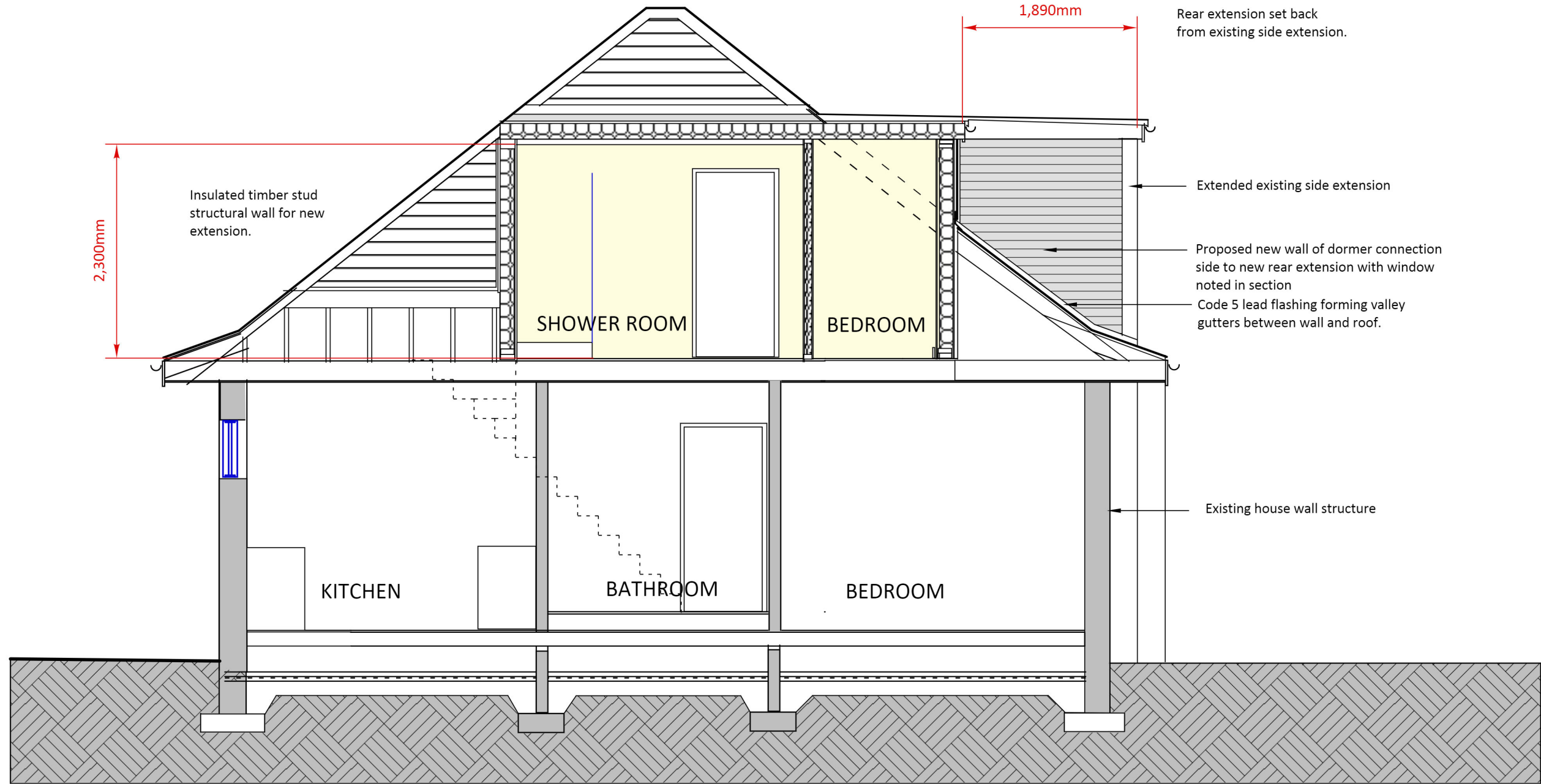
Scale:- 1 : 100

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Dwg	A1437.21.08
Title	Elevations ... proposed	Date	06.12.21
		Scale	1:50

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STRUCTURAL ENGINEERS DESIGN AND SPECIFICATIONS FOR STEEL AND STRUCTURAL TIMBER REQUIREMENTS TO BE READ IN CONJUNCTION WITH ARCHITECTS PLANS..



STEPPED SECTION .. East to west.



Scale:- 1 : 50

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Dwg	A1437.21.10
Title	Section ... east to west	Date	06.12.21
		Scale	1:50

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