

EAST RENFREWSHIRE COUNCILLOCAL REVIEW BODY9 November 2022Report by Director of Business Operations and PartnershipsREVIEW OF CASE - REVIEW/2022/09**CHANGE OF USE FROM CLASS 2 TO HOT FOOD TAKEAWAY (SUI GENERIS),  
INCLUDING ERECTION OF FLUE TO REAR.****PURPOSE OF REPORT**

1. The purpose of the report is to present the information currently available to allow a review of the decision taken by officers, in terms of the Scheme of Delegation made in terms of Section 43A of the Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 in respect of the application detailed below.

**DETAILS OF APPLICATION**

2. Application type: Full Planning Permission (Ref No:- 2021/0973/TP).
- Applicant: Robinbrook Ltd
- Proposal: Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear.
- Location: Lloyds TSB, 85 Main Street, Thornliebank, East Renfrewshire, G46 7RY.
- Council Area/Ward: Giffnock and Thornliebank (Ward 3).

**REASON FOR REQUESTING REVIEW**

3. The applicant has requested a review on the grounds that the Council's Appointed Officer refused the application.

**RECOMMENDATIONS**

4. The Local Review Body is asked to:-
- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
    - (i) it proceeds to determine whether the decision taken in respect of the application under review should be upheld, reversed or varied; and
    - (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed; or
  - (b) that in the event that further procedure is required to allow it to determine the review, consider:-

- (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
- (ii) what procedure or combination of procedures are to be followed in determining the review.

## **BACKGROUND**

5. At the meeting of the Council on 29 April 2009, consideration was given to a report by the Director of Environment seeking the adoption of a new Scheme of Delegation in terms of the new Section 43A of the Town and Country Planning (Scotland) Act 1997, subject to approval of the scheme by Scottish Ministers.

6. The report provided details of the new hierarchy of developments that took effect from 6 April 2009 explaining that the Scheme of Delegation related to those applications within the “local development” category as set out in the Town and Country Planning (Hierarchy of Development) (Scotland) Regulations 2009, but would in future be determined by an “appointed officer”. In the Council’s case this would be either the Director of Environment or the Head of Roads, Planning and Transportation Service now designated the Head of Environment (Operations).

7. The report highlighted that historically appeals against planning decisions were dealt with by Scottish Ministers. However, following the introduction of the new planning provisions which came into effect on 3 August 2009 all appeals against decisions made in respect of local developments under delegated powers would be heard by a Local Review Body. The Local Review Body would also deal with cases where the appointed officer had failed to determine an application within two months from the date it was lodged.

## **NOTICE OF REVIEW – STATEMENT OF REASONS FOR REQUIRING THE REVIEW**

8. The applicant in submitting the review has stated the reasons for requiring the review of the determination of the application. A copy of the applicant’s Notice of Review and Statement of Reasons including appeal statement is attached as Appendix 6.

9. The applicant is entitled to state a preference for the procedure (or combination of procedures) to be followed by the Local Review Body in the determination of the review and has detailed in their opinion that this review can continue to conclusion based on the assessment of the review documents only, with no further procedure.

10. The Local Review Body is not bound to accede to the applicant’s request as to how it will determine the review and will itself decide what procedure will be used in this regard.

11. At the meeting of the Local Review Body on 10 August 2016, it was decided that the Local Review Body would carry out unaccompanied site inspections for every review case it received prior to the cases being given initial consideration at a meeting of the Local Review Body.

12. In accordance with the above decision, the Local Review Body will carry out an unaccompanied site inspection on Wednesday, 9 November 2022 before the meeting of the Local Review Body which begins at 2.30pm.

**INFORMATION AVAILABLE TO ALLOW REVIEW OF APPLICATION**

**13.** Section 43B of the Planning etc (Scotland) Act 2006 restricts the ability of parties to introduce new material at the review stage. The Local Review Body is advised that the focus of the review should, therefore, be on the material which was before the officer who dealt with the application under the Scheme of Delegation.

**14.** However, the applicant has submitted new information which was not available to the Appointed Officer at the time the determination of the application was made. The new information consists of proof of enquiries received to the marketing agency all relating to hot food takeaway use included in Appendix 8.

**15.** Members are advised that Section 43B of The Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 states that:-

“43B Matters which may be raised in a review under section 43A(8)

- (1) In a review under section 43A(8), a party to the proceedings is not to raise any matter which was not before the appointed person at the time the determination reviewed was made unless that party can demonstrate—
  - (a) that the matter could not have been raised before that time, or
  - (b) that its not being raised before that time was a consequence of exceptional circumstances.
- (2) Nothing in subsection (1) affects any requirement or entitlement to have regard to—
  - (a) the provisions of the development plan, or
  - (b) any other material consideration.”

**16.** The applicant has advised of the reasoning behind this submission, please find this response attached in Appendix 8.

**17.** The Local Review Body must decide whether the new information should be considered as part of the review. In the event that it does, it is recommended, in the interests of equality of opportunity to all parties that the Appointed Officer be given the opportunity to comment on the new information.

**18.** The information detailed below is appended to this report to assist the Local Review Body in carrying out the review of the decision taken by the Appointed Officer:-

- (a) Application for planning permission – Appendix 1 (Pages );
- (b) Report of Handling by the planning officer under the Scheme of Delegation - Appendix 4 (Pages );
- (c) Decision notice and reasons for refusal - Appendix 5 (Pages ); and
- (d) A copy of the applicant's Notice of Review and Statement of Reasons including appeal statement - Appendix 6 (Pages ).

**19.** The applicant has also submitted the drawings listed below and these are attached as Appendix 7 (Pages ).

- (a) Location Plan 21-1540-006A;
- (b) Existing Layouts and Elevations 21-1540-003-PL;

- (c) Proposed Floor Plans, Elevation and Site Plan 21-1540-004A-PL;
- (d) Refused – Location Plan 21-1540-006A;
- (e) Refused – Existing Layouts and Elevations 21-1540-003-PL; and
- (f) Refused – Proposed Floor Plans, Elevation and Site Plan 21-1540-004A-PL.

20. The Local Review Body is advised that initial consultation responses and representations received if any, relating to the application will be listed in the planning officer's Report of Handling and are also included as Appendix 2 and Appendix 3.

21. All the documents referred to in this report can be viewed online on the Council's website at [www.eastrenfrewshire.gov.uk](http://www.eastrenfrewshire.gov.uk).

## RECOMMENDATIONS

22. The Local Review Body is asked to:-

- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
  - (i) it proceeds to determine whether the decisions taken in respect of the application under review should be upheld, reversed or varied; and
  - (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed; or
- (b) In the event that further procedure is required to allow it to determine the review, consider:-
  - (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
  - (ii) what procedure or combination of procedures are to be followed in determining the review.

Report Author: Sharon McIntyre

Director – Louise Pringle, Director of Business Operations and Partnerships

Sharon McIntyre, Committee Services Officer  
e-mail: [sharon.mcintyre@eastrenfrewshire.gov.uk](mailto:sharon.mcintyre@eastrenfrewshire.gov.uk)  
Tel: 0141 577 3011

Date:- November 2022



## APPLICATION FORM

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: [planning@eastrenfrewshire.gov.uk](mailto:planning@eastrenfrewshire.gov.uk)

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100513876-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

## Type of Application

What is this application for? Please select one of the following: \*

- Application for planning permission (including changes of use and surface mineral working).
- Application for planning permission in principle.
- Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- Application for Approval of Matters specified in conditions.

## Description of Proposal

Please describe the proposal including any change of use: \* (Max 500 characters)

Proposed Change of Use from Class 1 to Class 3 Hot Food (Sui Generis), including erection of flue to rear, reinstatement of existing unit into two separate units and new fascia for smaller unit.

Is this a temporary permission? \*

Yes  No

If a change of use is to be included in the proposal has it already taken place?

Yes  No

(Answer 'No' if there is no change of use.) \*

Has the work already been started and/or completed? \*

No  Yes – Started  Yes - Completed

## Applicant or Agent Details

Are you an applicant or an agent? \* (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant  Agent

## Agent Details

Please enter Agent details

Company/Organisation:	HARDIES PROPERTY & CONSTRUCTION CONSULTANTS		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	AYESHA	Building Name:	
Last Name: *	MUNIR	Building Number:	31
Telephone Number: *	0141 3312807	Address 1 (Street): *	Byres Road
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Glasgow
Fax Number:		Country: *	UNITED KINGDOM
		Postcode: *	G11 5RD
Email Address: *	ayesha.munir@hardies.co.uk		

Is the applicant an individual or an organisation/corporate entity? \*

Individual  Organisation/Corporate entity

## Applicant Details

Please enter Applicant details

Title:		You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	Robinbrook Ltd
First Name: *		Building Number:	
Last Name: *		Address 1 (Street): *	Larkhill Abridge Road
Company/Organisation	Robinbrook Ltd	Address 2:	Theydon Bois Epping
Telephone Number: *		Town/City: *	Essex
Extension Number:		Country: *	UK
Mobile Number:		Postcode: *	CM16 7NN
Fax Number:			
Email Address: *	[REDACTED]		

## Site Address Details

Planning Authority:

East Renfrewshire Council

Full postal address of the site (including postcode where available):

Address 1:

83-85 MAIN STREET

Address 2:

THORNLIBANK

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

GLASGOW

Post Code:

G46 7RY

Please identify/describe the location of the site or sites

Northing

659584

Easting

254932

## Pre-Application Discussion

Have you discussed your proposal with the planning authority? \*

Yes  No

## Site Area

Please state the site area:

64.00

Please state the measurement type used:

Hectares (ha)  Square Metres (sq.m)

## Existing Use

Please describe the current or most recent use: \* (Max 500 characters)

Bank - Office

## Access and Parking

Are you proposing a new altered vehicle access to or from a public road? \*

Yes  No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

<p>Are you proposing any change to public paths, public rights of way or affecting any public right of access? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.</p>	
<p>How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?</p>	<input type="text" value="0"/>
<p>How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *</p>	<input type="text" value="0"/>
<p>Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).</p>	
<h3>Water Supply and Drainage Arrangements</h3>	
<p>Will your proposal require new or altered water supply or drainage arrangements? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>Do your proposals make provision for sustainable drainage of surface water?? * (e.g. SUDS arrangements) * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Note:-</p> <p>Please include details of SUDS arrangements on your plans</p> <p>Selecting 'No' to the above question means that you could be in breach of Environmental legislation.</p>	
<p>Are you proposing to connect to the public water supply network? *</p> <p><input type="checkbox"/> Yes</p> <p><input type="checkbox"/> No, using a private water supply</p> <p><input checked="" type="checkbox"/> No connection required</p> <p>If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).</p>	
<h3>Assessment of Flood Risk</h3>	
<p>Is the site within an area of known risk of flooding? * <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Don't Know</p> <p>If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.</p> <p>Do you think your proposal may increase the flood risk elsewhere? * <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Don't Know</p>	
<h3>Trees</h3>	
<p>Are there any trees on or adjacent to the application site? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.</p>	
<h3>Waste Storage and Collection</h3>	
<p>Do the plans incorporate areas to store and aid the collection of waste (including recycling)? * <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>	

If Yes or No, please provide further details: \* (Max 500 characters)

Please refer to drawing 21-1540-004-PL.

## Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? \*

Yes  No

## All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? \*

Yes  No

## All Types of Non Housing Development – Proposed New Floorspace Details

For planning permission in principle applications, if you are unaware of the exact proposed floorspace dimensions please provide an estimate where necessary and provide a fuller explanation in the 'Don't Know' text box below.

Please state the use type and proposed floorspace (or number of rooms if you are proposing a hotel or residential institution): \*

Class 3 Restaurant/cafe

Gross (proposed) floorspace (In square meters, sq.m) or number of new (additional) Rooms (If class 7, 8 or 8a): \*

64

If Class 1, please give details of internal floorspace:

Net trading spaces:

Non-trading space:

Total:

If Class 'Not in a use class' or 'Don't know' is selected, please give more details: (Max 500 characters)

Class 3 Hot Food Takeaway - Sui Generis

## Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013) \*

Yes  No  Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

## Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? \*

Yes  No



## Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? \*

Yes  No

Is any of the land part of an agricultural holding? \*

Yes  No

## Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

## Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: AYESHA MUNIR

On behalf of: Robinbrook Ltd

Date: 08/12/2021

Please tick here to certify this Certificate. \*

## Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? \*

Yes  No  Not applicable to this application

b) If this is an application for planning permission or planning permission in principal where there is a crown interest in the land, have you provided a statement to that effect? \*

Yes  No  Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? \*

Yes  No  Not applicable to this application



Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? \*

Yes  No  Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? \*

Yes  No  Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? \*

Yes  No  Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- Site Layout Plan or Block plan.
- Elevations.
- Floor plans.
- Cross sections.
- Roof plan.
- Master Plan/Framework Plan.
- Landscape plan.
- Photographs and/or photomontages.
- Other.

If Other, please specify: \* (Max 500 characters)

Provide copies of the following documents if applicable:

- |  |  |
|--|--|
| A copy of an Environmental Statement. *  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Design Statement or Design and Access Statement. *                                   | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Flood Risk Assessment. *   | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Drainage/SUDS layout. *  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Transport Assessment or Travel Plan  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Contaminated Land Assessment. *  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Habitat Survey. *  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Processing Agreement. *  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |

Other Statements (please specify). (Max 500 characters)

## Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mrs AYESHA MUNIR

Declaration Date: 08/12/2021

## Payment Details

Pay Direct

Created: 08/12/2021 20:08

## Model GFBE

### Economy Baffle Grease Filters



#### GENERAL DESCRIPTION

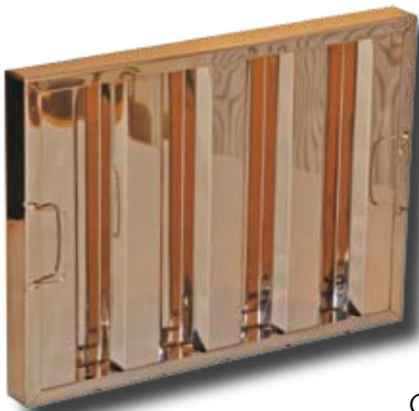
These filters are designed for use in commercial kitchens and ventilation from food preparation areas where their primary function is to prevent flame from travelling from the cooking area up into the extract duct.

#### Construction

These filters are made from rolled channel frames, with safety edges. Each blade overlaps the opposite one to provide a tortuous path for the grease laden air. The grease drains down the blades and through the drain holes provided into a collection tray provided in the kitchen canopy.

These Filters are available in the finishes below

Stainless Steel



Brushed Stainless Steel



Galvanised Steel



ENVIRONMENT



EMS 81914  
BS EN ISO 14001:2004

QUALITY



FM 29257  
BS EN ISO 9001:2000

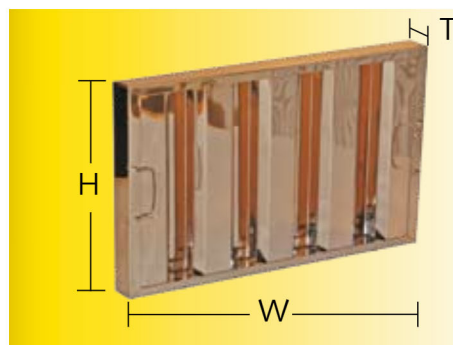
**Jasun Filtration Plc**  
 Riverside House, Parrett Way  
 Bridgwater, Somerset.  
 TA6 5LB  
 United Kingdom

Tel.: +44 (0) 1278 452277  
 Fax: +44 (0) 1278 450873  
[info@jfilters.com](mailto:info@jfilters.com)  
<http://www.jfilters.com>

# GFBE Baffle Grease Filters

# STANDARD SIZES

Jasun Filtration always specify filters as Height (H) x Width (W)x Thickness (T) This is particularly important with baffle filters because the handles will always go on the H side, the blades will always run along the H side, and the drain holes will always be in the W side

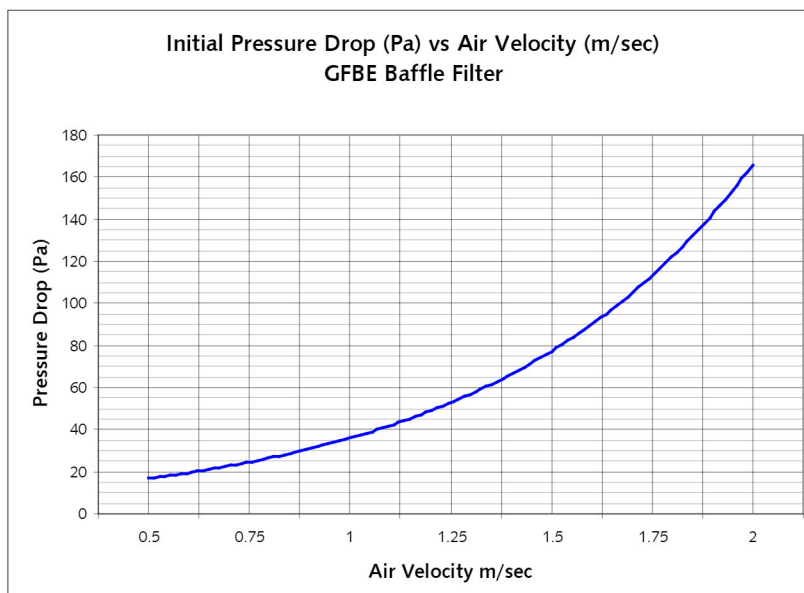


No.	Nominal Size Inches	Height (mm)	Width (mm)	Depth (mm)	Rated Airflow m <sup>3</sup> /hr.
GFBEEx-1020	10 x 20 x 2	241	495	45	644
GFBEEx-1212	12 x 12 x 2	292	292	45	460
GFBEEx-1216	12 x 16 x 2	292	394	45	621
GFBEEx-1224	12 x 24 x 2	292	594	45	937
GFBEEx-1616	16 x 16 x 2	394	394	45	838
GFBEEx-1620	16 x 20 x 2	394	495	45	1053
GFBEEx-1625	16 x 25 x 2	394	622	45	1323
GFBEEx-1818	18 x 18 x 2	445	445	45	1069
GFBEEx-2010	20 x 10 x 2	495	241	45	644
GFBEEx-2016	20 x 16 x 2	495	394	45	1053
GFBEEx-2020	20 x 20 x 2	495	495	45	1323
GFBEEx-2025	20 x 25 x 2	495	622	45	1663
GFBEEx-2424	24 x 24 x 2	597	597	45	1925

## To Specify the Grease Filters material

In the Part Numbers above replace the x with

- S for Stainless Steel
- R for Brushed Stainless Steel
- G for Galvanised Steel





## CP4 Synthetic Bag Filter

### Fire Rated BS5588 Part 9 (CP413)

#### GENERAL DESCRIPTION

The CP4 is a general use bag filter, suitable for fresh air intakes and heavy loading situations. Manufactured from a deep loft graduated density filter media this provides exceptional dirt loading and long life in even the most testing situations. This bag filters is ideal as a grease eliminator in extraction systems off commercial kitchens, bakerys restauarnts and food preparation areas.

#### Construction

This product is made by mounting a series of filter pockets on a metal slide channel header frame.

#### Features

- Rolled safety edge to prevent the material being cut and to prevent injury to the engineers who handle them
- Stiffened filter media to give stability in all air-flows, even VAV systems
- anti-microbial
- Fire retardent certified to BS5588 Part 9 (CP413)
- The media has a Graduated Density for even dirt loading, which gives greater dust holding and longer filter life.
- Has a low pressure drop



Filter Efficiency to BS EN 779		G4
Rating to ASHRAE 52.2 Test Standard		Merv 9
Pocket Depth	Rated Airflow	Initial Pressure Drop
300mm	1.7m/sec	30Pa
350mm	2.46m/sec	30Pa
600mm	3.3m/sec	50Pa
Final Recommended Pressure Drop		250Pa

#### ENVIRONMENT



EMS 81914  
BS EN ISO 14001:2004

#### QUALITY



FM 29257  
BS EN ISO 9001:2000

**Jasun Filtration Plc**  
 Riverside House, Parrett Way  
 Bridgwater, Somerset.  
 TA6 5LB  
 United Kingdom

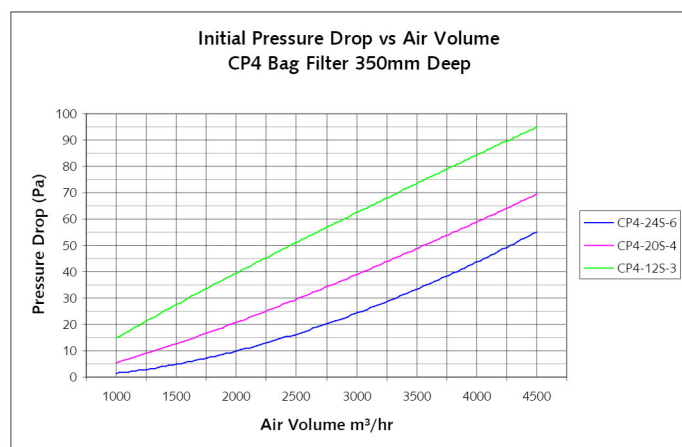
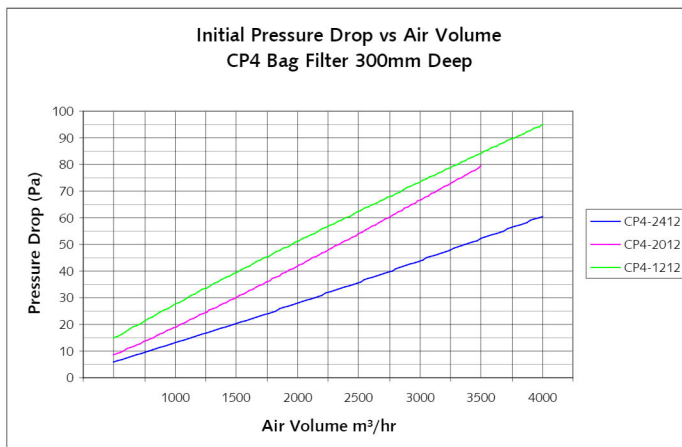
Tel.: +44 (0) 1278 452277  
 Fax: +44 (0) 1278 450873  
[info@jfilters.com](mailto:info@jfilters.com)  
<http://www.jfilters.com>

# CP4 Synthetic Bag Filter

# STANDARD SIZES

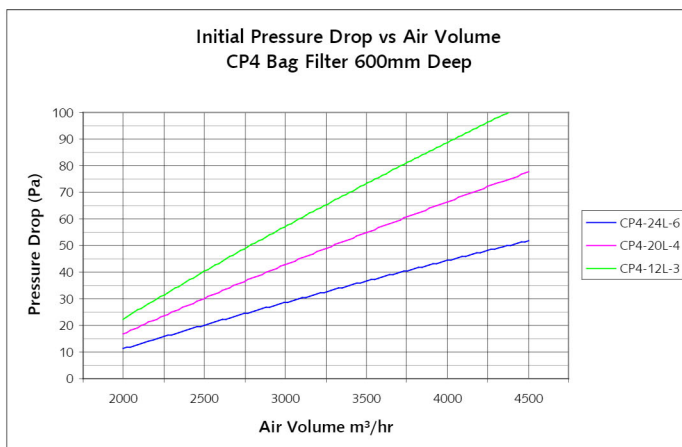
## Series 300 - Economy configuration

Part Number	Header Dimensions			Pocket Details		Capacity m <sup>3</sup> /hr
	Height (mm)	Width (mm)	Thickness (mm)	Depth (mm)	No. of Pockets	
CP4-1212	592	287	20	300	2	1000
CP4-2012	592	492	20	300	3	1800
CP4-2412	592	592	20	300	4	2100



## Series 350 - Low Initial Pressure Drop Configuration

Part Number	Header Dimensions			Pocket Details		Capacity m <sup>3</sup> /hr
	Height (mm)	Width (mm)	Thickness (mm)	Depth (mm)	No. of Pockets	
CP4-12S-3	592	287	20	350	3	1500
CP4-20S-4	592	492	20	350	4	2500
CP4-24S-6	592	592	20	350	6	3100



Other header thickness available:  
12mm, 15mm, 22mm, 25mm, 33mm, 38mm

Other Standard Pocket Depths:  
229mm, 500mm, 559mm

**ANY** other size and pocket configuration  
made to specific requirements.

## Series 600 - Long Pocket, long Life, High Capacity Configura-

Part Number	Header Dimensions			Pocket Details		Capacity m <sup>3</sup> /hr
	Height (mm)	Width (mm)	Thickness (mm)	Depth (mm)	No. of Pockets	
CP4-12L-3	592	287	20	600	3	2000
CP4-20L-4	592	492	20	600	4	3460
CP4-24L-6	592	592	20	600	6	4200



Manufacturing  
Air Filters in  
the UK for  
Over

**40**  
Years

# UltimaPleat RP Compact<sup>91</sup> HEPA Efficiency Rating



## General Description

Ultima Filters are a range of fine mini-pleat filters which range from Grades F6 to H13. This compact configuration can be retrofitted for all bag filters grade F6 to F9 and above offering longer life and LOWER ENERGY COSTS than all bag filters.

## Construction

High capacity glass fibre mini-pleat pack is bonded into an ABS moulded plastic case, engineered for maximum strength and optimum airflow characteristics.



## Features

- Totally stable media presentation to the air
- Will not collapse during downtime
- will always operate at 100% of capacity
- fully incinerable
- Extended media Area
- Long Life
- Low Pressure Drop
- High Capacity
- Available with 20mm or 25mm Header
- Long life retrofit for any standard bag filter

## Filter Media

- Is microfine glass fibre
- Totally stable
- Not reliant on electrostatic charge
- Mechanical Filtration

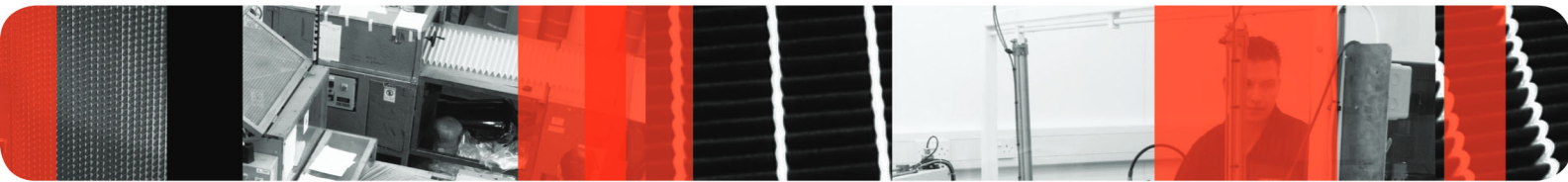


Filter Efficiency to BS EN 779		H10(E10)	H11(E11)	H13
Depth	Rated Airflow	Initial Pressure Drop - Clean Filter		
292mm	2.4m/sec	200Pa	200Pa	300Pa
Maximum Final Recommended Pressure Drop 450Pa				





# RP UltimaPleat Compact STANDARD SIZES



Header Dimensions							
Part Number	Height (mm)	Width (mm)	Depth (mm)	Efficiency to EN1822	Number of V's	Media Area m <sup>2</sup>	Capacity m <sup>3</sup> /hr
RP10-2412	592	592	292	H10(E10)	4	19	3000
RP10-2012	592	492	292	H10(E10)	4	16	2000
RP10-1212	592	287	292	H10(E10)	4	9.5	1500
RP11-2412	592	592	292	H11(E11)	4	19	3000
RP11-2012	592	492	292	H11(E11)	4	16	2000
RP11-1212	592	592	292	H11(E11)	4	9.5	1500
RP13-2412	592	592	292	H13	4	19	3000
RP13-2012	592	492	292	H13	4	16	2000
RP13-1212	592	287	292	H13	4	9.5	1500

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Manufacturing  
Air Filters in  
the UK for  
Over

**40**  
Years

# Sitesafe Discarb Units <sup>93</sup>



## General Description

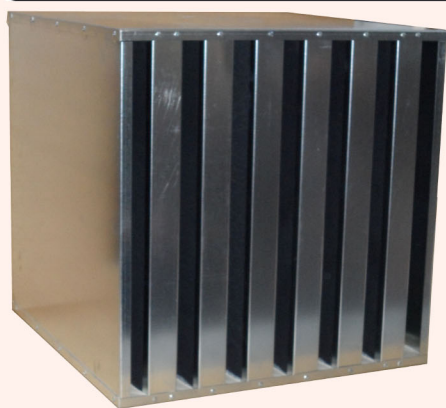
Standard Discarb multipanel carbon units have been in circulation for over 30 years and there are many tens of thousand of units in service today. These filters are very heavy and nearly always installed in situations with very poor access.

With the new appreciation of risk which we have in the 21st Century it has become apparent that these units represent a real danger to health and potentially offer risk in the work place when a filter change is required.

The new Sitesafe Discarb cells provide exactly the same filter performance with a set of filters which will retrofit exactly for an existing full size cell.

We offering a full set of Site Safe discarbs for the same price as a full sized cell so there is no reason not to change to the new style filters and improve workplace safety.

**Will require two people plus lifting gear to carry and install**



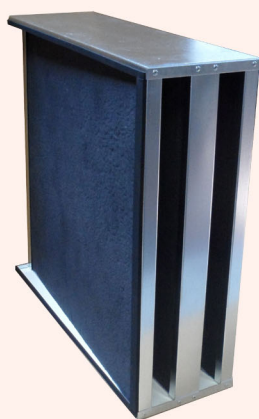
Discarb DC242424

Size 594x594x597  
Gross Weight 68.2Kg  
Carbon Weight 50kg  
Rated Airflow 3800m<sup>3</sup>/hr\*  
Pressure Drop 120Pa

**Safe for one person to carry, no special lifting gear required.**

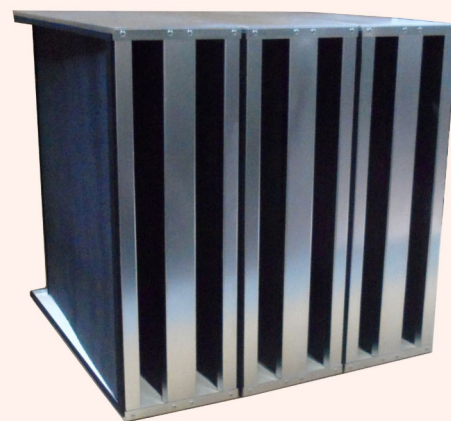
Sitesafe discarb cells are a no added cost option so its win win.

Same price as a standard full size discarb - set of 3



Sitesafe DCS240824

Size 594x196x597  
Gross Weight 17.95Kg  
Carbon Weight 16.6kg  
Rated Airflow 1266m<sup>3</sup>/hr\*  
Pressure Drop 120Pa



Sitesafe 3xDCS240824

Size 594x594x597  
Gross Weight 53.85Kg  
Carbon Weight 50kg  
Rated Airflow 3800m<sup>3</sup>/hr\*  
Pressure Drop 120Pa

\*Rated Airflow based on a dwell time of 0.1 seconds.  
Available in all sizes to retrofit discarb cells

# SiteSafe Units Standard Sizes

SiteSafe Reference	SiteSafe Cells Needed	Retrofit Discarb	Nominal Size (Inches)	Height (mm)	Width (mm)	Depth (mm)	Weight of Carbon (Kg)	Cell Weight (Kg)	Capacity m <sup>3</sup> /hr
DCS180912	2	DC181812	18 x 9 x 12	445	220	297	6.5	7.85	495
DCS240612	2	DC241212	24 x 6 x 12	594	146	297	6.5	7.85	990
DCS240812	3	DC242412	24 x 8 x 12	594	196	297	8.4	9.7	633
DCS180918	2	DC181818	18 x 9 x 18	445	220	451	9.5	10.85	722
DCS240618	2	DC241218	24 x 6 x 18	594	146	451	9	10.35	685
DCS240818	3	DC242418	24 x 8 x 18	594	196	451	12	13.35	915
DCS180924	2	DC181824	18 x 9 x 24	445	220	597	12.5	13.85	950
DCS240624	2	DC241224	24 x 6 x 24	594	146	597	12.5	13.85	950
DCS240824	3	DC242424	24 x 8 x 24	594	196	597	16.6	17.95	1266

The above capacities are based on a 0.1 second dwell time. Please refer to the table below for the recommended minimum dwell times required for different applications and scale up accordingly. It should be noted that filtration performance will be improved by increasing the dwell times applied. The appropriate suffix should be added to the part number to specify the required grade e.g. DCS240824-7C

Application	Recommended Dwell Time	Grade	Suffix
Cooking - General Restaurant	0.1 to 0.2 Seconds	General Purpose Activated Carbon	-7C
Cooking - Spicy, Indian	0.2 to 0.4 Seconds	General Purpose Activated Carbon	-7C
Reduction of Kerosene Exhaust fumes	0.1 to 0.2 Seconds	General Purpose Activated Carbon	-7C
Reduction of Ozone	0.1 to 0.2 Seconds	General Purpose Activated Carbon	-7C
Reduction of Diesel Fumes, including H <sub>2</sub> S, SO <sub>2</sub> , NOX, HCl	0.2 Seconds	5% Copper Treated Carbon	-9M
Museum and Archives	0.2 Seconds	5% Copper Treated Carbon	-9M
Mortuary / formaldehyde reduction	0.4 Seconds	Mortuary Grade	-MO
Ammonia Neutralisation	0.3 seconds	Ammonia Grade	-AM

## Other Applications

We can formulate gas phase filters for most applications, simply contact us with your enquiry.

## Filter Manufacture & Air Hygiene Solutions

### Production and Filter Sales

Riverside House, Parrett Way, Bridgwater. TA6 5LB  
T 01278 452277 E sales@jfilters.com  
F 01278 450873 www.jfilters.com

### Filter Service and Air Hygiene

5 Stratfield Park, Elettra Ave. Waterlooville. PO7 7XN  
T 02392 644700 E service@jfilters.com  
F 02392 644677 www.jasun-envirocare.com

**Proposed Ventilation Statement for 85 Main Street Thornliebank Glasgow.**

**Proposed Requirements and Features of the Ventilation System:**

General: The Following Specification is recorded as being the min requirement to design the ventilation. The system will be designed in accordance by the M+E Contractor in the detailed stage of the building warrant.

**Odour Control system**

The odour assessment for the kitchen extract system has a predicted odour risk of 35 based on the DEFRA guide, which equates to a high level of odour control required. Therefore we would propose to install an odour control system, detailed as follows.

The system would comprise of a purpose made filter housing incorporating the following filter types: -

**4no 592x592x350 CP4 Fire Rated Bag Filter**

**General Description**

The CP4, fire rated range of bag filters are used widely in government buildings, hospitals and other sensitive areas. This grade of filter would capture 90% of the grease left within the system after the canopy baffle filters.

Meets NHS HTM03 Filter Specification, Filter Class EN779:2012 G4

**4no 592x592x300 RP Compact Medium/Fine Ridgid HEPA Bag filters**

**General Description**

The F9 grade ridgid bag filter are used within this system to capture the heavy particles of smoke from the cooking process and are 80% efficient.

**4no-995x995x995 Discarb Activated Carbon Units**

**General Description**

These filters are manufactured for ease of installation and incorporation into ducted air systems. They can be used on both supply for purifying incoming air, and can be used on the extract to remove toxic gasses and odours generated within a process.

**Construction**

These modules are manufactured by mounting a series on carbon panel filters within a sealed case. The airflow is epitomize by presenting the filtering surfaces in a “V” formation.

Each carbon panel is sealed into the filter case so as to ensure no air can bypass the carbon granules.

The panels are manufactured using long established bonding techniques which hold the activated carbon granules in a rigid biscuit. The biscuit is encapsulated in a carbon impregnated cloth which prevents any leakage of granules or powder.

The carbon filters would remove 90% of any residual odours.

The final exhaust position of the extract system terminal would be at high level and would exhaust through a louver grille.

**Noise**

General: The System Shall Not exceed the Noise Curve Rating of 25 At any given time.

**Maintenance:**

The System Is to be designed to provide the least Down time and ease of maintenance. The Tennant will Follow the Maintenance Requirement Imposed by the Manufacturer of a Proprietary System. Most Likely in the form of a rolling Maintenance contract.

## CONSULTATION RESPONSES

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# Internal Memo

**Our Ref:** EH/HMcD

**Your Ref:** 2021/0973/TP

**Date:** 01/02/2022

**From:** Environmental Health

**To:** Development Management

**PROPOSAL:** Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear and formation of new shop front.

**LOCATION:** 85 Main Street Thornliebank G46 7RY

I have reviewed the plans for the above development and would comment as follows:

1. There shall be no construction work or offloading of delivered materials at the development site outwith the hours of 0800 to 1900 Monday to Friday and 0800 to 1300 on Saturday with no working on Sunday or local or national public holidays unless minor and temporary amendments have been otherwise agreed in advance in writing by the planning authority.
2. Noise from the proposed development and any associated equipment shall not exceed residential Noise Rating Curve 25 (as described in BS 8233 2014) between the hours of 2300 and 0700 and NR Curve 35 between 0700 and 2300 hrs, as measured from any neighbouring residential property. (applies to food air handling units)
3. Between the hours of 0800 and 2000 the measured noise level emitted from the premises ( $L_{Aeq}$  (1hour)) shall not exceed the pre-existing background noise level ( $L_{A90}$  (1/2hour)) by more than 4dB (A) when measured in accordance with BS4142:2014 at buildings where people are likely to be affected. Between the hours of 2000 and 0800 the noise emitted from the premises ( $L_{Aeq}$  (5mins) ) shall not exceed the pre-existing background noise level ( $L_{A90}$  (1/2hour)) by more than 4dB(A) when measured in accordance with BS4142:2014 at buildings where people are likely to be affected.
4. The premises require to comply with –



- a) The Food Safety Act 1990 and any subordinate legislation made thereunder
  - b) The Food Hygiene (Scotland) Regulations 2006.
  - c) The Health and Safety at Work Etc Act 1974 and any subordinate legislation made thereunder.
  - d) The business operations and any activities in relation to alterations require to comply with The Health and Safety at Work Etc Act 1974 and any subordinate legislation made thereunder.
5. The food business requires to register with the Environmental Health Section 28 days prior to commencing business. A Food Safety Registration form may be accessed online or requested directly from the Section, by contacting 0141 577 8487 or emailing [environmentalhealth@eastrenfrewshire.gov.uk](mailto:environmentalhealth@eastrenfrewshire.gov.uk) .
  6. It is strongly advised that a grease trap of suitable capacity is installed for the collection of grease before it accesses the waste drainage system. For further information, please contact 0800 0778 778 to speak to Scottish Water Trade Effluent Quality Team. <https://www.scottishwater.co.uk/en/Business-and-Developers/Byelaws-and-Trade-Effluent/Trade-Effluent>
  7. It is recommended that the wash hand basin in the kitchen is fitted with non-hand operable taps. Details also required with the location of the wash hand basins within the food preparation area .
  8. It is recommended that applicants consider the food preparation activities they are proposing and ensure that facilities within their business can accommodate their proposals.
  9. A suitable ventilation system, which meets the approval of the Environmental Health Section requires to be installed.
  10. A suitable ventilation and extraction system, which meets the approval of the Environmental Health Section requires to be installed. The ventilation system should not cause nuisance to the occupiers of nearby properties arising from cooking odours/noise. Consideration should be made to the installation of an extraction flue that extends at least **1 metre** above the eaves of the building.
  11. The light emanating from the proposed fascia/sign must not cause disturbance to the occupiers of neighbouring dwellinghouses, therefore consideration must be given to the hours of operation and to the intensity and direction of said light. Guidance regarding lighting nuisance is available at [www.scotland.gov.uk/Publications/2009/01/23142152/39](http://www.scotland.gov.uk/Publications/2009/01/23142152/39)
  12. Suitable arrangements should be made for the safe storage and disposal of **waste** arising from the business activities.
  13. I would also recommend that the operating times of the business should be restricted to reduce the likelihood of noise nuisance to nearby residents.

I trust that this information is of use. If you wish to discuss any of the matters raised in this memo, please do not hesitate to contact me.



Helen McDonald  
**SENIOR ENVIRONMENTAL HEALTH OFFICER**

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## Roads Service OBSERVATIONS ON PLANNING APPLICATION

**Our Ref:** 2021/0973/TP  
**D.C Ref** Margaret McGleish  
**Contact:** Allan Telfer

**Planning Application No:** 2021/0973/TP      **Dated:** 27/01/2022      **Received:** 27/01/22  
**Applicant:** Robinbrook Ltd  
**Proposed Development:** Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear.  
**Location:** 85 Main Street, Thornliebank  
**Type of Consent:** Full Planning Permission

### RECOMMENDATION

No Objections

Proposals Acceptable Y/N or N/A

Proposals Acceptable Y/N or N/A

Proposals Acceptable Y/N or N/A

#### 1. General

(a) General principle of development	Y
(b) Safety Audit Required	N
(c) Traffic Impact Analysis Required	N

#### 2. Existing Roads

(a) Type of Connection (junction / footway crossing)	N/A
(b) Location(s) of Connection(s)	N/A
(c) Pedestrian Provision	N/A
(d) Sightlines	N/A

#### 3. New Roads

(a) Widths	N/A
(b) Pedestrian Provision	N/A
(c) Layout (horizontal/vertical alignment)	N/A
(d) Turning Facilities (Circles / hammerhead)	N/A
(e) Junction Details (locations / radii / sightlines)	N/A
(f) Provision for P.U. services	N/A

#### 4. Servicing & Car Parking

(a) Drainage	N/A
(b) Car Parking Provision	N/A
(c) Layout of parking bays / Garages	N/A
(d) Servicing Arrangements	N/A

#### 5. Signing

(a) Location	N/A
(b) Illumination	N/A

Ref.	COMMENTS
	<p><u>General</u> The proposed development is located within an established Neighbourhood Centre and is fronted by the B769 Main Street.</p> <p>Loading and parking restrictions apply on adjacent roads.</p> <p><u>Parking / Servicing</u> As the proposed development lies within an established neighbourhood centre location, the parking, access and servicing arrangements can be assumed to be part of the town centre supply.</p> <p>Service vehicles for this development, like all traffic, will be subject to national and local traffic restrictions and regulations.</p> <p>As such, the Roads Service has no objection to this application.</p> <p>While the Roads Service has no objections to this application, it should be noted that any bins associated with the proposed development must not be permanently located on the adjacent public footways.</p> <p><u>Miscellaneous</u></p> <p>Before construction takes place, the Applicants' contractor will be required to contact the Roads Service to discuss among other things, how disruption to public roads can be minimised, what temporary traffic management will be required and what remedial measures may be required on public roads adjacent to the application site.</p> <p>A Section 58 Road Occupation Permit will be required in order to deposit building materials on a road.</p> <p>A skip shall not be deposited on a road without the written permission of this Service.</p> <p>When any works are taking place within the site, the adjacent public road network must be kept free from deleterious materials at all times.</p>

**Notes for Intimation to Applicant:**

(i) Construction Consent (S21)*	Not Required
(ii) Road Bond (S17)*	Not Required
(iii) Road Opening Permit (S56)*	Not Required

\* Relevant Section of the Roads (Scotland) Act 1984

Comments Authorised By: John Marley  
Principal Traffic Officer

16/03/22

**COPIES OF OBJECTIONS/REPRESENTATIONS**

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## Comments for Planning Application 2021/0973/TP

### Application Summary

Application Number: 2021/0973/TP

Address: Lloyds TSB 85 Main Street Thornliebank East Renfrewshire G46 7RY

Proposal: Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear.

Case Officer: Ms Margaret McGleish

### Customer Details

Name: Mr Albert Peti

Address: Fish And Chips, 89A Main Street, Thornliebank, East Renfrewshire G46 7RY

### Comment Details

Commenter Type: Rec'd NeighbourNotification from Council

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: On this street there are already a significant number of food premises. Allowing an additional food premise on this street will just add to an already over saturated market. Negatively impacted and affecting the business of existing food shops in the area.

In a period of instability and rapidly fluctuating prices hampering and straining existing businesses, the addition of another food premise to the street will produce yet another blow the issues faced by many of the businesses on the street.

I would also like to add that as per requirements as a neighbouring business, i was to be informed within 21 days in writing of the proposed changes, allowing an opportunity to dispute this planning, as of now i'm yet still to receive any letter of these intentions which i find unacceptable. To find out through third parties of a planning permission of a neighbouring property is not good.

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**REPORT OF HANDLING**

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# REPORT OF HANDLING

Reference: 2021/0973/TP

Date Registered: 17th January 2022

Application Type: Full Planning Permission

This application is a Local Development

Ward: 3 -Giffnock And Thornliebank

Co-ordinates: 254932/:659584

Applicant/Agent:

Applicant:  
Robinbrook Ltd  
Robinbrook Ltd  
Larkhill Abridge Road  
Theydon Bois Epping  
Essex  
UK  
CM16 7NN

Agent:

AYESHA MUNIR  
31 Byres Road  
Glasgow  
UNITED KINGDOM  
G11 5RD

Proposal: Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear.

Location: Lloyds TSB  
85 Main Street  
Thornliebank  
East Renfrewshire  
G46 7RY

## CONSULTATIONS/COMMENTS:

East Renfrewshire Council Roads Service No objections

East Renfrewshire Council Environmental Health Service No objections

## PUBLICITY:

04.02.2022 Evening Times Expiry date 18.02.2022

**SITE NOTICES:** None.

## SITE HISTORY:

2002/0295/TP Installation of satellite dish 30.04.2002

1999/0050/TP Alterations to cashpoint machine Granted 19.02.1999

2003/0011/AD Erection of internally illuminated signboard Approved Subject to Conditions 06.05.2003

around ATM

2006/0024/AD	Erection of internally illuminated projecting sign and replacement of fascia	Approved Subject to Conditions	26.01.2007
2008/0023/AD	Display of internally illuminated fascia and projecting sign and ATM collar.	Approved Subject to Conditions	15.09.2008
2012/0577/ADV	Display of internally illuminated fascia and projecting signs	Approved Subject to Conditions	12.11.2012

**REPRESENTATIONS:** 1 representation has been received and can be summarised as follows:

- Over saturated market
- Not neighbour notified

**DEVELOPMENT PLAN & GOVERNMENT GUIDANCE:** See Appendix 1

**SUPPORTING REPORTS:**

Other Details of the proposed ventilation system were submitted.

**ASSESSMENT:**

The application site (No. 85 Main Street) is situated on the north-west side of Main Street and comprises a double commercial unit with office space above within a row of 10 units on the north side of Eastwood Crescent. The unit is currently vacant and was last in use as a bank (Class 2). There is a service yard to the rear of the first 7 units (77-89 Main Street) with residential flats opposite the application site on the south side of Main Street. The properties in the row of units from south to north are: Sandwich shop (Class 1), Sandwich shop (Class 1), hot food takeaway (sui generis), application site (Class 2), convenience shop (Class 1), hot food takeaway (sui generis), hot food takeaway (sui generis), betting shop (Class 2), hot food takeaway (sui generis) and a butcher (Class 1).

Planning permission is sought for the sub-division of the former bank into two separate commercial units (Nos 83 & 85 Main Street). The second unit, no.83, is subject to a separate planning application reference no. 2021/0972/TP. Both applications propose a change of use to a hot food takeaway. The proposal for this unit is a change of use to a hot food takeaway with an office, staff room and staff toilets above at first floor level, including the erection of a flue to the rear. Internally the ground floor proposals include a takeaway counter and kitchen area. It should be noted that no prospective tenant has been identified for the proposed development and internal layouts, shop signage and opening hours would need to be confirmed.

The application requires to be assessed against Policies D1 and SG10 of the Adopted East Renfrewshire Local Development Plan 2. Policy D1 requires that the development should not result in a significant loss of character or amenity to the surrounding area and Policy SG10 states that the network of town and neighbourhood centres are the preferred location for significant footfall generating uses, including retail, leisure, entertainment, office, residential and community and cultural facilities. It also states that proposals for hot food takeaways within the town and neighbourhood centres will be required to avoid the concentration, including cumulatively, with other existing hot food takeaways in the area and will not result in a detrimental impact on the overall character and amenity of the area.

With regards to Policy SG10, although there is a strong presumption against hot food takeaways out-with the neighbourhood centres and the preference is for significant footfall generating uses, such as hot food takeaways, to be located within the neighbourhood centres, regard must be had for the role of town and neighbourhood centres as active, attractive and accessible places, support for their vitality and viability and to offer choice for the benefit of local communities.

This 10 unit row currently already has 4 hot food takeaways, an additional 2 sandwich takeaway shops and although technically Class 1 also a betting shop, a convenience shop and a butchers. The provision of even one further hot food takeaway in this row would therefore create an over-concentration of such uses in a relatively short section of street, taking the concentration of hot food takeaways to 50%. The addition of a second hot food takeaway at no.83 would further exacerbate this over-concentration. Taking into account the larger neighbourhood the cumulative effect would equate to around 25% being hot food takeaways with over 53% being non-retail. This would be to the detriment of the character and amenity of the area and would be contrary to both Policy D1 and Policy SG10.

Although not a policy requirement under SG10, as the application site is a current Class 2 use, marketing information was provided to the planning service after a request from the case officer, which indicated that there have been no interested parties for the vacant unit. However, it is not clear which use classes the property had been marketed for, other than Class 3 as indicated from the agent. Despite the unit being vacant for some time, Policy SG10 requires that it must be demonstrated that the proposal will not significantly impact on the role and function of the centre, adjacent uses or the character and amenity of the surrounding area and demonstrate that it will help to meet proven qualitative and quantitative deficiencies. As mentioned above this proposal would create an over concentration of hot food takeaways therefore the area cannot be seen as deficient in such a use and consequently is contrary to Policy SG10.

One representation was received objecting to the proposed development on the grounds that there is already a saturated market which has been addressed above. This same representation also stated that no 89A Main Street had not been neighbour notified as part of the statutory process. The planning service did include this address on the neighbour notification list to be distributed by Royal Mail, unfortunately the delivery of such letters is outwith the control of the planning service.

The Roads service have not raised any objections however, if the proposal was considered to have been acceptable, it would have been conditional that the provision of bins associated with the development are not permanently located on the public footways.

The Environmental Health service raised no objections however, if the proposal was considered to have been acceptable, the ventilation and extraction system, disposal of waste and any potential signage with lighting would have been required to meet the approval of the environmental health service. Any such lighting would also be subject to a separate advertisement consent and opening hours could be secured by condition if necessary to reduce the likelihood of noise nuisance to nearby residents.

Taking the above into account it is considered that the proposal is contrary to Policies D1 and SG10 of the Adopted East Renfrewshire Local Development Plan 2. There are no material considerations that indicate the application should not be refused. It is therefore recommended that the application is refused.

**RECOMMENDATION:** Refuse

**PLANNING OBLIGATIONS:** None.

**REASON(S):**

1. The proposal is contrary to Policy D1 and Policy SG10 of the adopted East Renfrewshire Local Development Plan 2 as the proposed use would give rise to an over-provision and concentration of similar uses that would further erode the mix and diversity of retail and non-retail uses within the neighbourhood centre and would result in a detrimental impact on the overall character and amenity of the centre.

**ADDITIONAL NOTES:** None.

**ADDED VALUE:** None.

**BACKGROUND PAPERS:**

Further information on background papers can be obtained from Ms Margaret McGleish on 0141 577 3861.

Ref. No.: 2021/0973/TP  
(MAMC)

DATE: 7th June 2022

**DIRECTOR OF ENVIRONMENT**

**Reference: 2021/0973/TP - Appendix 1**

**DEVELOPMENT PLAN:**

**Strategic Development Plan**

This proposal raises no strategic issues in terms of the Glasgow and the Clyde Valley Strategic Development Plan and therefore the East Renfrewshire Local Plan is the relevant policy document

**Adopted East Renfrewshire Local Development Plan 2**

Policy D1

Placemaking and Design

Proposals for development within the urban and rural areas should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. Proposals will be assessed against the 6 qualities of a successful place as outlined in SPP, Designing Streets and the Placemaking and Design Supplementary Guidance.

1. The development should not result in a significant loss of character or amenity to

- the surrounding area;
2. The proposal should be appropriate to its location, be high quality and of a size, scale, height, massing and density and layout that is in keeping with the buildings in the locality or appropriate to the existing building and should respect local architecture, building form and design;
  3. Respect existing building lines and heights of the locality;
  4. Create a well-defined structure of streets, public spaces and buildings;
  5. Ensure the use of high quality sustainable and durable materials, colours and finishes that complement existing development and buildings in the locality;
  6. Respond to and complement site topography and not impact adversely upon the green belt and landscape character and setting, green networks, features of historic interest, landmarks, vistas, skylines and key gateways. Existing buildings and natural features of suitable quality, should be retained and sensitively integrated into proposals including greenspace, trees and hedgerows;
  7. Boundary treatment and landscaping should create a distinctive edge and gateway to the development and reflect local character;
  8. Promote permeable and legible places through a clear sustainable movement hierarchy favouring walking, then cycling, public transport, then the private car as forms of movement;
  9. Demonstrate connectivity through the site and to surrounding spaces via a network of safe, direct, attractive and coherent walking and cycling routes. These must be suitable for all age groups, and levels of agility and mobility to allow for ease of movement from place to place;
  10. Demonstrate that safe and functional pedestrian, cycle and vehicular access, and parking facilities and infrastructure, including for disabled and visitor parking, is provided in accordance with the Council's Roads Development Guide. Where appropriate, proposals will be required to provide secure and accessible shelters, lockers, showers and seating and be designed to meet the needs of all users. Cycle parking and facilities should be located in close proximity to the entrances of all buildings to provide convenience and choice for users;
  11. Incorporate integrated and enhance existing green infrastructure assets, such as landscaping, trees and greenspace, water management and SUDs including access and prioritise links to the wider green network as an integral part of the design process from the outset, in accordance with Policies D4 - D6. New green infrastructure must be designed to protect and enhance the habitat and biodiversity of the area and demonstrate a net gain;
  12. Unless justified, there will be a general presumption against landraising. Where there is a justifiable reason for landraising, proposals must have regard to the scale and visual impact of the resultant changes to the local landscape and amenity. Proposals that adversely impact upon the visual and physical connections through the site and to the surrounding areas will be resisted;
  13. Backland development should be avoided;
  14. Provide safe, secure and welcoming places with buildings and spaces, including open spaces, play areas and landscaping, designed and positioned to reduce the scope for anti-social behaviour and fear of crime, improve natural surveillance, passive overlooking, security and street activity;
  15. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by unreasonably restricting their sunlight or

privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Guidance;

16. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the proposal;
17. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by noise, dust, pollution and smell or poor air quality;
18. Ensure buildings and spaces are future proof designed to be easily adaptable and flexible to respond to changing social, environmental, technological, digital and economic conditions;
19. Incorporate provision for the recycling, storage, collection and composting of waste materials; and
20. Incorporate the use of sustainable design and construction methods and materials in the layout and design to support a low carbon economy.

Proposals must meet the requirements of any development brief prepared by the Council for an allocated site.

Further detailed guidance and information will be set out in the Placemaking and Design Supplementary Guidance, Householder Design Supplementary Guidance and the Daylight and Sunlight Design Supplementary Guidance.

#### Policy SG10

##### Town and Neighbourhood Centre Uses

1. The network of town and neighbourhood centres, shown on the Proposals Map and listed in Schedule 19 are the preferred locations for significant footfall generating uses, including retail, leisure, entertainment, office, residential and community and cultural facilities.
2. A sequential 'town centre first' approach will be applied to proposals that would attract significant footfall. Proposals will be assessed against the following criteria:
  - a. Demonstrate a sequential approach has been undertaken to site selection in the following order of preference, as set out in SPP, and why more sequentially preferable options have been discounted as unsuitable or unavailable:
    - i. Town centres (including neighbourhood centres);
    - ii. Edge of town centre;
    - iii. Commercial centres;
    - iv. Out of centre locations that are, or can be, made easily accessible by a choice of transport modes.
  - b. Demonstrate that the proposal is of an appropriate scale and does not significantly impact upon the role and function of the centre, adjacent uses or the character and amenity of the surrounding area;
  - c. Demonstrate that the proposal will help to meet proven qualitative and quantitative deficiencies;
  - d. Demonstrate that there will be no significant adverse effect on the vitality and viability of existing town centres; and
  - e. Demonstrate that the proposal is accessible by a choice of sustainable transport modes.
3. Proposals over 2,500m<sup>2</sup> (gross) floorspace out-with a town centre will require a retail



impact assessment to be carried out. This should include a quantitative assessment of retail impact and capacity, and the qualitative impacts of the proposal. The cumulative effect of recently implemented or consented retail developments in nearby locations should also be taken into account.

4. Residential developments on the upper floors of existing buildings within the town and neighbourhood will be supported subject to compliance with other relevant policies of the LDP.
5. Proposals for changes of use at street level away from Class 1 retail use within the town and neighbourhood centres will be required to:
  - a. Demonstrate that there is no current or likely future demand for Class 1 retail use. Proposals will be required to demonstrate that the unit has been actively marketed for solely Class 1 retail use for a minimum of 6 months; and
  - b. Should not have an adverse impact on the mix and diversity of uses in the centre.
6. Proposals for hot food takeaways within the town and neighbourhood centres will be required to meet the following criteria:
  - a. Meet the requirements of criteria 5 where the proposal is for change of use away from Class 1 retail;
  - b. Avoid the concentration, including cumulatively, with other existing hot food takeaways in the area; and
  - c. Not result in a detrimental impact on the overall character and amenity of the centre, including the amenity of residential properties situated adjacent to or above existing premises, by virtue of noise, disturbance or odour.
7. There will be a strong presumption against hot food takeaways out-with the town and neighbourhood centres. Proposals out-with the town and neighbourhood centres should not result in a detrimental impact on the overall character and amenity of the area and will be assessed against the criteria of Policy D1.

Policy SG11

Town and Neighbourhood Centre Proposals

The Council will support the implementation of proposals at the locations listed in Schedule 20 and shown on the Proposals Map.

**GOVERNMENT GUIDANCE:** None.

Finalised 07/06/2022.AC

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**DECISION NOTICE  
AND  
REASONS FOR REFUSAL**

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# 121

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997  
(AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006)  
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)  
(SCOTLAND) REGULATIONS 2013**

## **REFUSAL OF PLANNING PERMISSION**

Ref. No.        **2021/0973/TP**

**Applicant:**

Robinbrook Ltd  
Robinbrook Ltd  
Larkhill Abridge Road  
Theydon Bois Epping  
Essex  
UK  
CM16 7NN

**Agent:**

AYESHA MUNIR  
31 Byres Road  
Glasgow  
UNITED KINGDOM  
G11 5RD

With reference to your application which was registered on 17th January 2022 for planning permission under the abovementioned Act and Regulations for the following development, viz:-

**Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear.**

**at: Lloyds TSB 85 Main Street Thornliebank East Renfrewshire G46 7RY**

the Council in exercise of their powers under the abovementioned Act and Regulations hereby refuse planning permission for the said development.

**The reason(s) for the Council's decision are:-**

1. The proposal is contrary to Policy D1 and Policy SG10 of the adopted East Renfrewshire Local Development Plan 2 as the proposed use would give rise to an over-provision and concentration of similar uses that would further erode the mix and diversity of retail and non-retail uses within the neighbourhood centre and would result in a detrimental impact on the overall character and amenity of the centre.

Dated            7th June 2022



Director of Environment  
East Renfrewshire Council  
2 Spiersbridge Way,  
Spiersbridge Business Park,  
Thornliebank,  
G46 8NG  
Tel. No. 0141 577 3001

The following drawings/plans have been refused

<b>Plan Description</b>	<b>Drawing Number</b>	<b>Drawing Version</b>	<b>Date on Plan</b>
Location Plan	006		
Plans and Elevations Proposed	004		

## **GUIDANCE NOTE FOR REFUSAL OF LOCAL DEVELOPMENTS DETERMINED UNDER DELEGATED POWERS**

### **REVIEW BY EAST RENFREWSHIRE COUNCIL'S LOCAL REVIEW BODY**

1. If the applicant is aggrieved by a decision to refuse permission (or by an approval subject to conditions), the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. A Notice of Review can be submitted online at [www.eplanning.scotland.gov.uk](http://www.eplanning.scotland.gov.uk). Please note that beyond the content of the appeal or review forms, **you cannot normally raise new matters** in support of an appeal or review, unless you can demonstrate that the matter could not have been raised before, or that its not being raised before is a consequence of exceptional circumstances. Following submission of the notice, you will receive an acknowledgement letter informing you of the date of the Local Review Body meeting or whether further information is required.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

### CONTACT DETAILS

**East Renfrewshire Council  
Development Management Service  
2 Spiersbridge Way,  
Spiersbridge Business Park,  
Thornliebank,  
G46 8NG**

**General Inquiry lines 0141 577 3001  
Email [planning@eastrenfrewshire.gov.uk](mailto:planning@eastrenfrewshire.gov.uk)**

**NOTICE OF REVIEW  
AND  
SUPPORTING STATEMENT**

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: [planning@eastrenfrewshire.gov.uk](mailto:planning@eastrenfrewshire.gov.uk)

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100513876-004

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

## Applicant or Agent Details

Are you an applicant or an agent? \* (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant  Agent

## Agent Details

Please enter Agent details

Company/Organisation:	HARDIES PROPERTY & CONSTRUCTION CONSULTANTS		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	AYESHA	Building Name:	<input type="text"/>
Last Name: *	MUNIR	Building Number:	31
Telephone Number: *	0141 3312807	Address 1 (Street): *	Byres Road
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	Glasgow
Fax Number:	<input type="text"/>	Country: *	UNITED KINGDOM
		Postcode: *	G11 5RD
Email Address: *	ayesha.munir@hardies.co.uk		

Is the applicant an individual or an organisation/corporate entity? \*

Individual  Organisation/Corporate entity

## Applicant Details

Please enter Applicant details

Title:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text" value="Robinbrook Ltd"/>
First Name: *	<input type="text"/>	Building Number:	<input type="text"/>
Last Name: *	<input type="text"/>	Address 1 (Street): *	<input type="text" value="Larkhill Abridge Road"/>
Company/Organisation	<input type="text" value="Robinbrook Ltd"/>	Address 2:	<input type="text" value="Theydon Bois Epping"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Essex"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="UK"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="CM16 7NN"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="████████████████████"/>		

## Site Address Details

Planning Authority:	<input type="text" value="East Renfrewshire Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="83-85 MAIN STREET"/>
Address 2:	<input type="text" value="THORNLIEBANK"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="GLASGOW"/>
Post Code:	<input type="text" value="G46 7RY"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="659584"/>	Easting	<input type="text" value="254932"/>
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## Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: \*  
(Max 500 characters)

Proposed Change of Use from Class 1 to Class 3 Hot Food (Sui Generis), including erection of flue to rear, reinstatement of the existing unit into two separate units and formation of new shop front. at: Lloyds TSB 85 Main Street Thornliebank East Renfrewshire G46 7RY

## Type of Application

What type of application did you submit to the planning authority? \*

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? \*

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

## Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: \* (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Please refer to attached supporting statement and proof of enquiries.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? \*

Yes  No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: \* (Max 500 characters)

The marketing agency has recently received enquiries for the unit and they are all related to hot food takeaway use. Proof of enquiries has been attached.

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: \* (Max 500 characters)

Supporting statement Proof enquiries for hot food takeaway use.

## Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

2021/0973/TP

What date was the application submitted to the planning authority? \*

09/12/2021

What date was the decision issued by the planning authority? \*

09/06/2022

## Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. \*

Yes  No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? \*

Yes  No

Is it possible for the site to be accessed safely and without barriers to entry? \*

Yes  No

## Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. \*

Yes  No

Have you provided the date and reference number of the application which is the subject of this review? \*

Yes  No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? \*

Yes  No  N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? \*

Yes  No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review \*

Yes  No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

**Declare – Notice of Review**

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mrs AYESHA MUNIR

Declaration Date: 21/07/2022

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East Renfrewshire Council  
2 Spiersbridge Way  
Thornliebank  
Glasgow  
G46 8NG

21<sup>st</sup> July 2022

Dear Sir/Madam,

**Ref No: 2021/0973/TP**  
**Location: Lloyds TSB 85 Main Street Thornliebank East Renfrewshire G46 7RY**  
**Proposal: Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear.**

East Renfrewshire Council Environmental Health Service and East Renfrewshire Council Roads Service departments have not raised any objections.

We refer to reason number 1 of the refusal letter – over provision and concentration of hot food takeaways.

J&E Shepherd our marketing agency has been actively marketing 85 Main Street Thornliebank for over 6 months. The units have been marketed as available either in whole or in part. Since the beginning of the marketing, the proposed use of all enquiries has been that for the use as a Hot Food Takeaway (Sui Generis) details of the enquiries are attached as proof to this submission.

Since the beginning of J&E Shepherds instruction to market this unit, we have had no enquiries for continued use as a Class 2 premises. The refusal of our application for change of use is therefore actively contributing to the vacancy of these premises and the deterioration of this neighbourhood parade.

Whilst we appreciate and accept that there are other hot food takeaway (sui generis) operators within the parade, we would like to point out that both Greggs and Subway operate under a Class 1 use, therefore we would argue that our application for change of use does not contribute to a concentration of hot food takeaways within the parade.

We also believe it is not the over concentration of hot food takeaways that has eroded the mix and diversity of retail and non-retail uses within the neighbourhood centre. The main cause that has diminished the mix and diversity of retail shops is that of online shopping that has taken over from the high streets and caused the high street to erode.



We would wish for our application to be reviewed once more on the basis of the above and for consideration to be given to our application for change of use.

Yours Faithfully  
Ayesha Munir BSc MSc  
**Architectural Technician**  
**For and on behalf of**  
**HARDIES LLP**

31 Byres Road, Glasgow, G11 5RD T: 0141 331 2807 E: [glasgow@hardies.co.uk](mailto:glasgow@hardies.co.uk)  
[www.hardies.co.uk](http://www.hardies.co.uk)



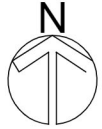
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- △ Stirling



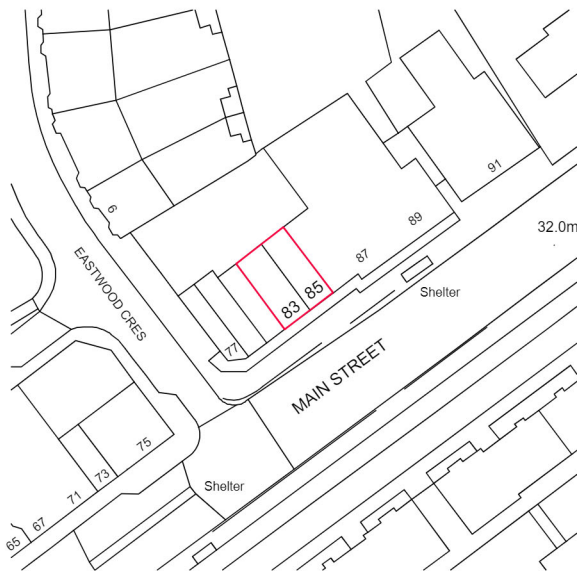
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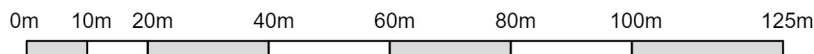


**SITE BOUNDARY**



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**LOCATION PLAN - 1:1250**



Scale 1:1250

31  
Byres Road  
Glasgow  
G11 5RD



Tel: 0141 331 2807  
email: glasgow@hardies.co.uk  
web: hardies.co.uk

Offices at: Aberdeen, Inverness Dumfries,  
Dundee, Dunfermline, Edinburgh, Glasgow,  
Stirling, Perth, St. Andrews

client \_\_\_\_\_

*Robinbrook Ltd*

project title \_\_\_\_\_

*Change of Use - Planning  
85 Main Street, Thornliebank  
Glasgow*

drawing title \_\_\_\_\_

*Location Plan*

job no. drawing no. revision

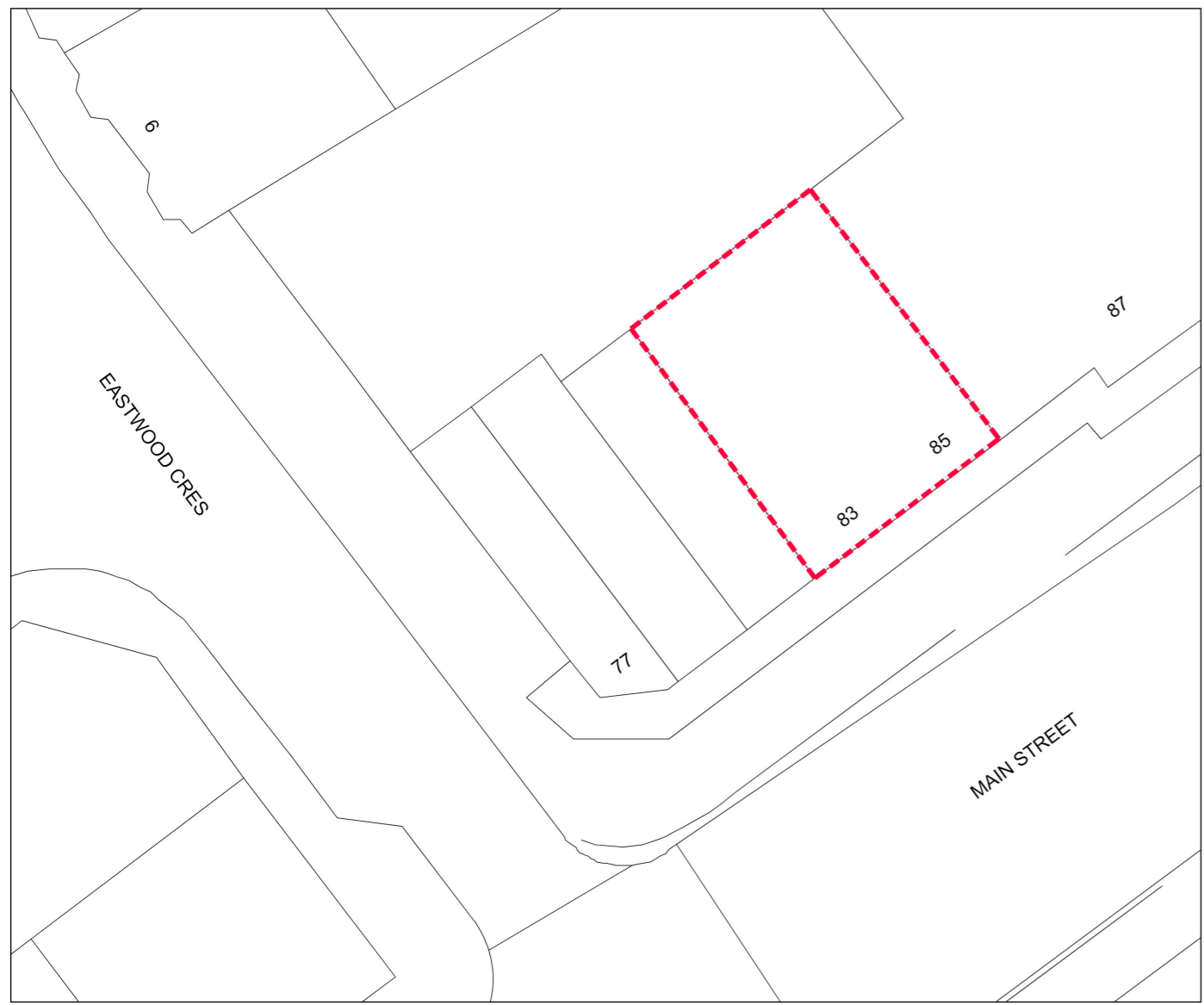
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scale date

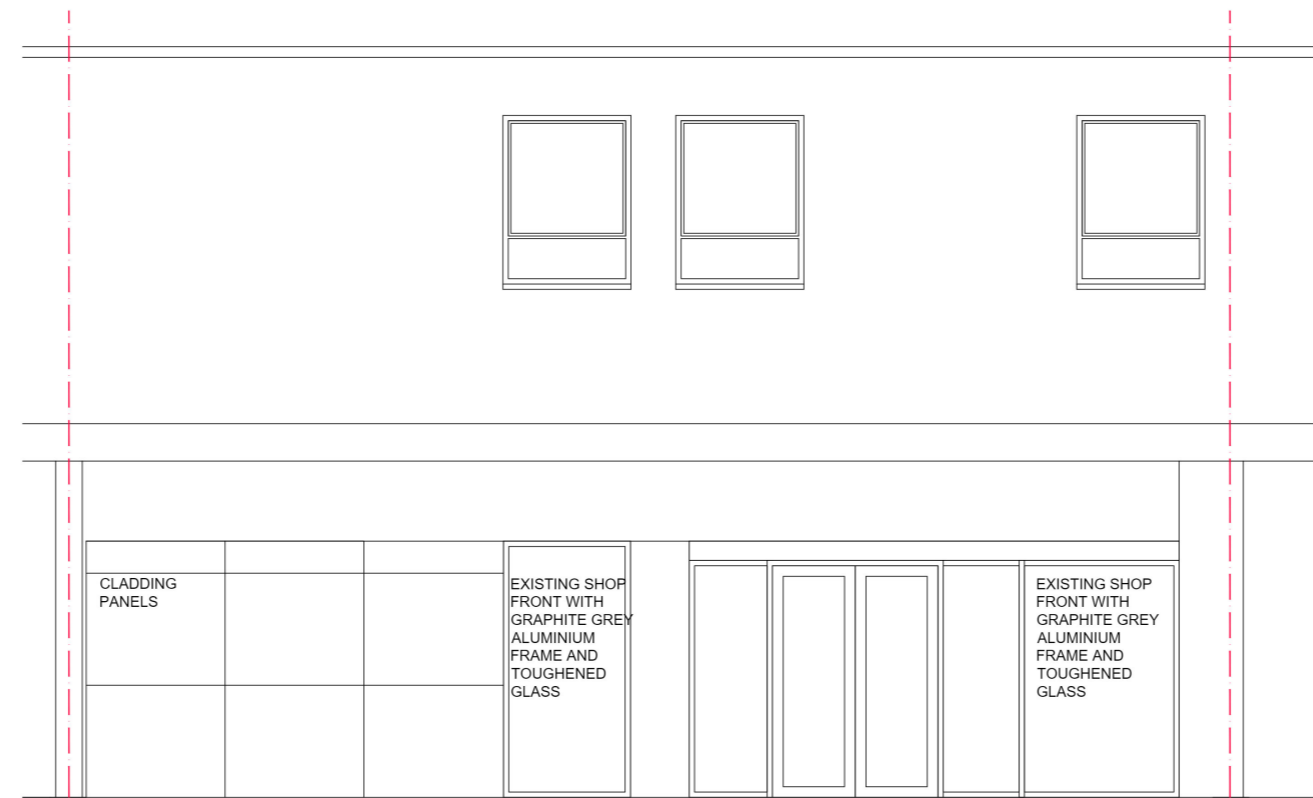
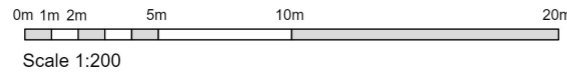
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drawn checked

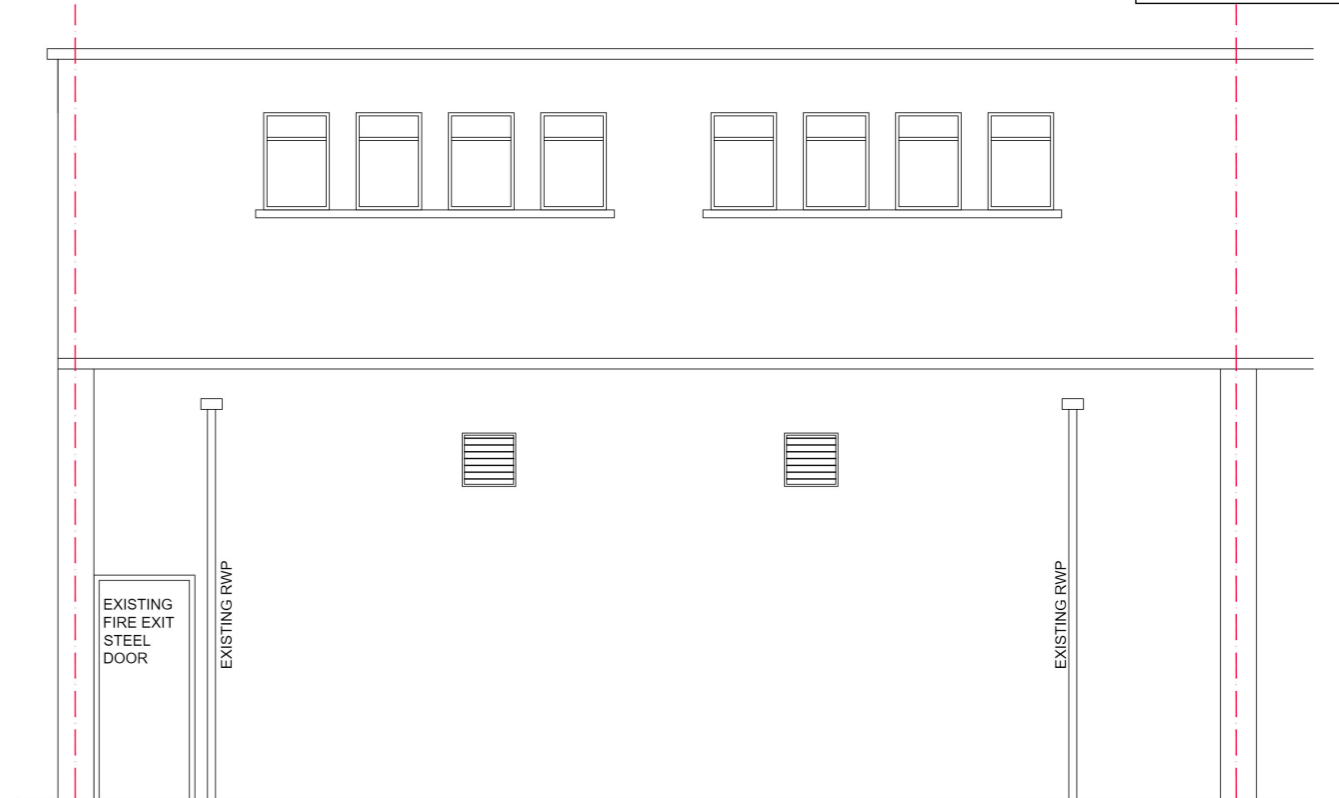
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**SITE PLAN**  
SCALE 1:200



**EXISTING FRONT ELEVATION**  
SCALE 1:50

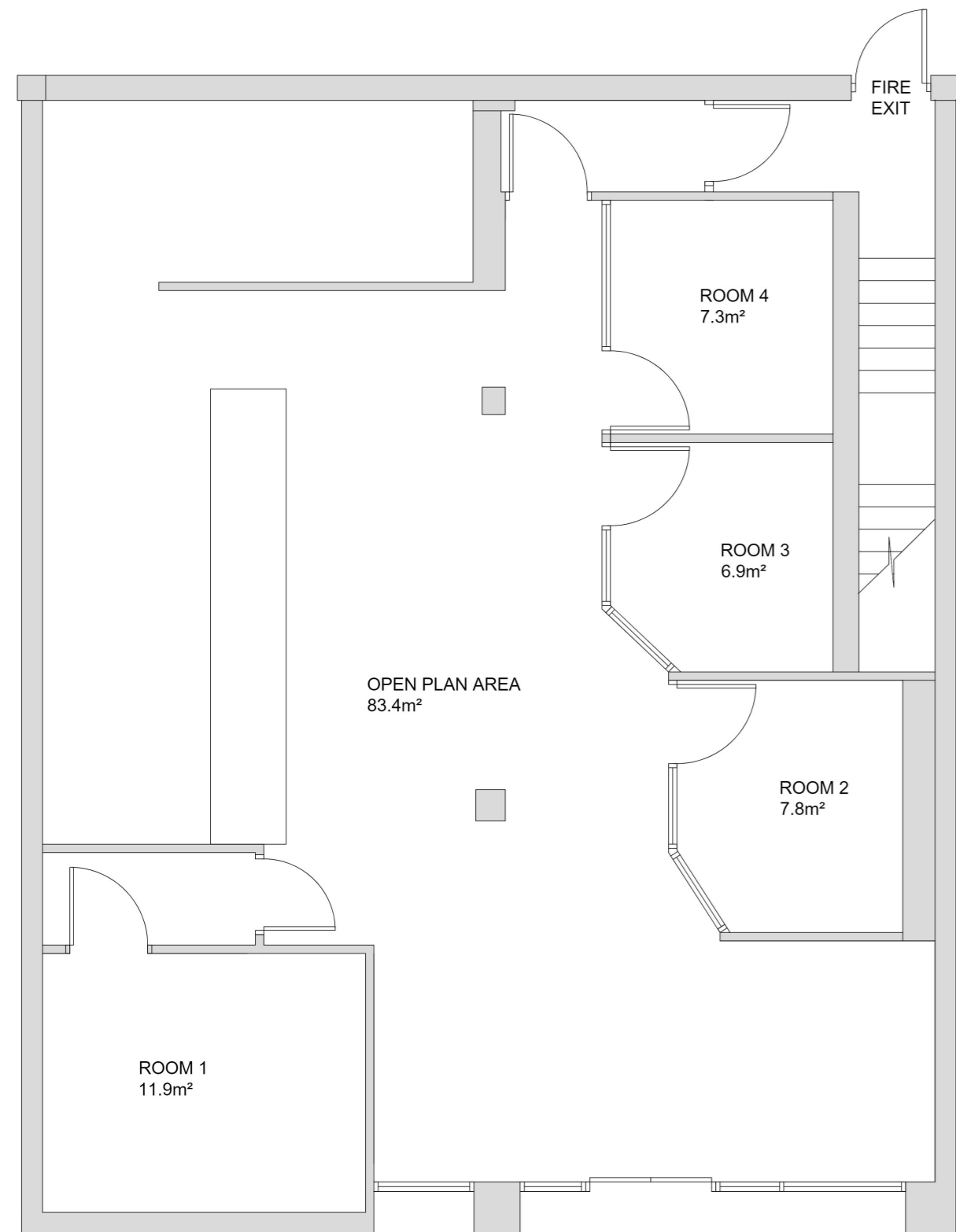


**EXISTING REAR ELEVATION**  
SCALE 1:50

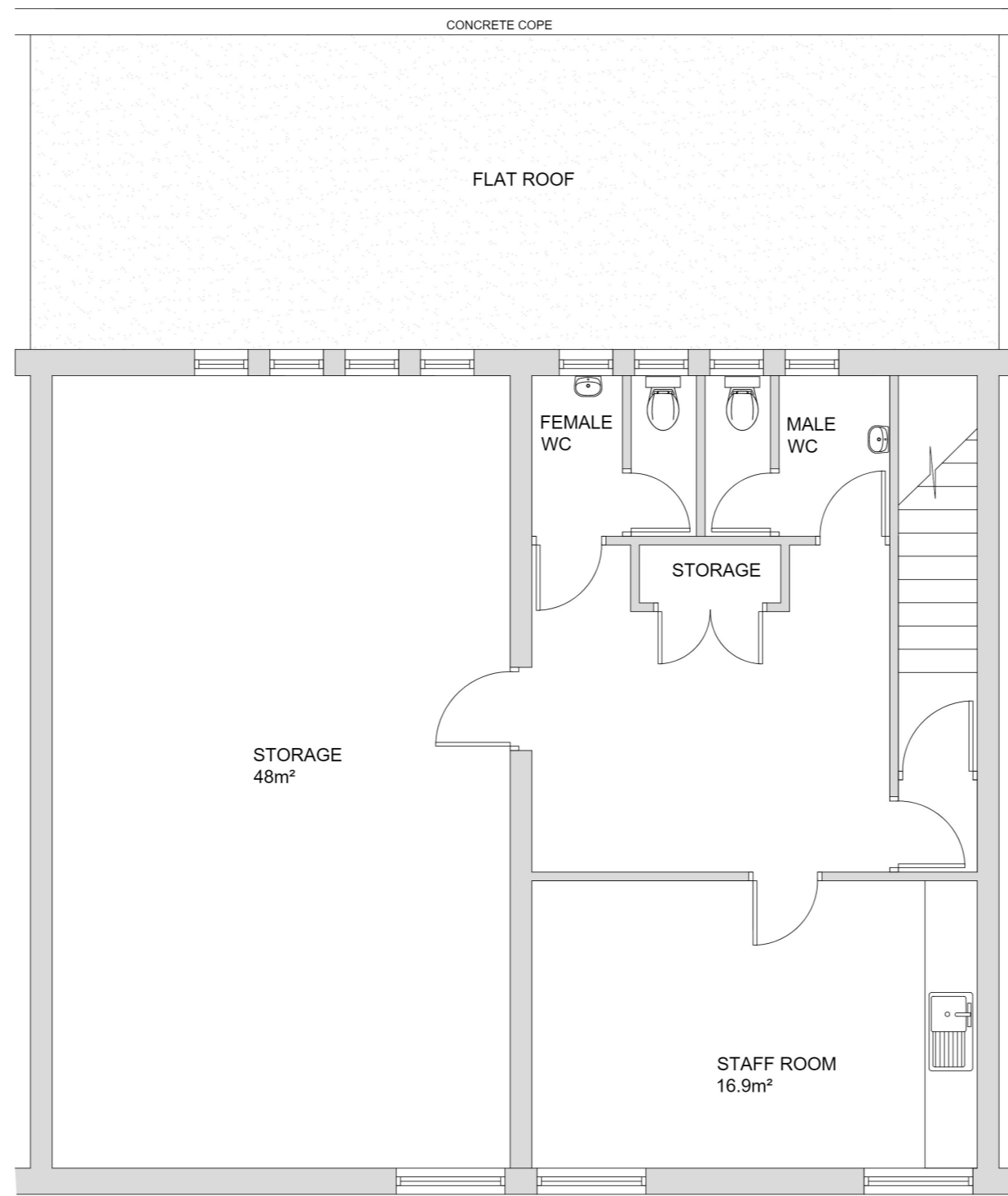
**LEGENDS:**  
EXISTING WALLS ———  
BOUNDARY LINE - - - - -



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CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2015  
The designs on this drawing are prepared with the consideration of the need to identify hazards and give regard to the hierarchy of risk control.  
This drawing is to be read in conjunction with project specific standard hazard and risk assessment, where relevant  
Works to be carried out in accordance with the Construction Phase Health & Safety plan prepared by the Principal Contractor



**EXISTING GROUND FLOOR LAYOUT**  
SCALE 1:50



**EXISTING FIRST FLOOR LAYOUT**  
SCALE 1:50



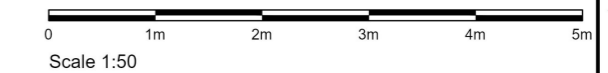
**PHOTO OF FRONT ELEVATION**



**PHOTO OF FRONT ELEVATION**



**PHOTO OF REAR ELEVATION**



rev | description | auth | child | date

31 Byres Road  
Glasgow,  
G11 5RD

tel: 0141 221 2027  
email: info@hardies.co.uk  
web: hardies.co.uk  
Offices at:  
Aberdeen, Birmingham, Dundee,  
Dunfermline, Edinburgh,  
Glasgow, Inverclyde, Perth, St Andrews

client  
**Robinbrook Ltd**

project  
**Change of Use - Planning  
85 Main Street, Thornliebank, Glasgow**

drawing title  
**As Existing  
Layouts & Elevations**

status  
**PLANNING**

date | scale | drawn by | checked by  
06.12.21 | 1:50 @ A1 | AM | AM

job no. | drawing no. | revision  
21-1540 | 003 | -



- LEGENDS:**
- EXISTING WALLS
  - NEW WALLS
  - BOUNDARY LINE



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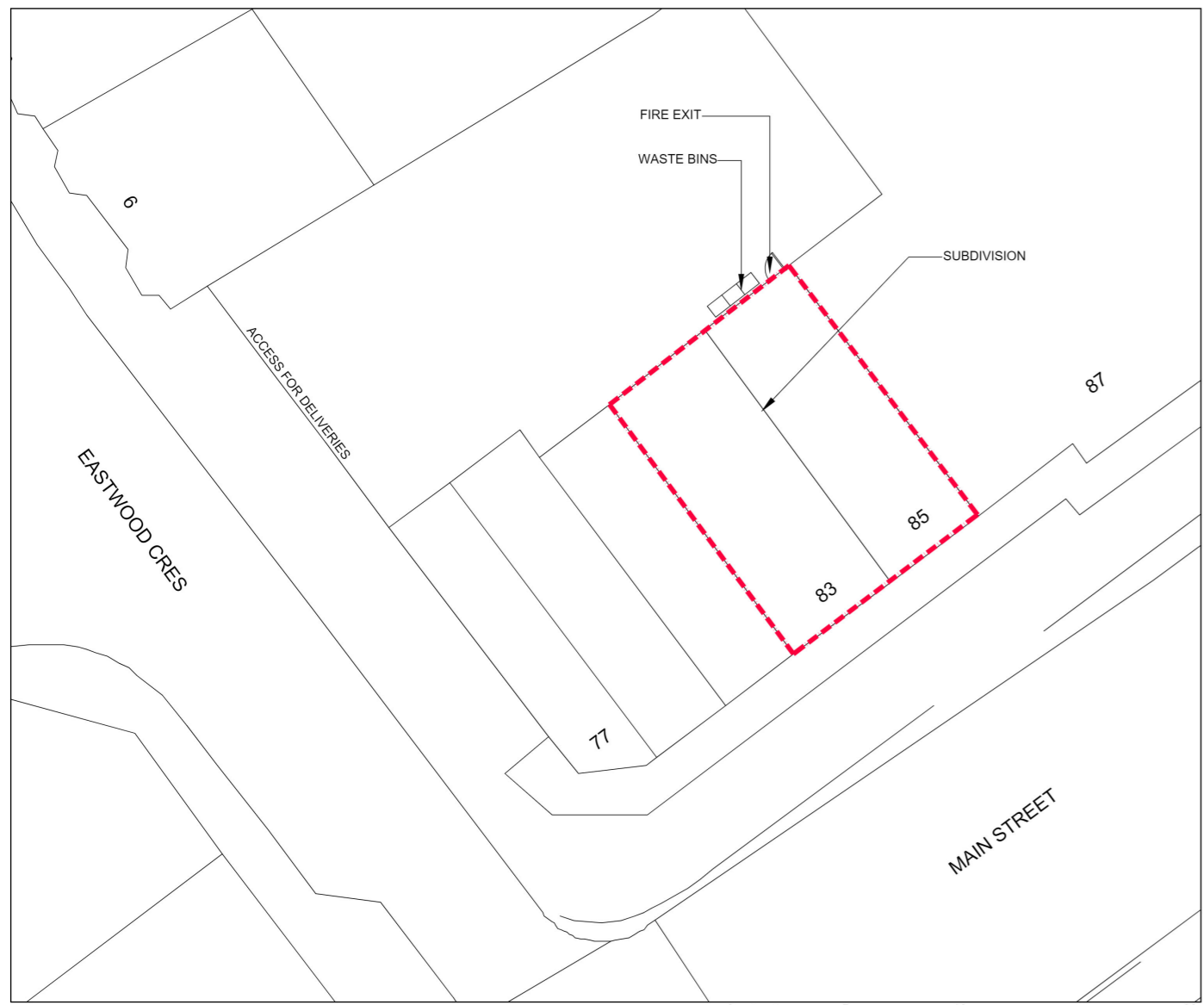
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CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2015

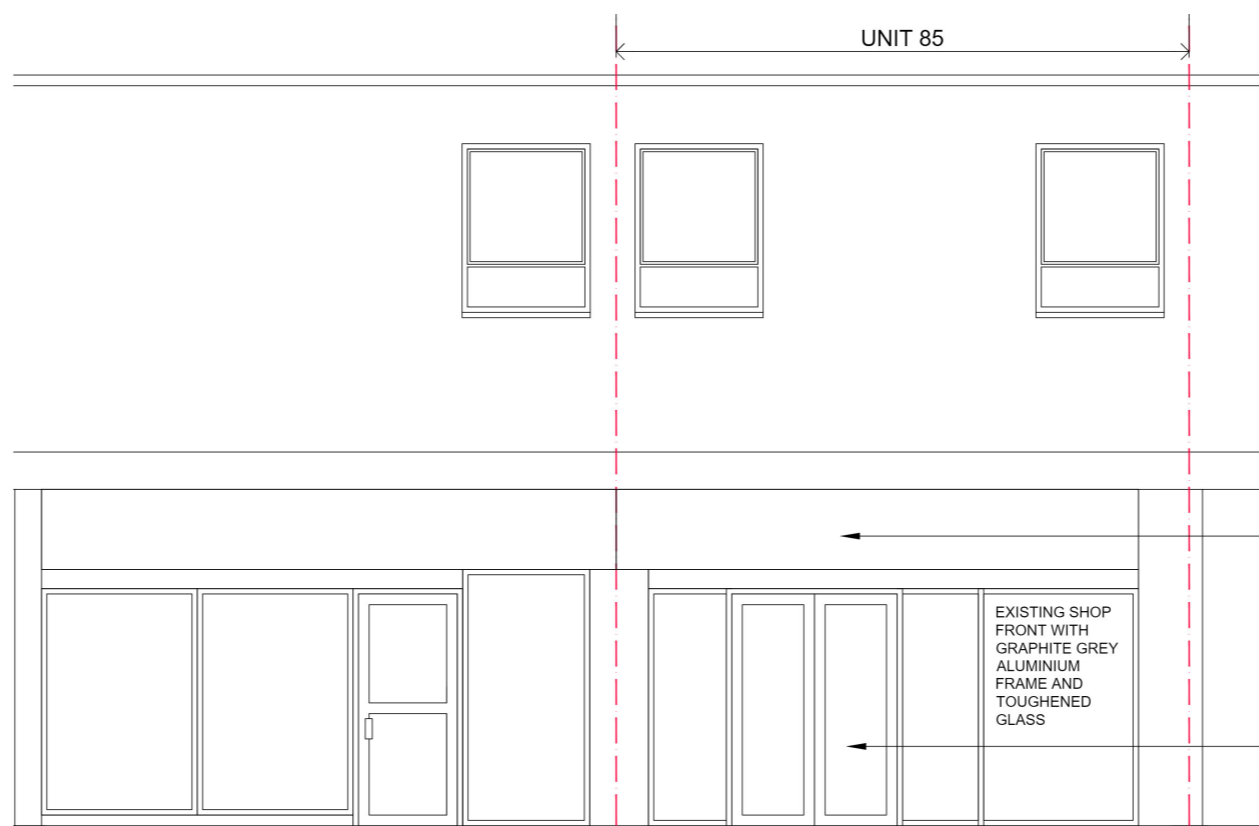
The designs on this drawing are prepared with the consideration of the need to identify hazards and give regard to the hierarchy of risk control.

This drawing is to be read in conjunction with project specific standard hazard and risk assessment, where relevant

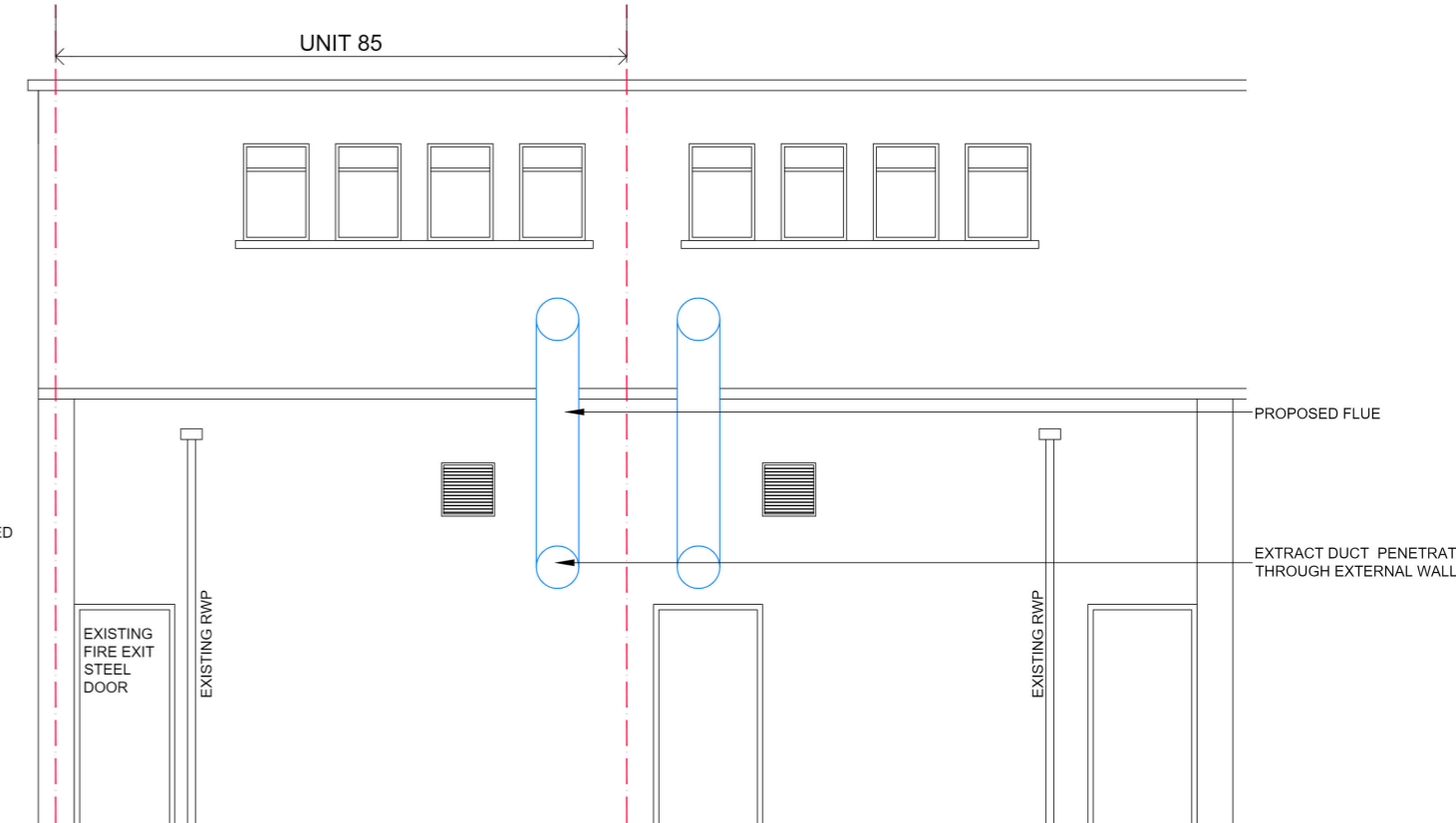
Works to be carried out in accordance with the Construction Phase Health & Safety plan prepared by the Principal Contractor



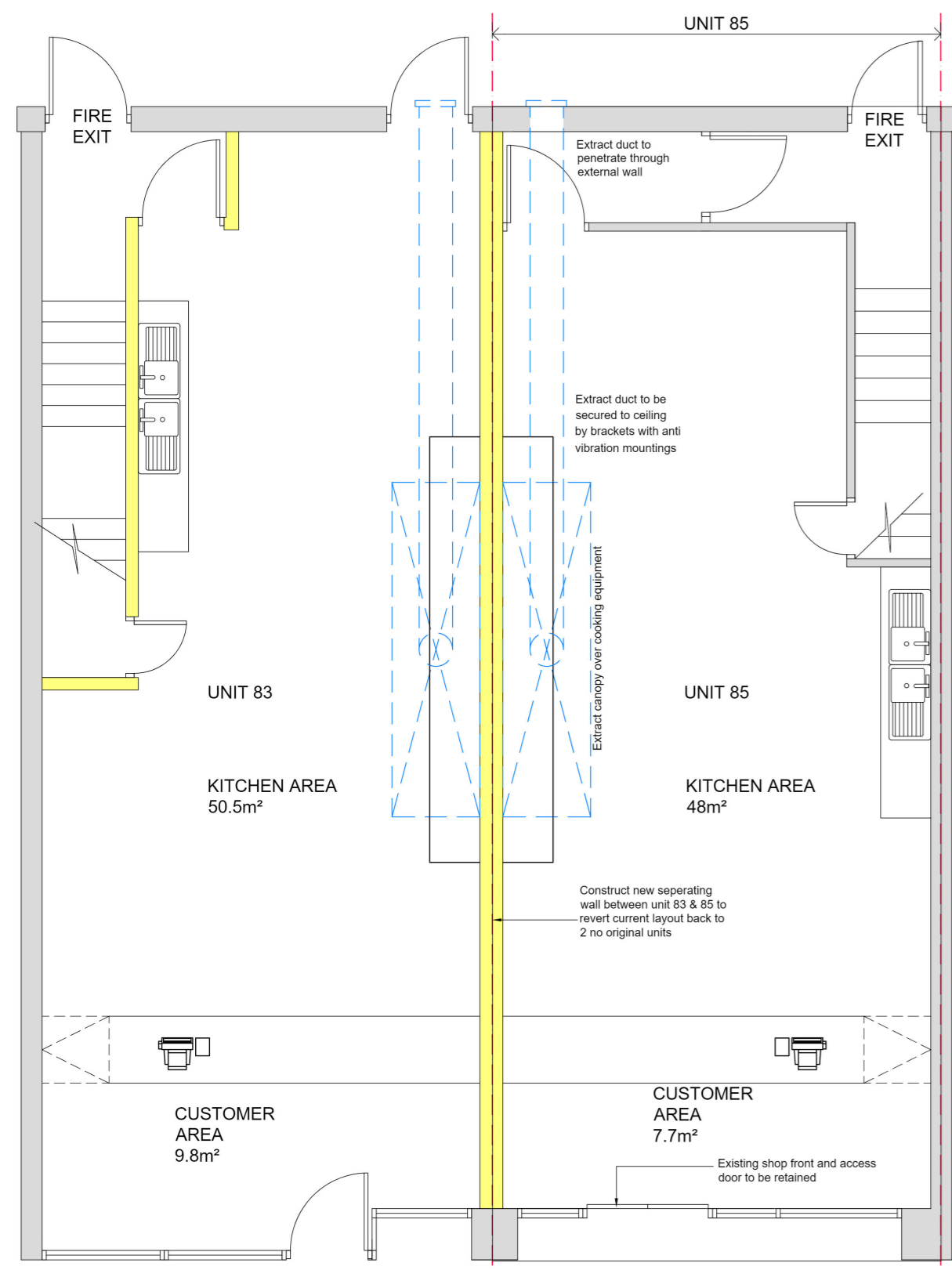
**PROPOSED SITE PLAN**  
SCALE 1:200



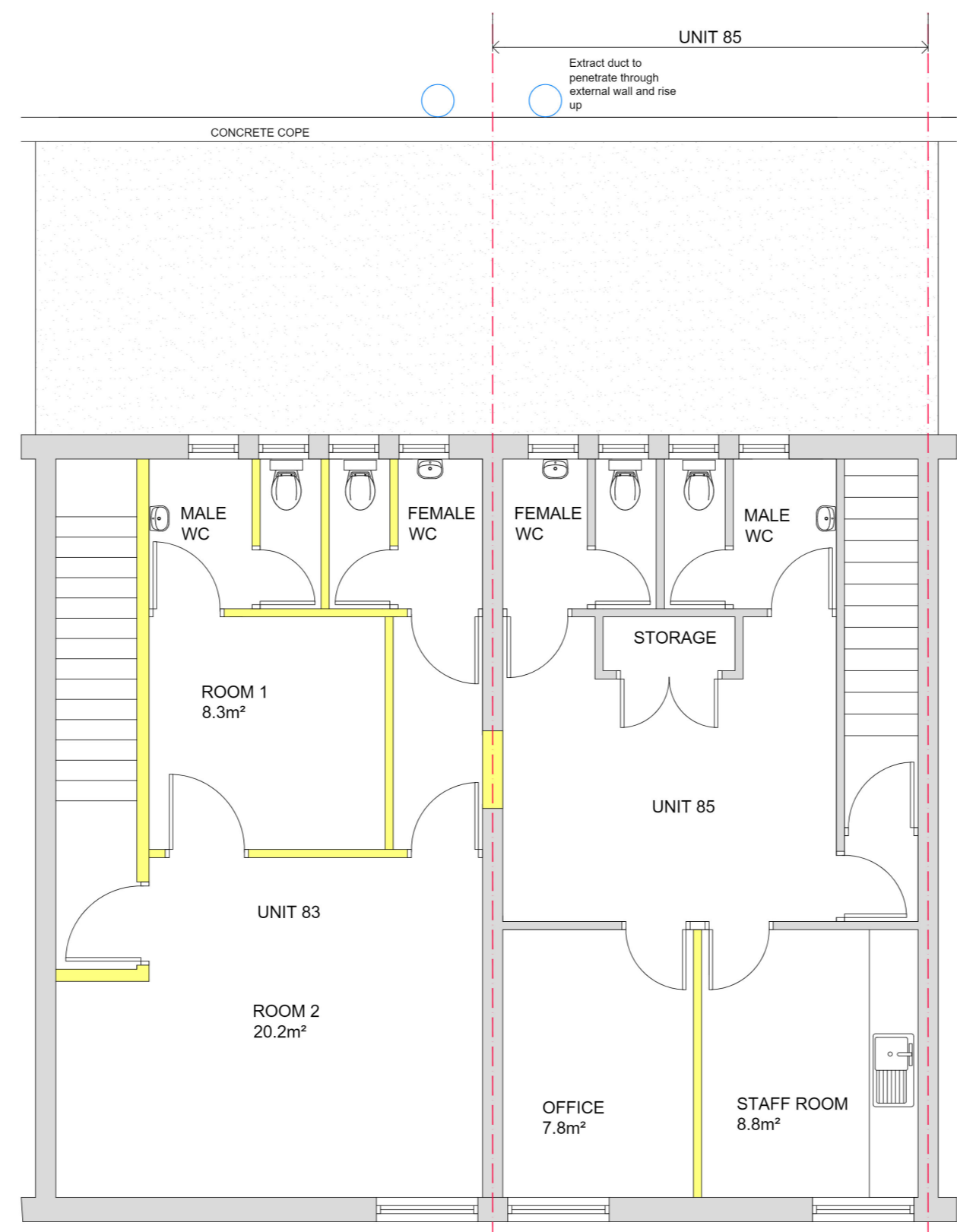
**PROPOSED FRONT ELEVATION**  
SCALE 1:50



**PROPOSED REAR ELEVATION**  
SCALE 1:50



**PROPOSED GROUND FLOOR LAYOUT**  
SCALE 1:50



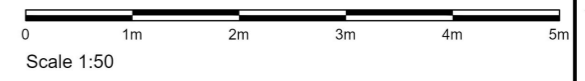
**PROPOSED FIRST FLOOR LAYOUT**  
SCALE 1:50

**Notes:**  
Operating Hours: Proposed operating hours to be from 14:00 pm - 11:00pm, exact hours to be confirmed by new potential tenant.

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Noise associated with development to not give rise to a noise level assessed with the windows open, within any building in excess of the equivalent to Noise Rating Curve (NRC) 25 between 7am and 11pm and NRC 25 at all other times.



31 Byres Road Glasgow, G11 5RD	
Client: <b>Robinbrook Ltd</b>	
Project: <b>Change of Use - Planning 85 Main Street, Thornliebank, Glasgow</b>	
Drawing Title: <b>Proposed Layouts &amp; Elevations</b>	
Status: <b>PLANNING</b>	
Date: 06.12.21	Scale: 1:50 @ A1
Job No: 21-1540	Drawing No: 004
Author: AM	Checker: AM
Date: 17.01.22	Revision: A

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## **Proposed Ventilation Statement for 85 Main Street Thornliebank Glasgow.**

### **Proposed Requirements and Features of the Ventilation System:**

General: The Following Specification is recorded as being the min requirement to design the ventilation. The system will be designed in accordance by the M+E Contractor in the detailed stage of the building warrant.

### **Odour Control system**

The odour assessment for the kitchen extract system has a predicted odour risk of 35 based on the DEFRA guide, which equates to a high level of odour control required. Therefore we would propose to install an odour control system, detailed as follows.

The system would comprise of a purpose made filter housing incorporating the following filter types: -

#### **4no 592x592x350 CP4 Fire Rated Bag Filter**

##### **General Description**

The CP4, fire rated range of bag filters are used widely in government buildings, hospitals and other sensitive areas. This grade of filter would capture 90% of the grease left within the system after the canopy baffle filters.

Meets NHS HTM03 Filter Specification, Filter Class EN779:2012 G4

#### **4no 592x592x300 RP Compact Medium/Fine Ridgid HEPA Bag filters**

##### **General Description**

The F9 grade ridgid bag filter are used within this system to capture the heavy particles of smoke from the cooking process and are 80% efficient.

#### **4no-995x995x995 Discarb Activated Carbon Units**

##### **General Description**

These filters are manufactured for ease of installation and incorporation into ducted air systems. They can be used on both supply for purifying incoming air, and can be used on the extract to remove toxic gasses and odours generated within a process.

## **Construction**

These modules are manufactured by mounting a series on carbon panel filters within a sealed case. The airflow is epitomize by presenting the filtering surfaces in a "V" formation.

Each carbon panel is sealed into the filter case so as to ensure no air can bypass the carbon granules.

The panels are manufactured using long established bonding techniques which hold the activated carbon granules in a rigid biscuit. The biscuit is encapsulated in a carbon impregnated cloth which prevents any leakage of granules or powder.

The carbon filters would remove 90% of any residual odours.

The final exhaust position of the extract system terminal would be at high level and would exhaust through a louver grille.

## **Noise**

General: The System Shall Not exceed the Noise Curve Rating of 25 At any given time.

## **Maintenance:**

The System Is to be designed to provide the least Down time and ease of maintenance. The Tennant will Follow the Maintenance Requirement Imposed by the Manufacturer of a Proprietary System. Most Likely in the form of a rolling Maintenance contract.

## PLANS/DRAWINGS

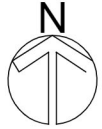
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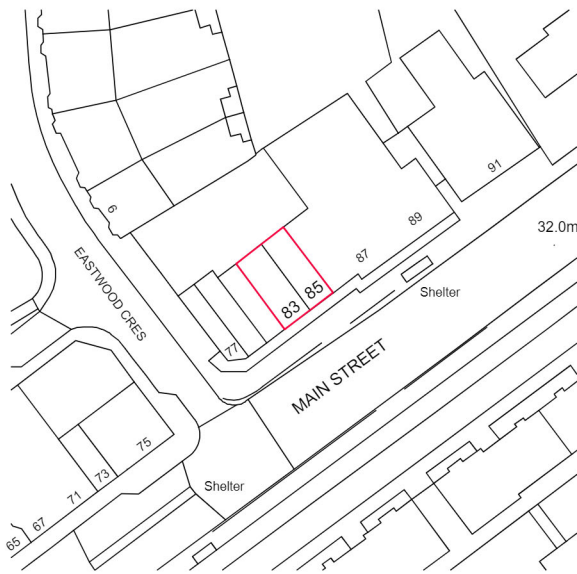
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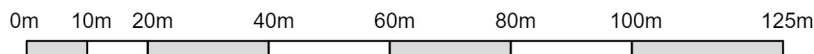


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**LOCATION PLAN - 1:1250**



Scale 1:1250

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Glasgow  
G11 5RD



Tel: 0141 331 2807  
email: glasgow@hardies.co.uk  
web: hardies.co.uk

Offices at: Aberdeen, Inverness Dumfries,  
Dundee, Dunfermline, Edinburgh, Glasgow,  
Stirling, Perth, St. Andrews

client \_\_\_\_\_

*Robinbrook Ltd*

project title \_\_\_\_\_

*Change of Use - Planning  
85 Main Street, Thornliebank  
Glasgow*

drawing title \_\_\_\_\_

*Location Plan*

job no. \_\_\_\_\_ drawing no. \_\_\_\_\_ revision \_\_\_\_\_

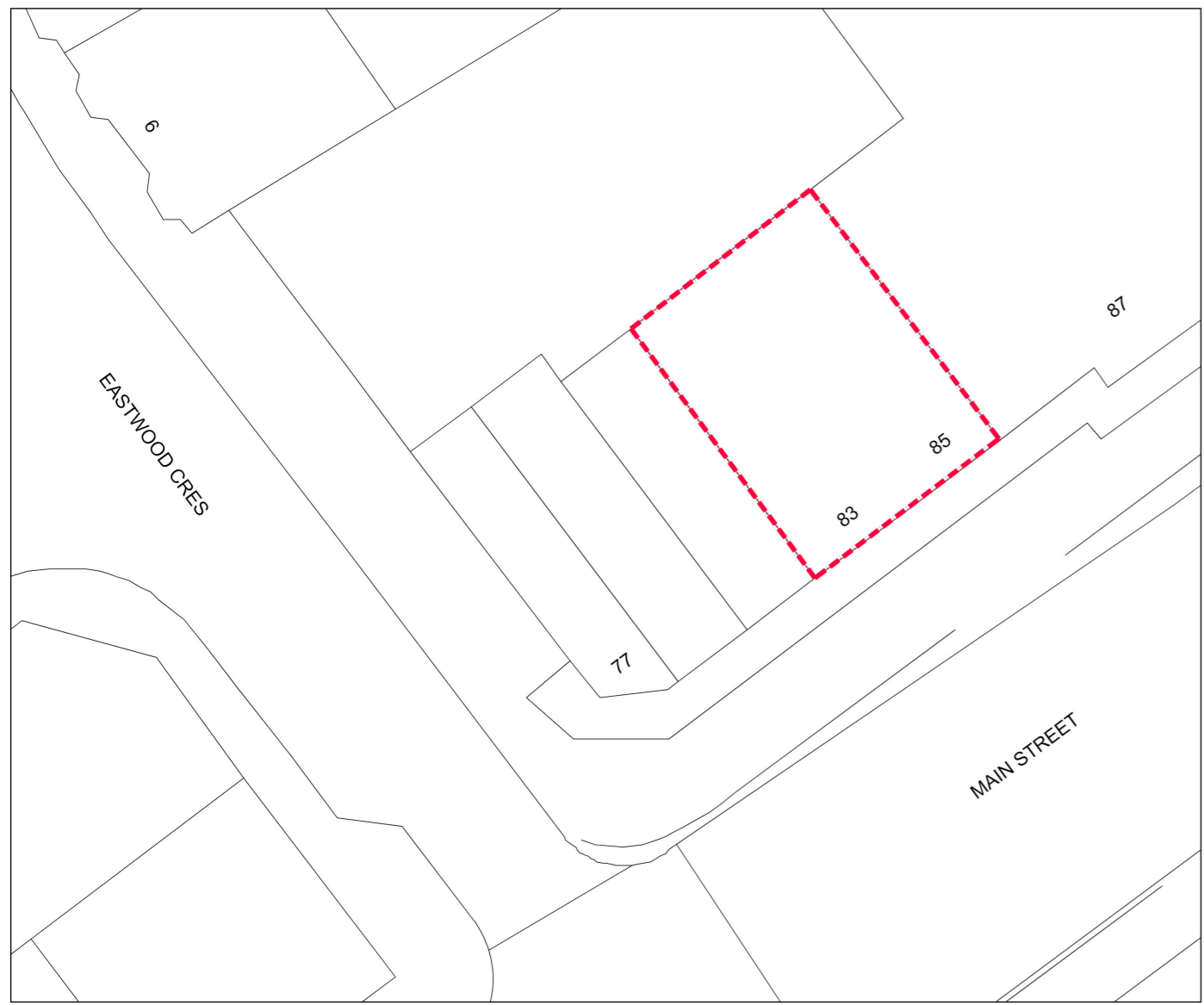
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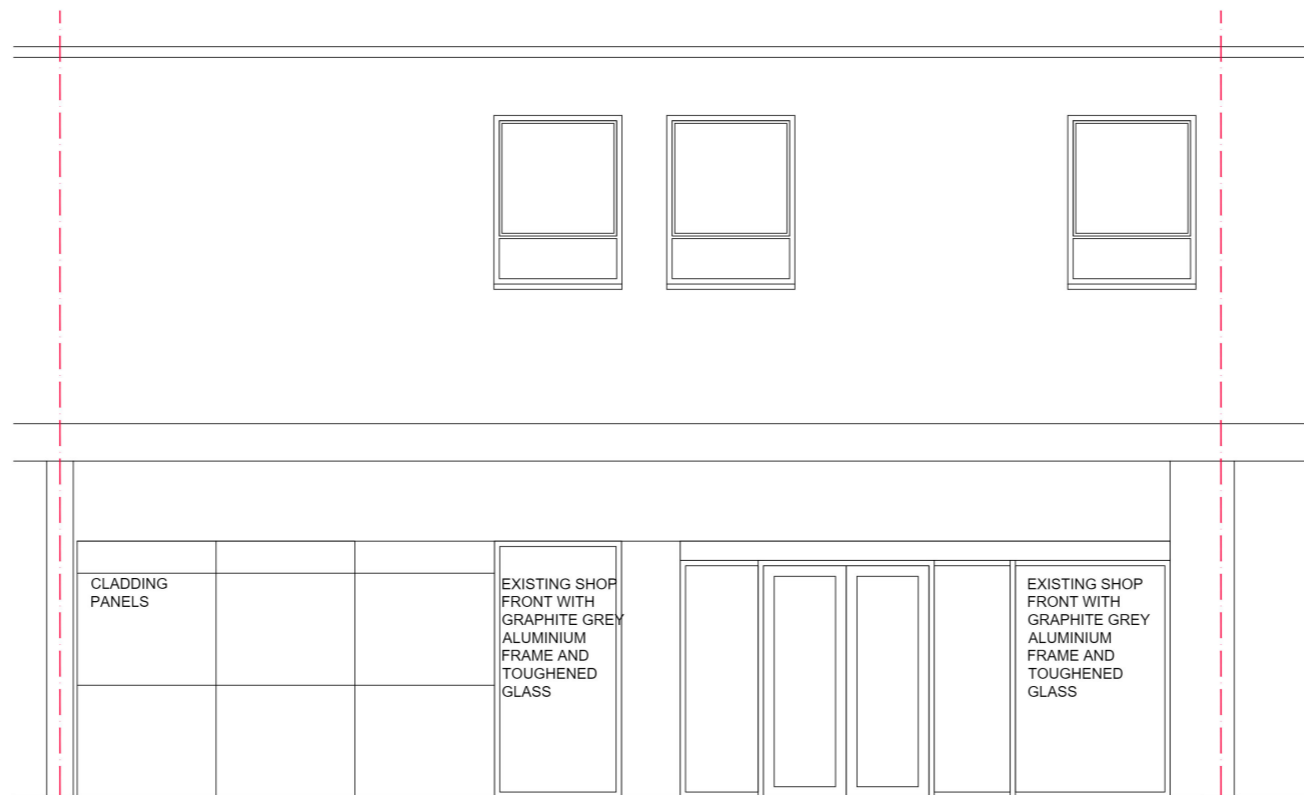
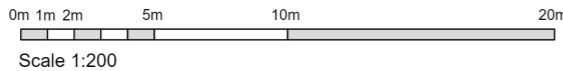
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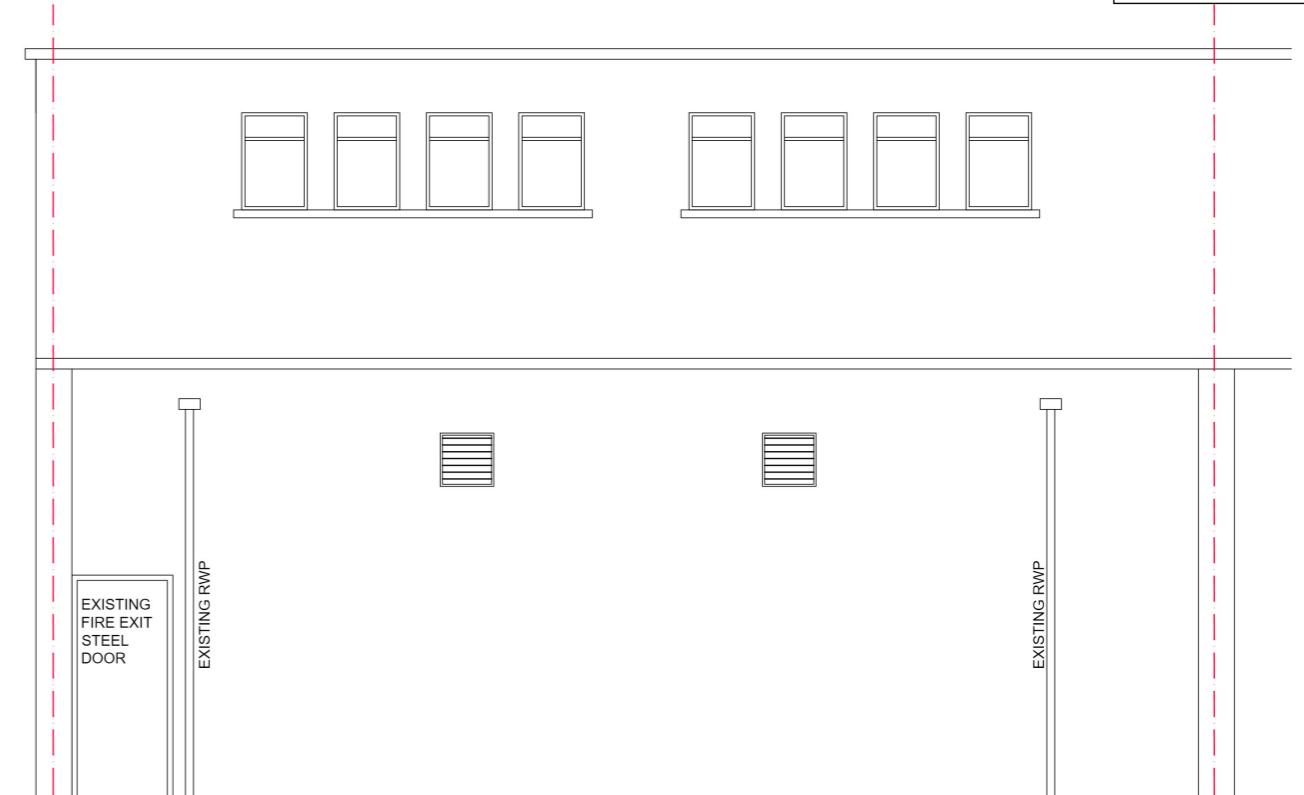
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**SITE PLAN**  
SCALE 1:200



**EXISTING FRONT ELEVATION**  
SCALE 1:50

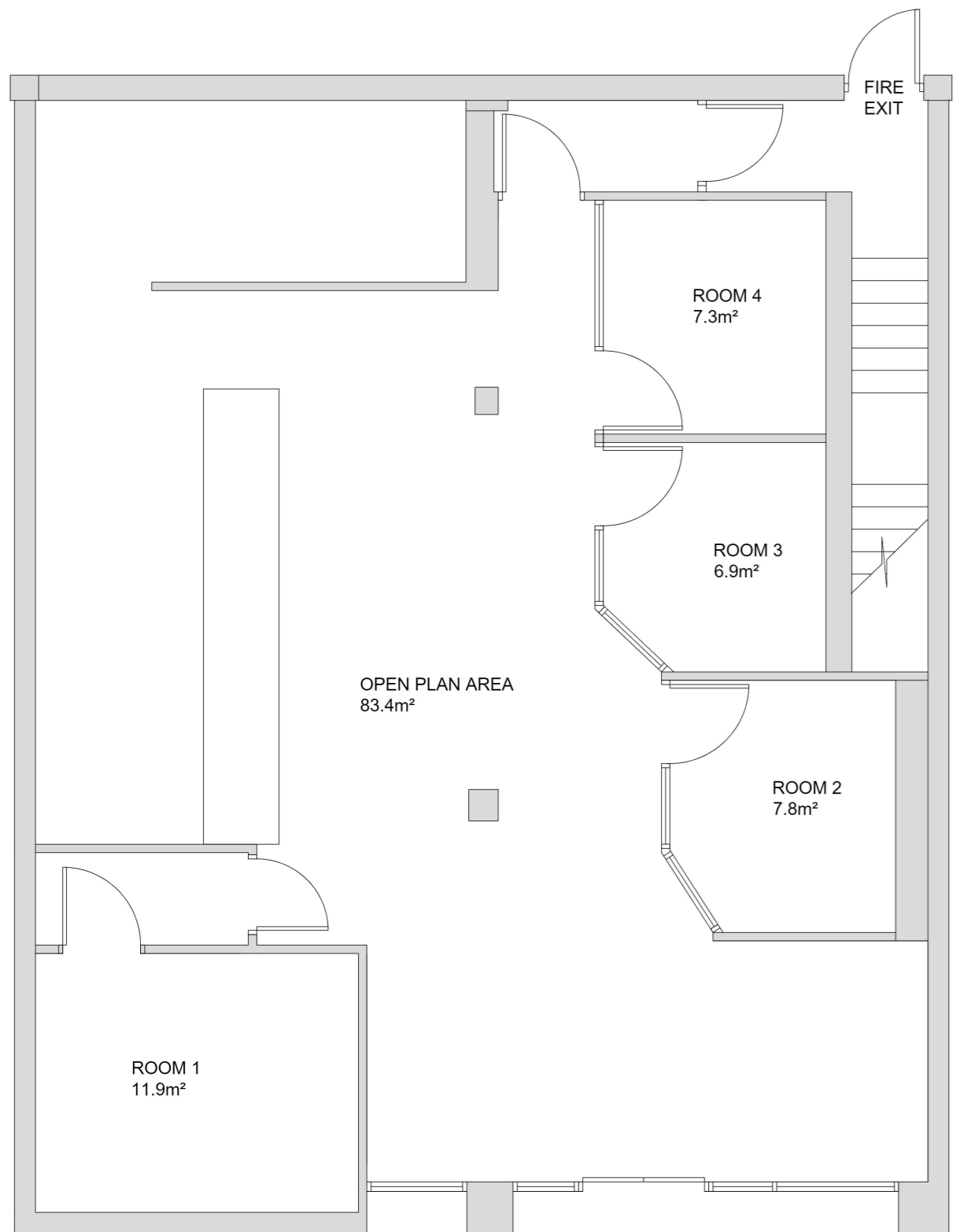


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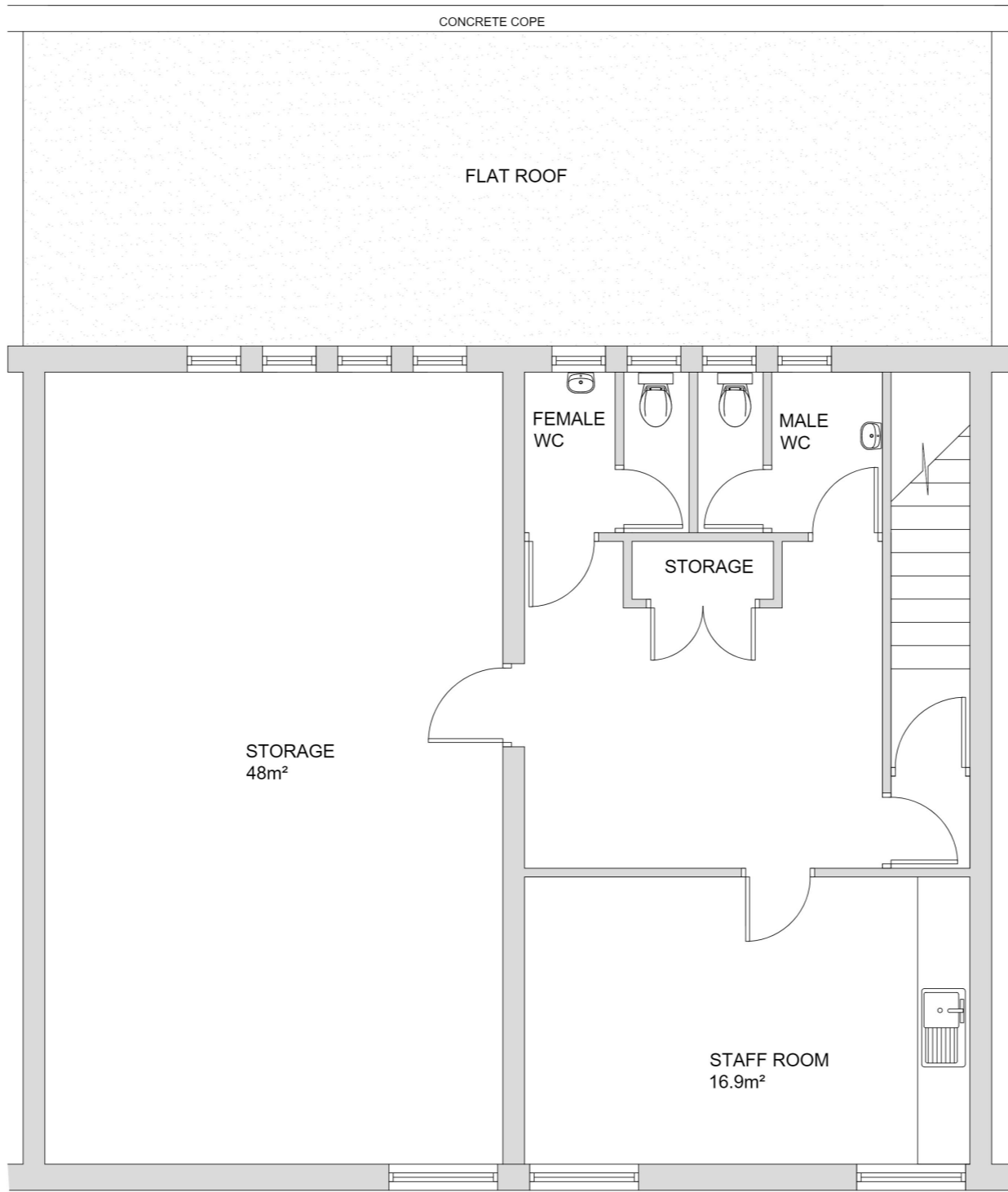
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Works to be carried out in accordance with the Construction Phase Health & Safety plan prepared by the Principal Contractor



**EXISTING GROUND FLOOR LAYOUT**  
SCALE 1:50



**EXISTING FIRST FLOOR LAYOUT**  
SCALE 1:50



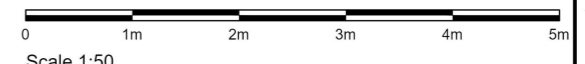
**PHOTO OF FRONT ELEVATION**



**PHOTO OF FRONT ELEVATION**



**PHOTO OF REAR ELEVATION**



rev | description | auth | child | date

31 Byres Road  
Glasgow, G11 5RD

0141 204 7683  
0141 204 7683  
CBRE

client  
**Robinbrook Ltd**

project  
**Change of Use - Planning**  
85 Main Street, Thornliebank, Glasgow

drawing title  
**As Existing**  
Layouts & Elevations

status  
**PLANNING**

date | scale | drawn by | checked by  
06.12.21 | 1:50 @ A1 | AM | AM

job no. | drawing no. | revision  
21-1540 | 003 | -



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- EXISTING WALLS
  - NEW WALLS
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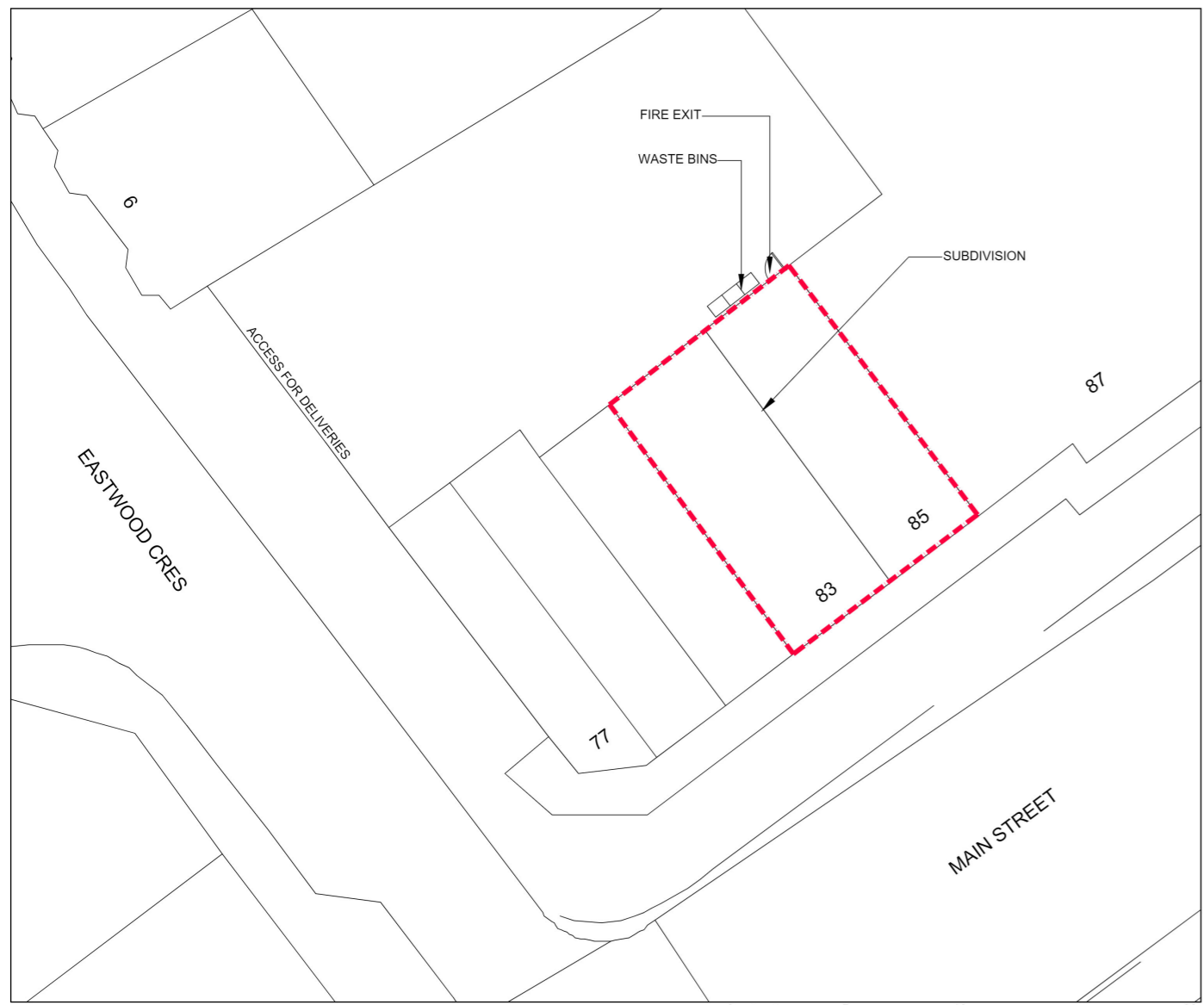
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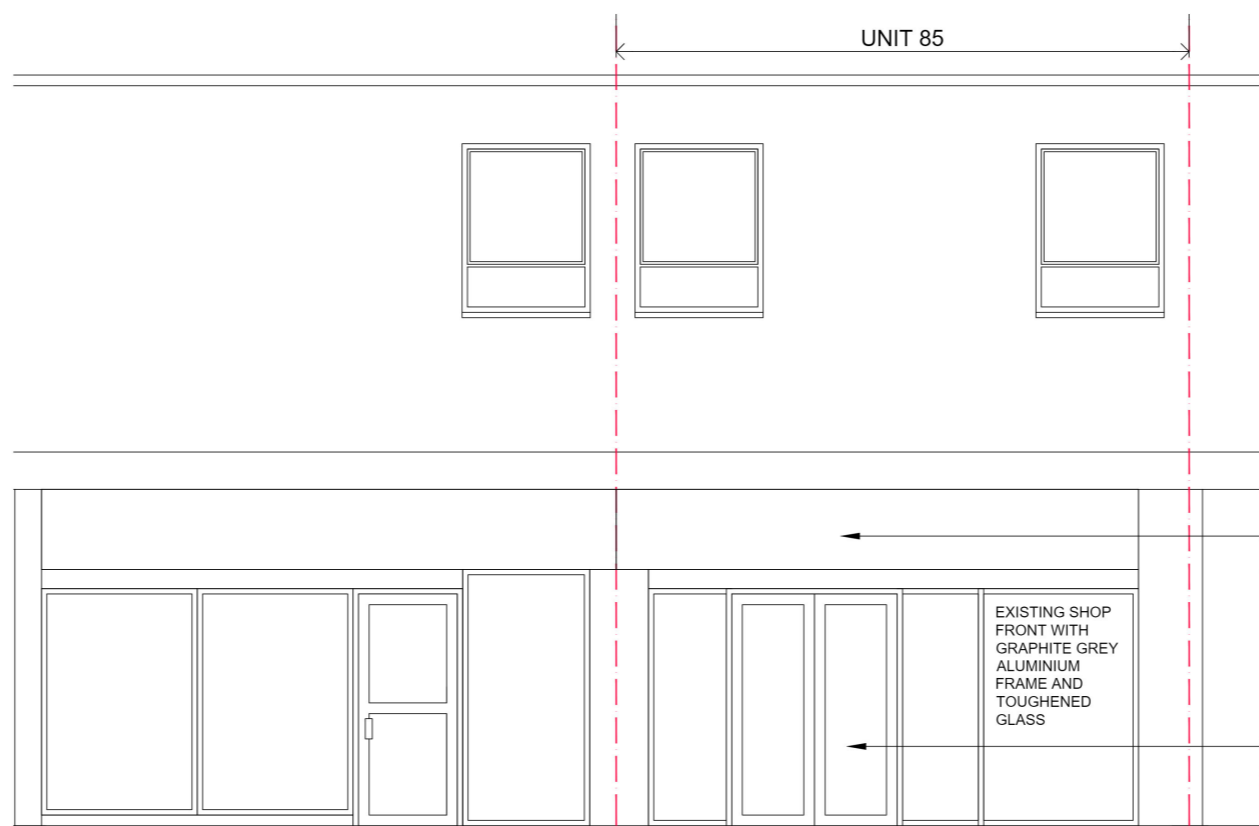
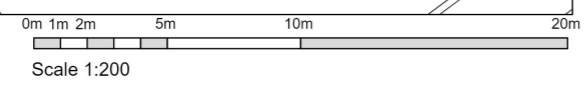
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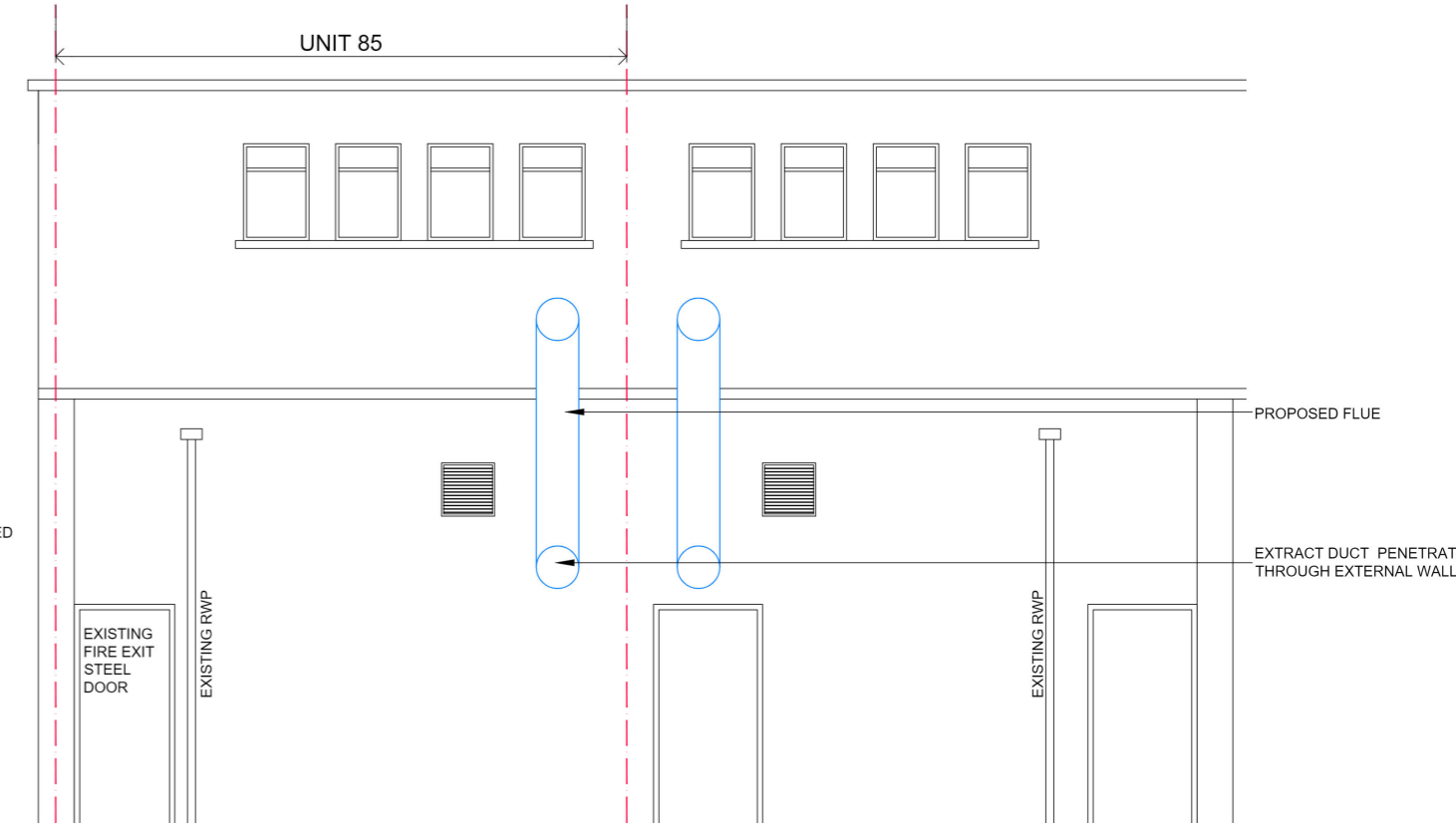
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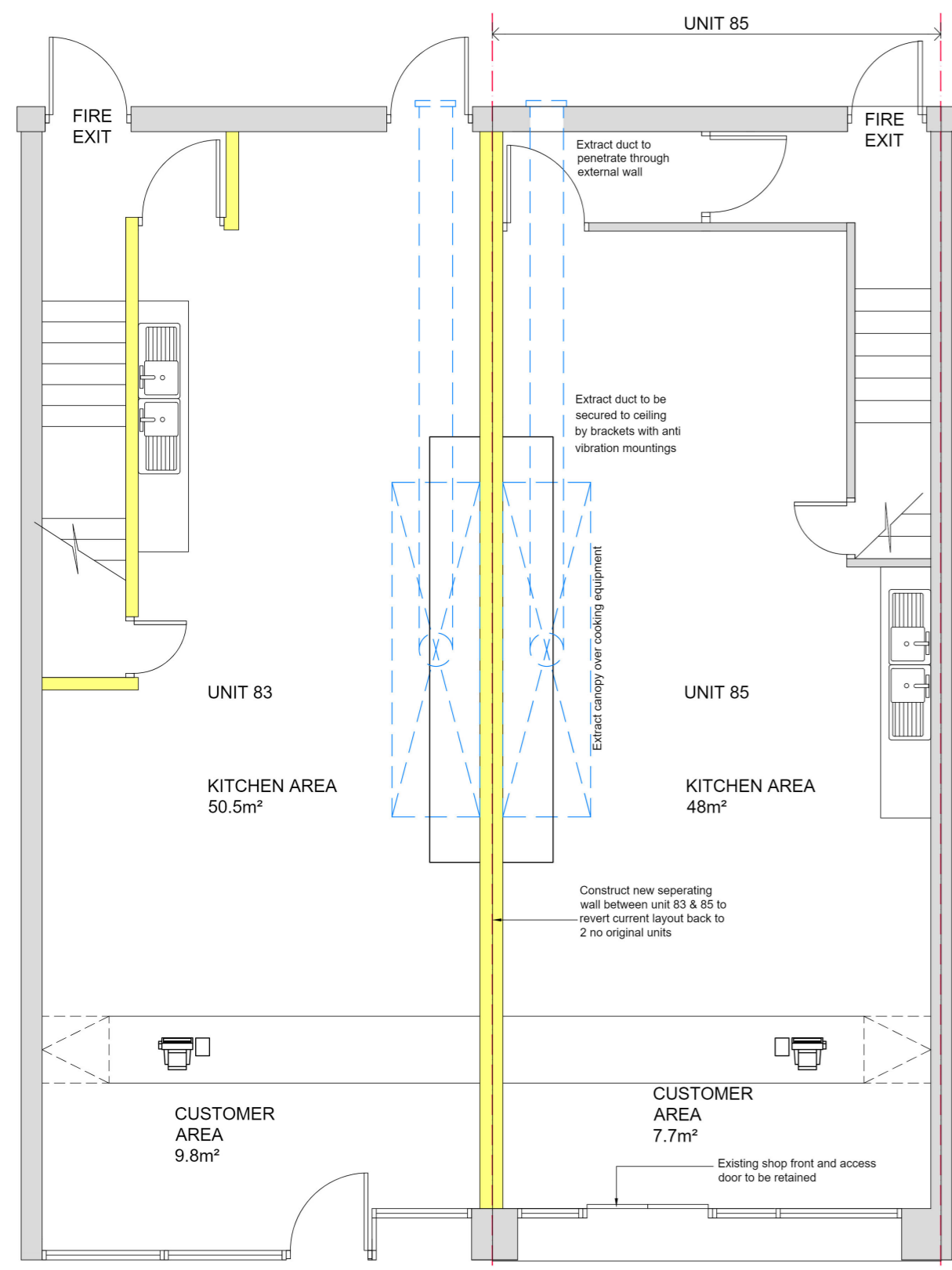
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SCALE 1:200



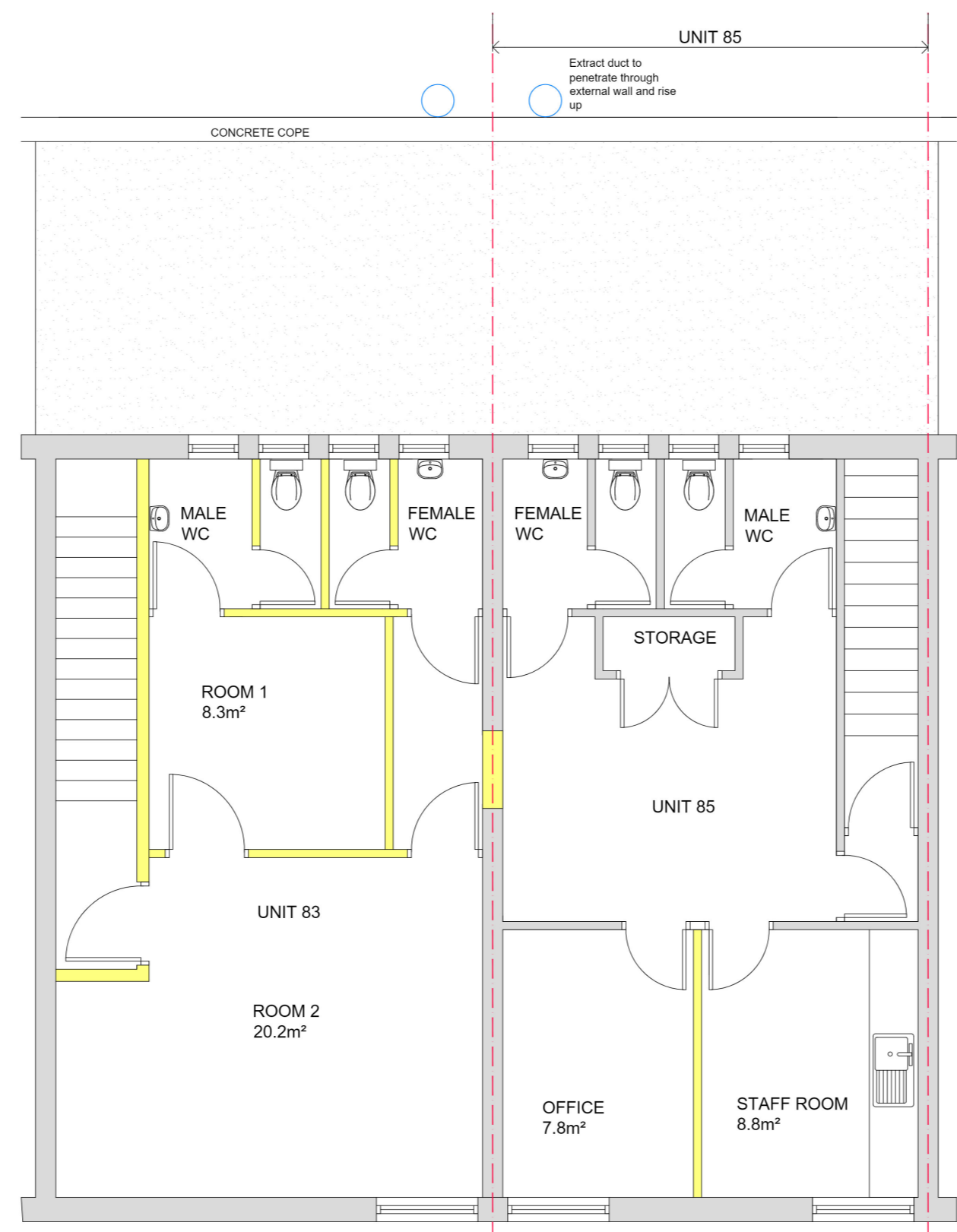
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SCALE 1:50



**PROPOSED REAR ELEVATION**  
SCALE 1:50



**PROPOSED GROUND FLOOR LAYOUT**  
SCALE 1:50



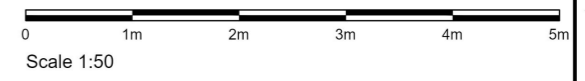
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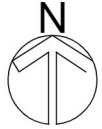


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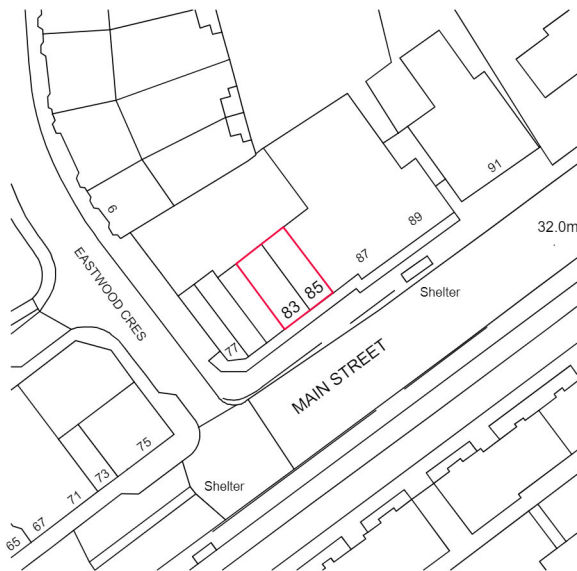
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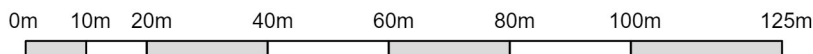


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**LOCATION PLAN - 1:1250**



Scale 1:1250

31  
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project title \_\_\_\_\_

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85 Main Street, Thornliebank  
Glasgow*

drawing title \_\_\_\_\_

*Location Plan*

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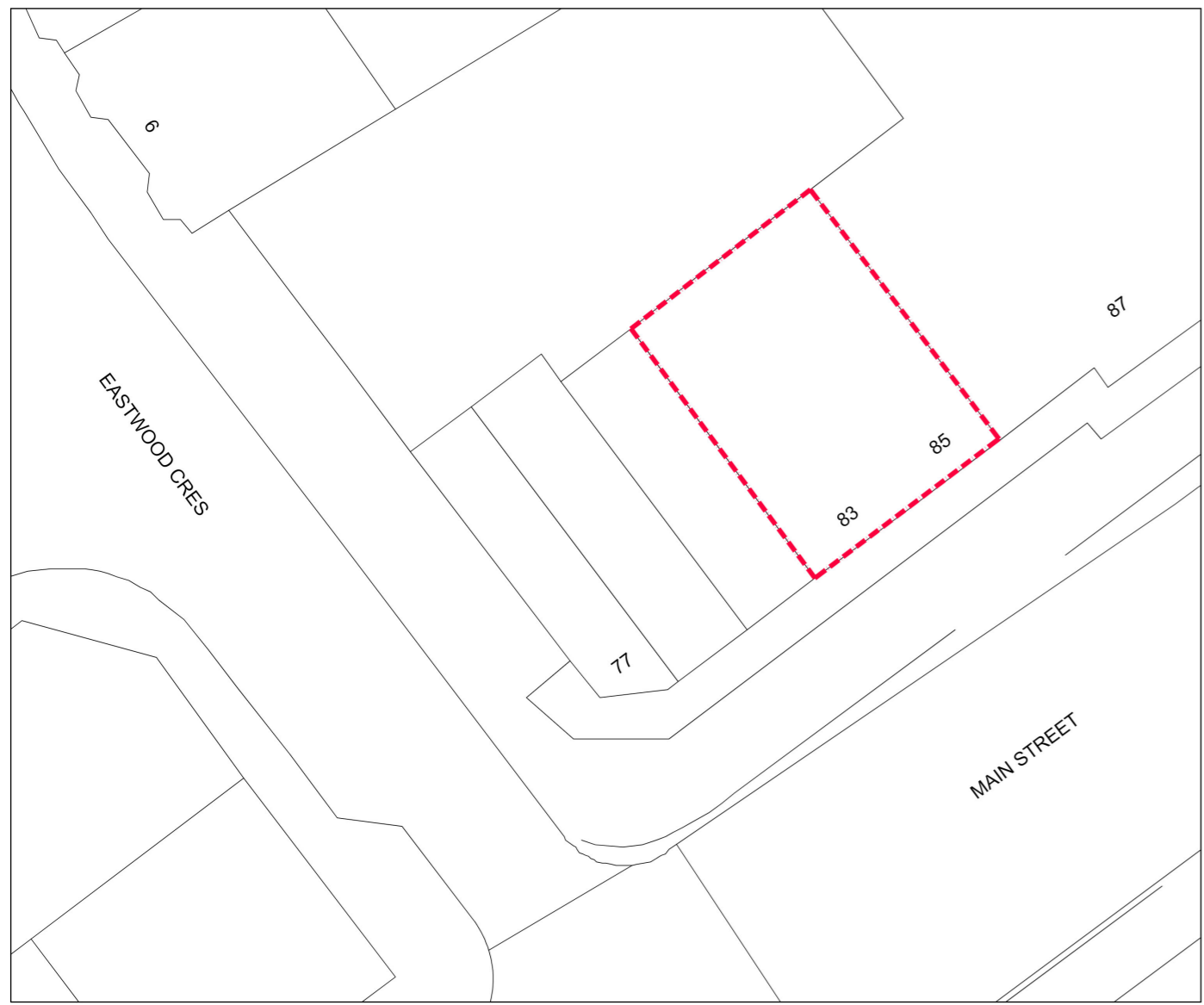
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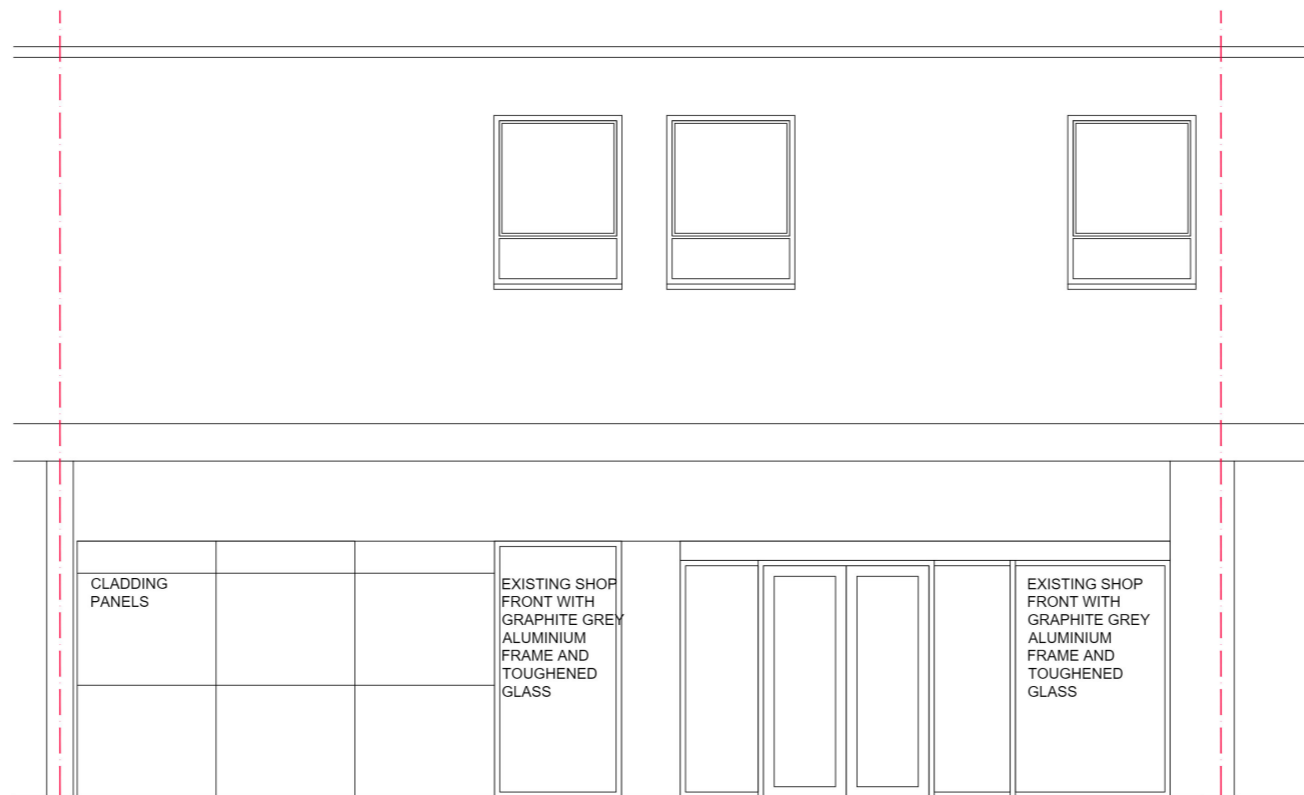
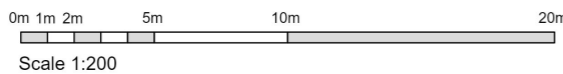
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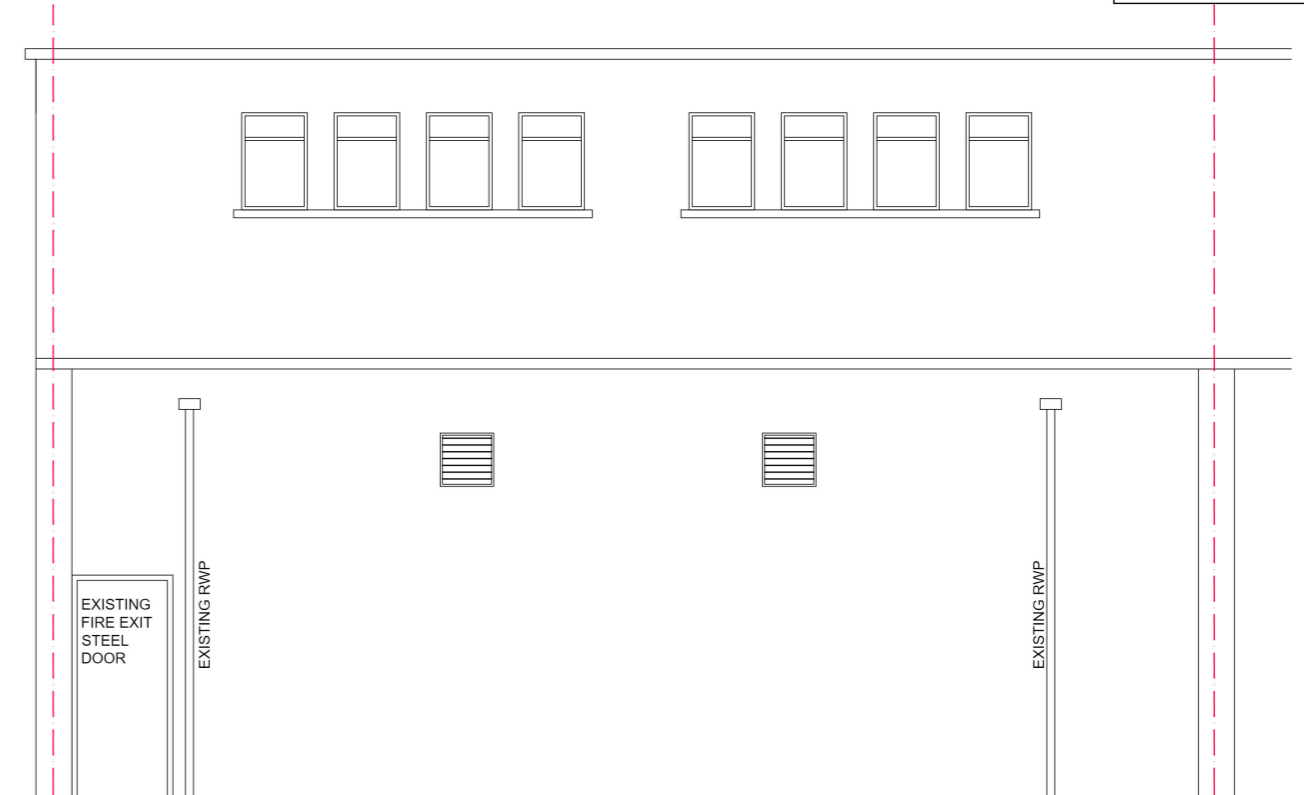




**SITE PLAN**  
SCALE 1:200



**EXISTING FRONT ELEVATION**  
SCALE 1:50

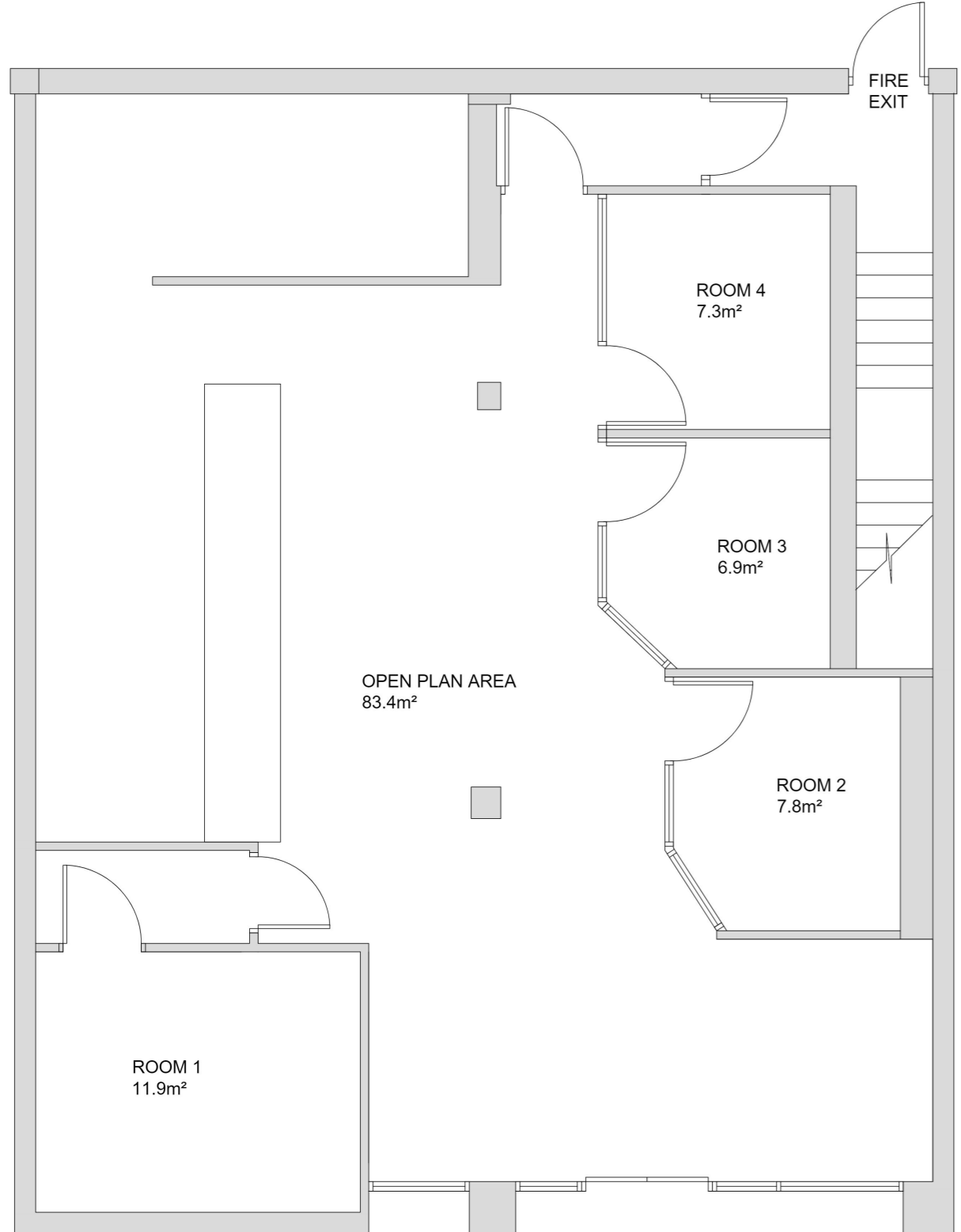


**EXISTING REAR ELEVATION**  
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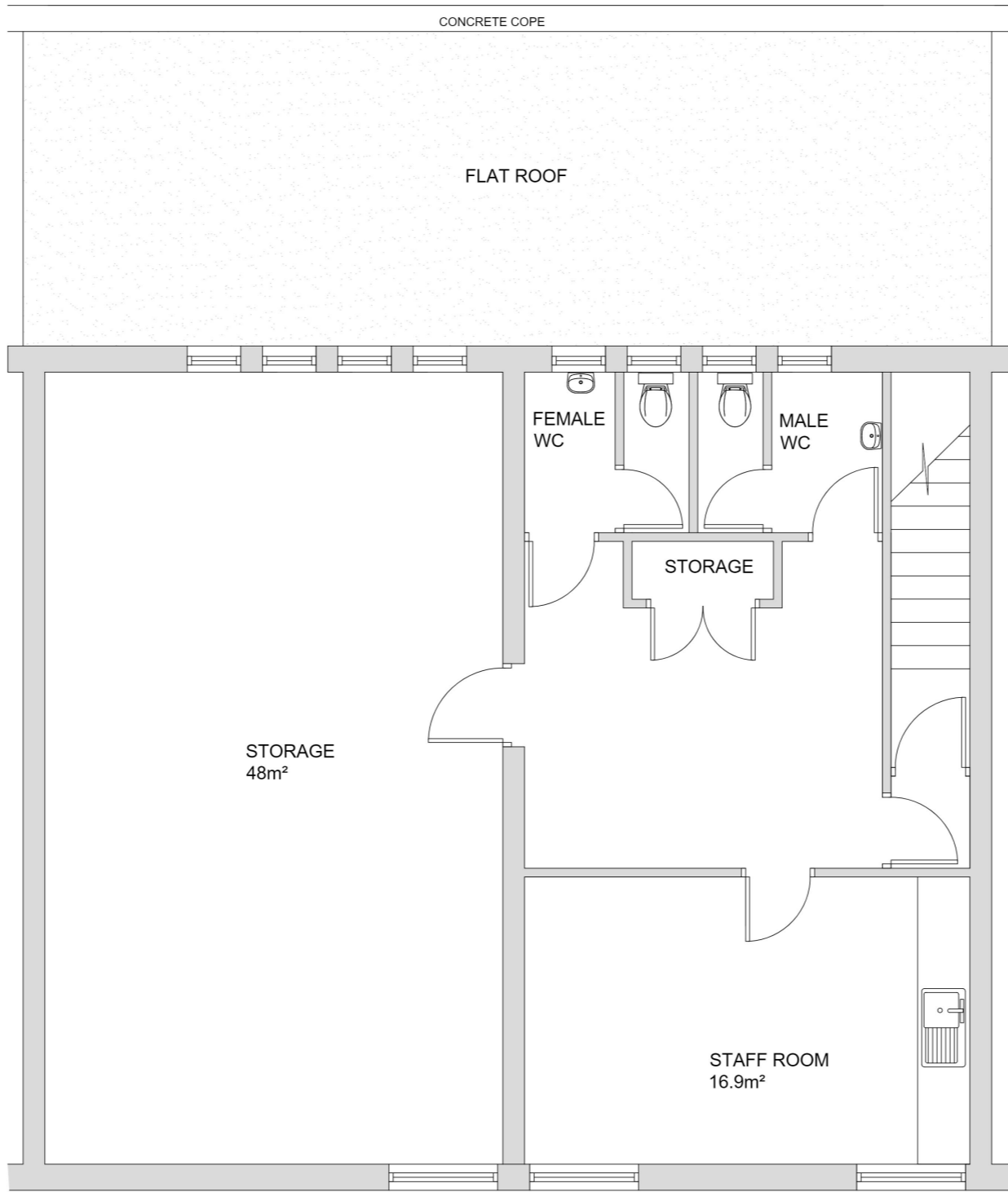
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EXISTING WALLS ———  
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**EXISTING GROUND FLOOR LAYOUT**  
SCALE 1:50



**EXISTING FIRST FLOOR LAYOUT**  
SCALE 1:50



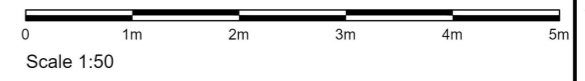
**PHOTO OF FRONT ELEVATION**



**PHOTO OF FRONT ELEVATION**



**PHOTO OF REAR ELEVATION**



<p><b>Hardies</b> PROPERTY &amp; CONSTRUCTION CONSULTANTS</p>	
<p>31 Byres Road Glasgow, G11 5PD</p>	
<p>client <b>Robinbrook Ltd</b></p>	
<p>project <b>Change of Use - Planning 85 Main Street, Thornliebank, Glasgow</b></p>	
<p>drawing title <b>As Existing Layouts &amp; Elevations</b></p>	
<p>status <b>PLANNING</b></p>	
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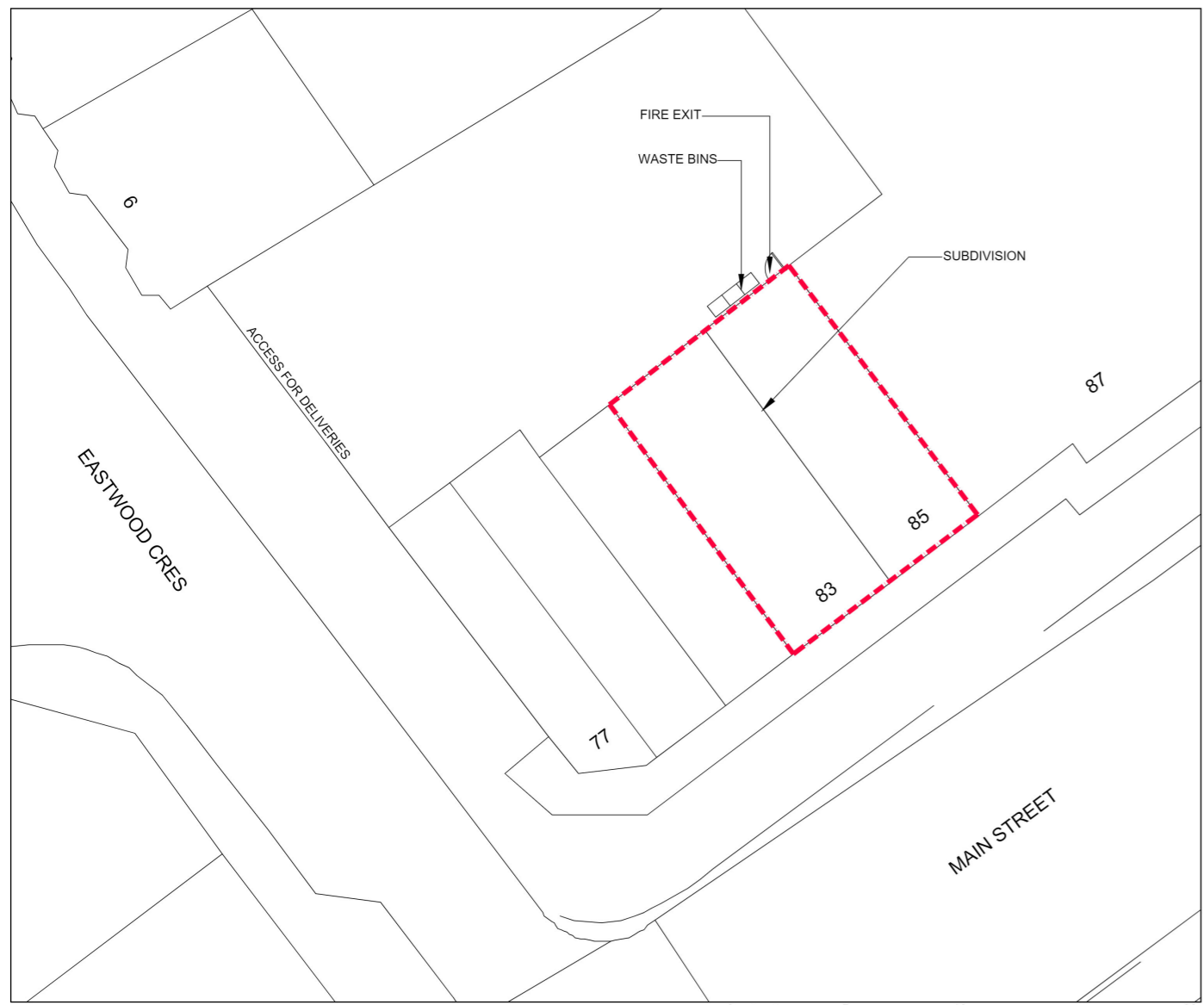
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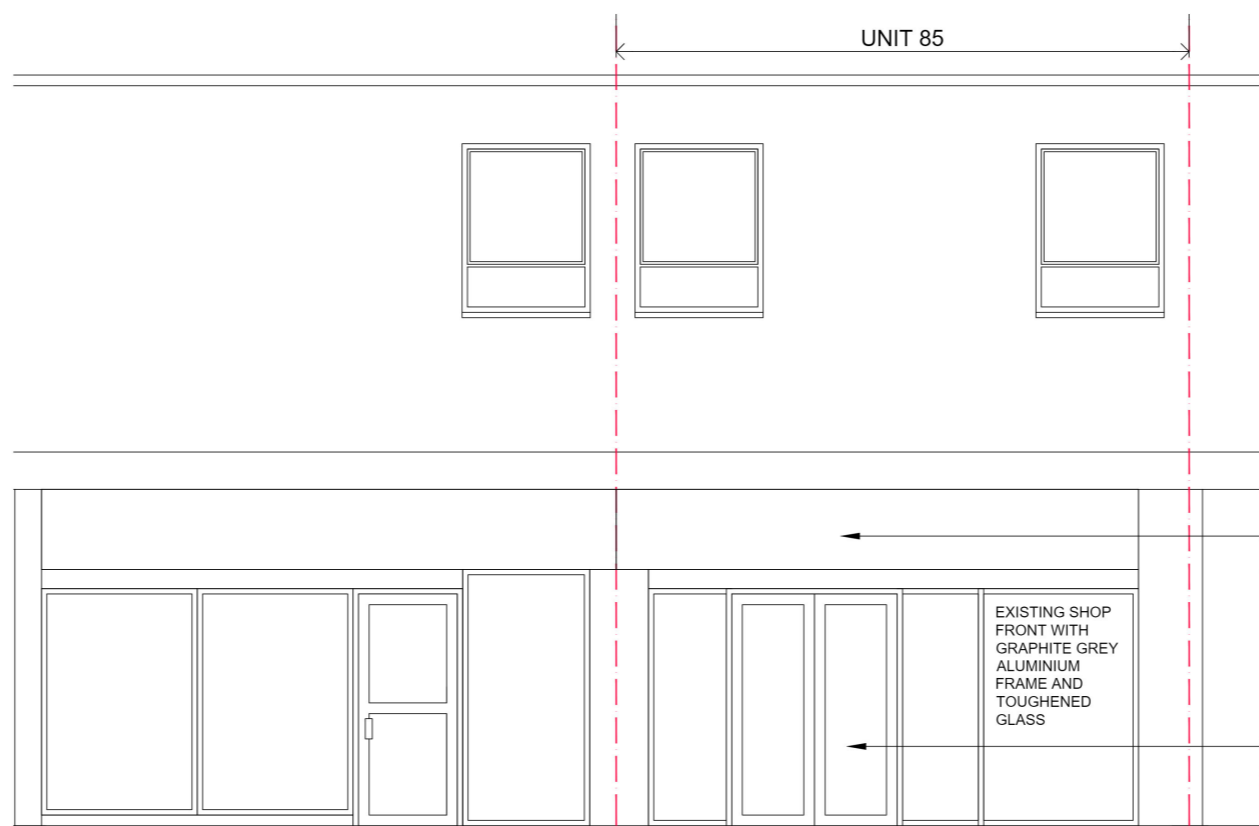
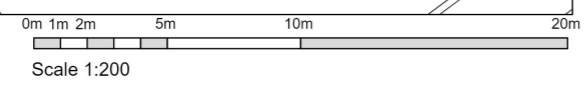
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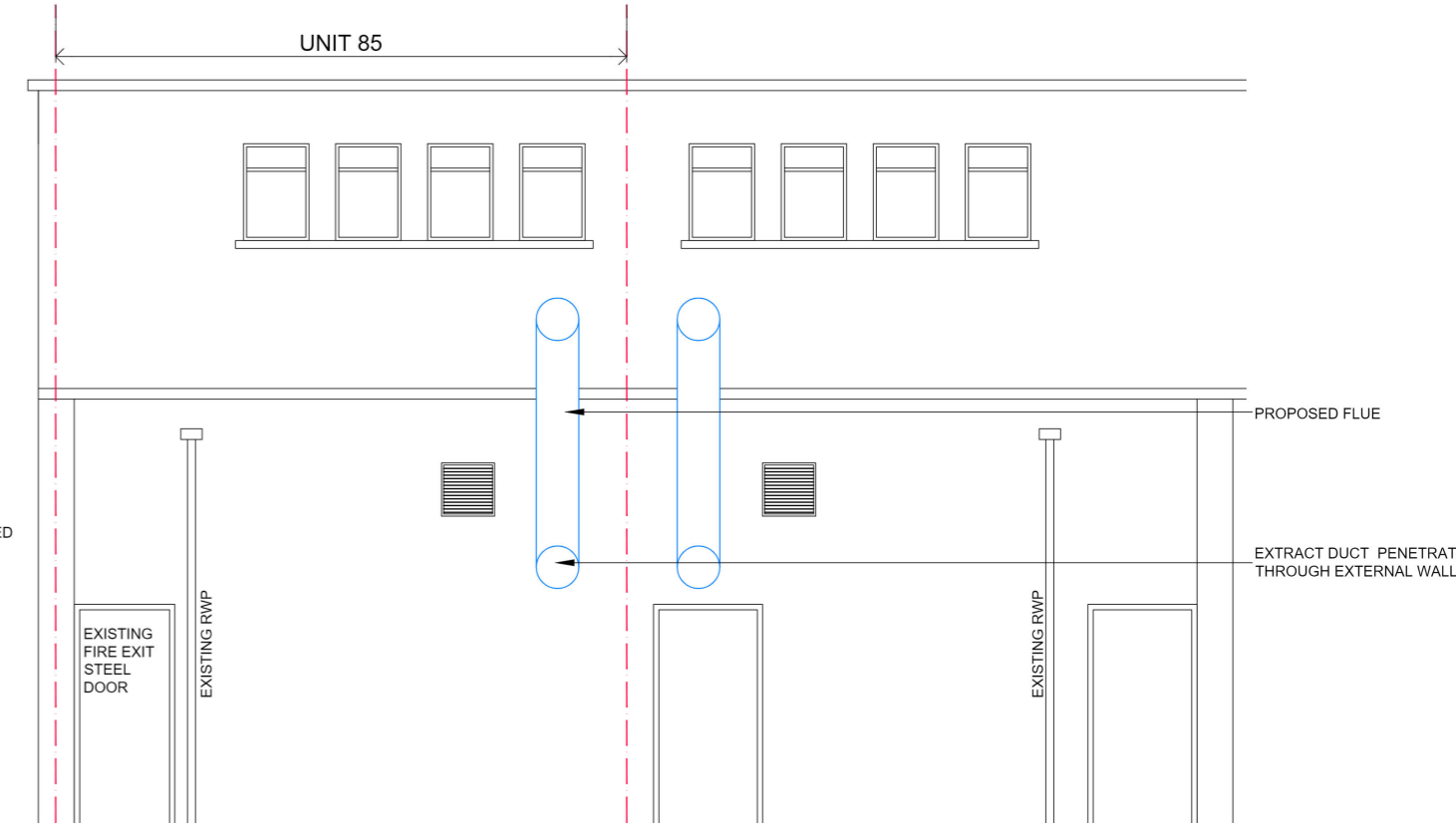
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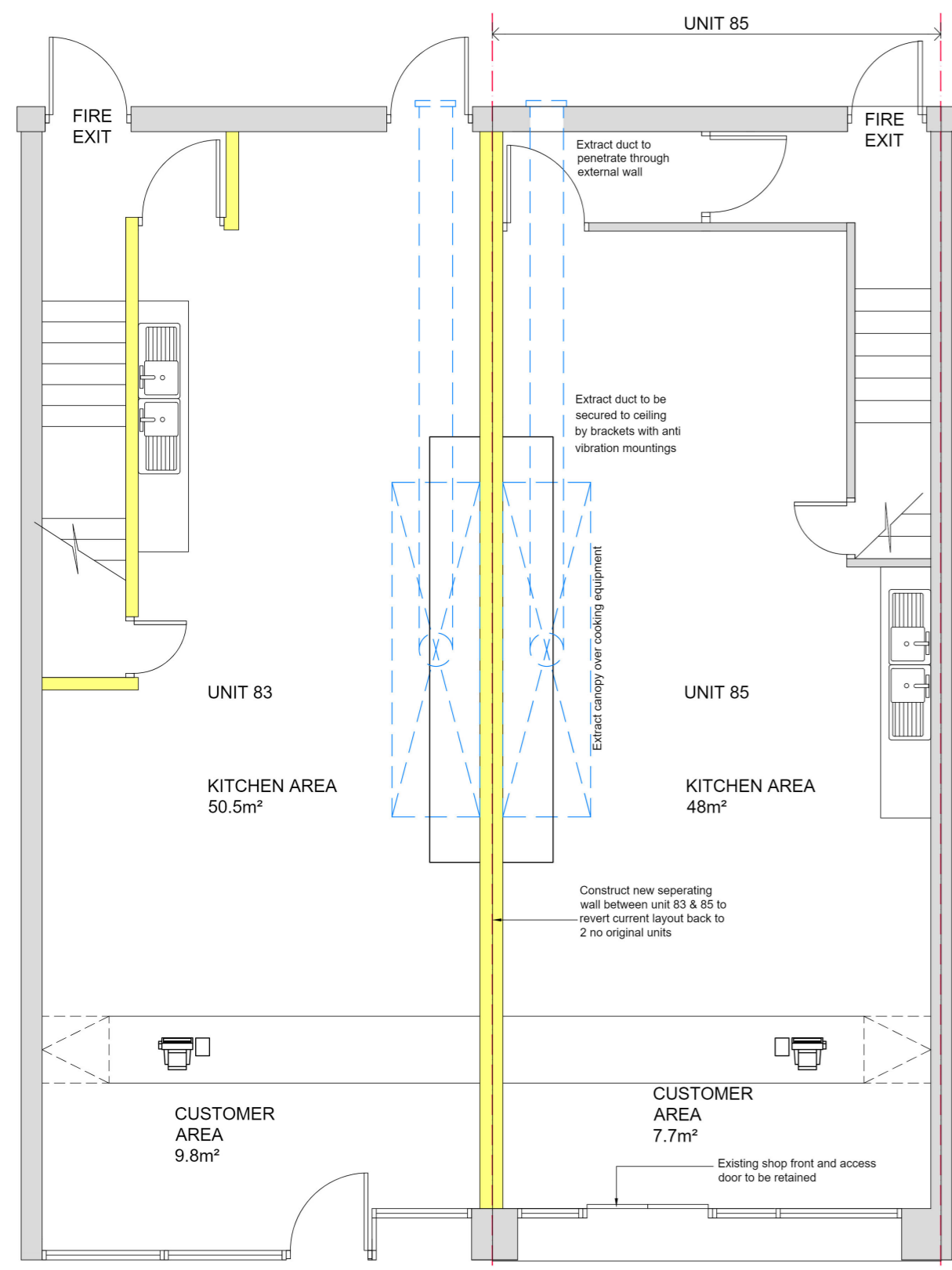
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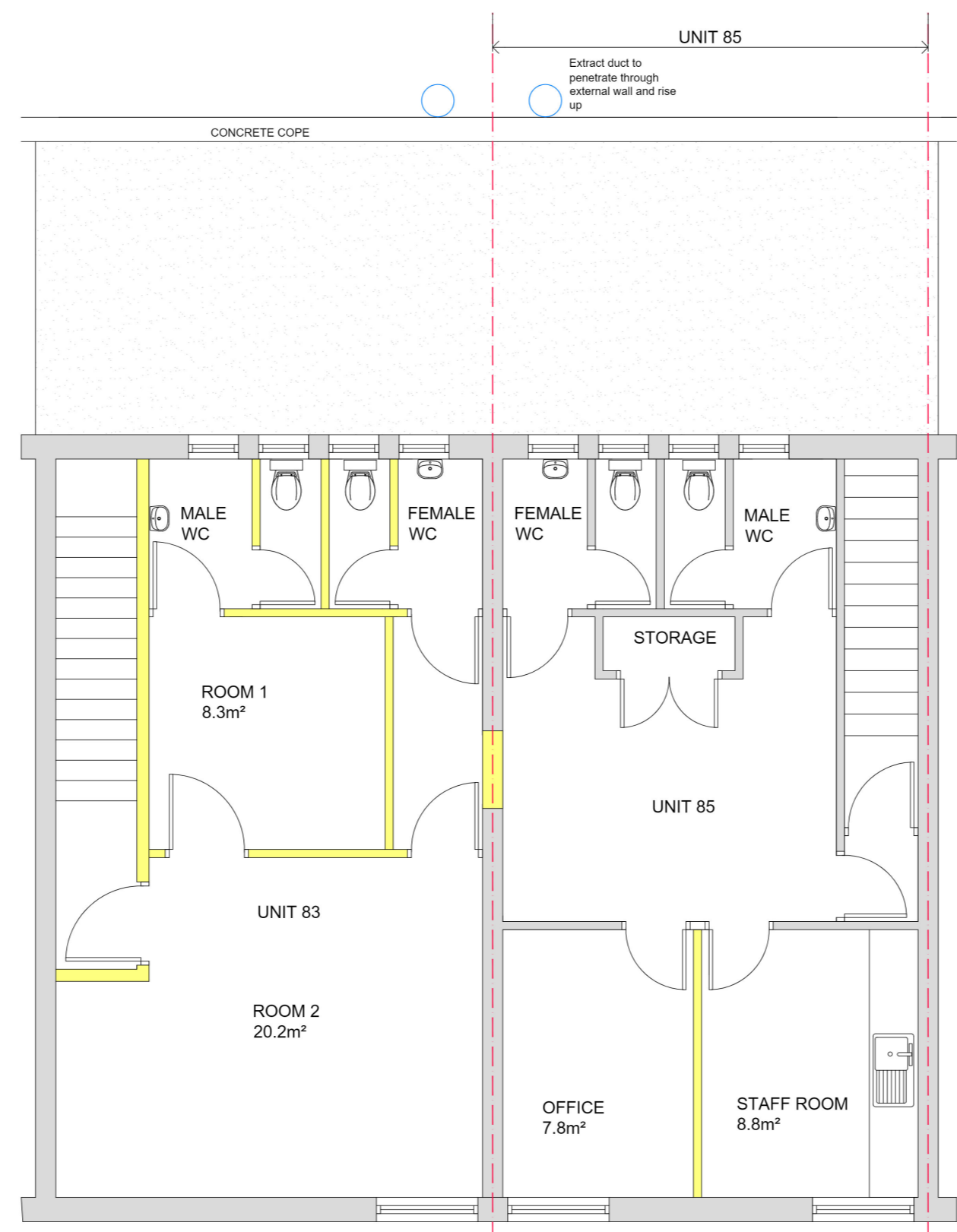
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**PROPOSED REAR ELEVATION**  
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**PROPOSED GROUND FLOOR LAYOUT**  
SCALE 1:50



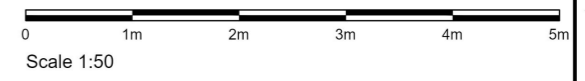
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**REASONING FOR SUBMISSION OF NEW  
INFORMATION**

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East Renfrewshire Council  
2 Spiersbridge Way  
Thornliebank  
Glasgow  
G46 8NG

21<sup>st</sup> July 2022

Dear Sir/Madam,

**Ref No: 2021/0973/TP**  
**Location: Lloyds TSB 85 Main Street Thornliebank East Renfrewshire G46 7RY**  
**Proposal: Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear.**

East Renfrewshire Council Environmental Health Service and East Renfrewshire Council Roads Service departments have not raised any objections.

We refer to reason number 1 of the refusal letter – over provision and concentration of hot food takeaways.

J&E Shepherd our marketing agency has been actively marketing 85 Main Street Thornliebank for over 6 months. The units have been marketed as available either in whole or in part. Since the beginning of the marketing, the proposed use of all enquiries has been that for the use as a Hot Food Takeaway (Sui Generis) details of the enquiries are attached as proof to this submission.

Since the beginning of J&E Shepherds instruction to market this unit, we have had no enquiries for continued use as a Class 2 premises. The refusal of our application for change of use is therefore actively contributing to the vacancy of these premises and the deterioration of this neighbourhood parade.

Whilst we appreciate and accept that there are other hot food takeaway (sui generis) operators within the parade, we would like to point out that both Greggs and Subway operate under a Class 1 use, therefore we would argue that our application for change of use does not contribute to a concentration of hot food takeaways within the parade.

We also believe it is not the over concentration of hot food takeaways that has eroded the mix and diversity of retail and non-retail uses within the neighbourhood centre. The main cause that has diminished the mix and diversity of retail shops is that of online shopping that has taken over from the high streets and caused the high street to erode.



We would wish for our application to be reviewed once more on the basis of the above and for consideration to be given to our application for change of use.

Yours Faithfully  
Ayesha Munir BSc MSc  
**Architectural Technician**  
**For and on behalf of**  
**HARDIES LLP**

31 Byres Road, Glasgow, G11 5RD T: 0141 331 2807 E: [glasgow@hardies.co.uk](mailto:glasgow@hardies.co.uk)  
[www.hardies.co.uk](http://www.hardies.co.uk)



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△ Glasgow      △ Inverness      △ Perth      △ St Andrews      △ Stirling

Elaine Duncan

---

**Subject:** FW: 21-1540 - 83 & 85 Main Street, Thornliebank (Arch)

Elaine Duncan  
Secretary  
Hardies Property & Construction Consultants  
T: 01383 731841  
W: [www.hardies.co.uk](http://www.hardies.co.uk)

---

**From:** Adam Honeyman <[a.honeyman@shepherd.co.uk](mailto:a.honeyman@shepherd.co.uk)>  
**Sent:** 06 July 2022 11:17  
**To:** Jennifer Patrick <[J.Patrick@shepherd.co.uk](mailto:J.Patrick@shepherd.co.uk)>; Ayesha Munir <[ayesha.munir@hardies.co.uk](mailto:ayesha.munir@hardies.co.uk)>  
**Cc:** Calvin Molinari <[c.molinari@shepherd.co.uk](mailto:c.molinari@shepherd.co.uk)>  
**Subject:** RE: 21-1540 - 83 & 85 Main Street, Thornliebank (Arch)

Hi Ayesha,

Each of these interests are for a class 3 takeaway use and we are confident that a deal could have been struck with them providing this use was granted.

Kind regards

**Adam Honeyman** MA (Hons) MRICS  
Associate

f in

 RICS  
Regulated by RICS

Shepherd Chartered Surveyors  
31 Byres Road  
Glasgow G11 5RD

Tel: 0141 331 2807 Mobile: 07720 466035  
Email: [a.honeyman@shepherd.co.uk](mailto:a.honeyman@shepherd.co.uk)  
[www.shepherd.co.uk](http://www.shepherd.co.uk)

One triangle  
all angles covered

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**From:** Jennifer Patrick <[J.Patrick@shepherd.co.uk](mailto:J.Patrick@shepherd.co.uk)>  
**Sent:** 06 July 2022 11:03  
**To:** Ayesha Munir <[ayesha.munir@hardies.co.uk](mailto:ayesha.munir@hardies.co.uk)>  
**Cc:** Adam Honeyman <[a.honeyman@shepherd.co.uk](mailto:a.honeyman@shepherd.co.uk)>; Calvin Molinari <[c.molinari@shepherd.co.uk](mailto:c.molinari@shepherd.co.uk)>  
**Subject:** 21-1540 - 83 & 85 Main Street, Thornliebank (Arch)

Hi Ayesha,

See below all enquiries in relation to the above.

Thanks

0	APPLICANT	ASSIGNED TO	DATE OF INTEREST
D		jpatrick	13Apr2022
D		jpatrick	14Apr2022
D		jpatrick	14Apr2022
<input type="checkbox"/>		jpatrick	14Apr2022
<input type="checkbox"/>		jpatrick	15 Jun 2022

**From:** Ayesha Munir <[ayesha.munir@hardies.co.uk](mailto:ayesha.munir@hardies.co.uk)>  
**Sent:** 05 July 2022 09:32  
**To:** Adam Honeyman <[a.honeyman@shepherd.co.uk](mailto:a.honeyman@shepherd.co.uk)>  
**Cc:** Neil Smith <[neil.smith@hardies.co.uk](mailto:neil.smith@hardies.co.uk)>  
**Subject:** 21-1540 - 83 & 85 Main Street, Thornliebank (Arch)

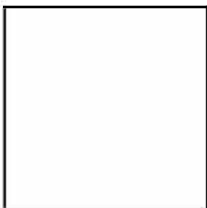
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Morning Adam,

Can you please forward any queries that you have received for hot food takeaway? Any proof for potential tenant for hot food take away? I will submit all this information with my Notice of Review.

Regards  
Ayesha

**Ayesha Munir MSc, ACIAT**  
**Architectural Technologist**



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 Glasgow  
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**From:** a.honeyman <a.honeyman@shepherd.co.uk>  
**Sent:** 11 October 2022 16:40  
**To:** Bernard Jackson <bcjackson10@aol.com>; Ayesha Munir <ayesha.munir@hardies.co.uk>  
**Cc:** Neil Smith <neil.smith@hardies.co.uk>  
**Subject:** RE: 21-1540 - 83 & 85 Main Street, Thornliebank (Arch)

Ayesha/all.

I can confirm that to date we have had three further interests in the subject property. All three interests were to utilise the space for Class 3 use and we have had zero interest for any other use since marketing.

Kind regards

	<b>Adam Honeyman</b> MA (Hons) MRICS Associate	<b>Shepherd Chartered Surveyors</b> 2 <sup>nd</sup> Floor, Afton House, 26 West Nile Street, Glasgow G1 2PF
	  	Tel: 0141 331 2807 Mobile: 07720 466035
	 	Email: a.honeyman@shepherd.co.uk
	Regulated by RICS	www.shepherd.co.uk

<p>One triangle all angles covered</p> <p>RESIDENTIAL COMMERCIAL PROPERTY &amp; CONSTRUCTION</p>	 <b>SHEPHERD</b> CHARTERED SURVEYORS <a href="http://www.shepherd.co.uk">www.shepherd.co.uk</a>
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**From:** Bernard Jackson <bcjackson10@aol.com>  
**Sent:** 10 October 2022 16:03  
**To:** Ayesha Munir <ayesha.munir@hardies.co.uk>  
**Cc:** Neil Smith <neil.smith@hardies.co.uk>; Adam Honeyman <a.honeyman@shepherd.co.uk>  
**Subject:** Re: 21-1540 - 83 & 85 Main Street, Thornliebank (Arch)

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Hi Ayesha

Having just received an email from Victoria. I checked my mail and retrieved your email below from my spam box.

Yes I approve and please proceed.

Can Adam confirm if there has been any more interest in the units. Is it feasible for Adam to further confirm the only interest to date has been for class 3 use and send/update a copy to the planning department to demonstrate the only enquiries to date is still only for class 3 use.

Kind regards  
Bernard Jackson  
pp Robinbrook Ltd

On Wednesday, 28 September 2022, 11:16:44 BST, Ayesha Munir <[ayesha.munir@hardies.co.uk](mailto:ayesha.munir@hardies.co.uk)> wrote:

Hi Bernard

Attached are building warrant drawings for the units representing the sub-division.

I have not shown the heaters and the AC units on our drawings and this information will only be provided if asked by the Building Control.

The minimum we need is power in the individual unit for lighting and emergency lighting. We are proposing to keep the existing meter for No. 85 and install a new one for No. 83.

In No 83, I have shown a disabled toilet on the ground floor instead of having toilets on the first floor.

After your approval, I can forward these drawings to Structural Engineer for the structural input. I can submit the warrant application tomorrow and structural drawings can be submitted later on. This will speed up our warrant application process.

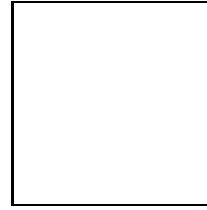
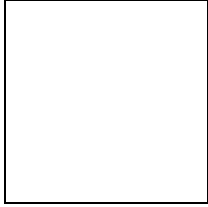
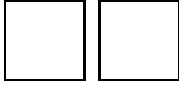
Let me know of your thoughts.

Regards

Ayesha



**Ayesha Munir** MSc, ACIAT  
**Architectural Technologist**



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