

Business Operations and Partnerships Department

Director of Business Operations & Partnerships: Louise Pringle

Council Headquarters, Eastwood Park, Giffnock, East Renfrewshire, G46 6UG

Phone: 0141 577 3000

website: www.eastrenfrewshire.gov.uk

Date: 4 November 2022

When calling please ask for: Eamonn Daly (Tel No. 0141 577 3023)

e-mail:- eamonn.daly@eastrenfrewshire.gov.uk

TO: Councillors B Cunningham (Chair), J McLean (Vice Chair), P Edlin, A Ireland, C Lunday, M Montague and A Morrison.

LOCAL REVIEW BODY

A meeting of the Local Review Body will be held in the Council Chamber, Council Headquarters, Eastwood Park, Giffnock on **Wednesday, 9 November 2022 at 2:30pm**

Site visits will be held prior to the meeting.

The agenda of business is as shown below.

Louise Pringle

L PRINGLE

DIRECTOR OF BUSINESS OPERATIONS & PARTNERSHIPS

AGENDA

1. **Report apologies for absence.**
2. **Declarations of Interest.**
3. **Notice of Review – Review 2022/08 – Alterations to existing side dormer to increase its size and erection of dormer to rear of dwelling. 15 Nethercliffe Avenue, Netherlee, East Renfrewshire, G44 3UW. (Ref No:- 2021/0999/TP). Report by Director of Business Operations and Partnerships (copy attached, pages 3 - 72).**
4. **Notice of Review – Review 2022/09 – Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear. Lloyds TSB, 85 Main Street, Thornliebank, East Renfrewshire, G46 7RY. (Ref No:- 2021/0973/TP) Report by Director of Business Operations and Partnerships (copy attached, pages 73 - 156).**
5. **Notice of Review – Review 2022/10 – Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear and formation of new shop front. Lloyds TSB, 83 Main Street, Thornliebank, East Renfrewshire, G46 7RY. (Ref No:- 2021/0972/TP) Report by Director of Business Operations and Partnerships (copy attached, pages 157 - 240).**

6. **Notice of Review – Review 2022/11 – Erection of detached two and one-half storey dwelling. (Amendment to Planning Permission Ref: 2021/0693/TP to allow alterations, deleting basement and alterations to roof profile). 29 Rouken Glen Road, Giffnock, East Renfrewshire, G46 7EL. (Ref No:- 2022/0242/TP) Report by Director of Business Operations and Partnerships (copy attached, pages 241 - 376).**

This document can be explained to you in other languages and can be provided in alternative formats such as large print and Braille. For further information, please contact Customer First on 0141 577 3001 or email customerservices@eastrenfrewshire.gov.uk

A recording of the meeting will also be available following the meeting on the Council's YouTube Channel <https://www.youtube.com/user/eastrenfrewshire/videos>

EAST RENFREWSHIRE COUNCILLOCAL REVIEW BODY9 November 2022Report by Director of Business Operations and PartnershipsREVIEW OF CASE - REVIEW/2022/08**ALTERATIONS TO EXISTING SIDE DORMER TO INCREASE ITS SIZE AND ERECTION OF DORMER TO REAR OF DWELLING****PURPOSE OF REPORT**

1. The purpose of the report is to present the information currently available to allow a review of the decision taken by officers, in terms of the Scheme of Delegation made in terms of Section 43A of the Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 in respect of the application detailed below.

DETAILS OF APPLICATION

2. Application type: Full Planning Permission (Ref No:- 2021/0999/TP).
- Applicant: Mrs Fiona O'Donnell
- Proposal: Alterations to existing side dormer to increase its size and erection of dormer to rear of dwelling.
- Location: 15 Nethercliffe Avenue, Netherlee, East Renfrewshire, G44 3UW.
- Council Area/Ward: Clarkston, Netherlee and Williamwood (Ward 4).

REASON FOR REQUESTING REVIEW

3. The applicant has requested a review on the grounds that the Council's Appointed Officer refused the application.

RECOMMENDATIONS

4. The Local Review Body is asked to:-
- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
 - (i) it proceeds to determine whether the decision taken in respect of the application under review should be upheld, reversed or varied; and
 - (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed; or

- (b) that in the event that further procedure is required to allow it to determine the review, consider:-
 - (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

BACKGROUND

5. At the meeting of the Council on 29 April 2009, consideration was given to a report by the Director of Environment seeking the adoption of a new Scheme of Delegation in terms of the new Section 43A of the Town and Country Planning (Scotland) Act 1997, subject to approval of the scheme by Scottish Ministers.

6. The report provided details of the new hierarchy of developments that took effect from 6 April 2009 explaining that the Scheme of Delegation related to those applications within the "local development" category as set out in the Town and Country Planning (Hierarchy of Development) (Scotland) Regulations 2009, but would in future be determined by an "appointed officer". In the Council's case this would be either the Director of Environment or the Head of Roads, Planning and Transportation Service now designated the Head of Environment (Operations).

7. The report highlighted that historically appeals against planning decisions were dealt with by Scottish Ministers. However, following the introduction of the new planning provisions which came into effect on 3 August 2009 all appeals against decisions made in respect of local developments under delegated powers would be heard by a Local Review Body. The Local Review Body would also deal with cases where the appointed officer had failed to determine an application within two months from the date it was lodged.

NOTICE OF REVIEW – STATEMENT OF REASONS FOR REQUIRING THE REVIEW

8. The applicant in submitting the review has stated the reasons for requiring the review of the determination of the application. A copy of the applicant's Notice of Review and Statement of Reasons including appeal statement is attached as Appendix 4.

9. The applicant is entitled to state a preference for the procedure (or combination of procedures) to be followed by the Local Review Body in the determination of the review and has detailed in their opinion that this review can continue to conclusion based on the assessment of the review documents only, with no further procedure.

10. The Local Review Body is not bound to accede to the applicant's request as to how it will determine the review and will itself decide what procedure will be used in this regard.

11. At the meeting of the Local Review Body on 10 August 2016, it was decided that the Local Review Body would carry out unaccompanied site inspections for every review case it received prior to the cases being given initial consideration at a meeting of the Local Review Body.

12. In accordance with the above decision, the Local Review Body will carry out an unaccompanied site inspection on Wednesday, 9 November 2022 before the meeting of the Local Review Body which begins at 2.30pm.

INFORMATION AVAILABLE TO ALLOW REVIEW OF APPLICATION

13. Section 43B of the Planning etc (Scotland) Act 2006 restricts the ability of parties to introduce new material at the review stage. The Local Review Body is advised that the focus of the review should, therefore, be on the material which was before the officer who dealt with the application under the Scheme of Delegation.

14. The information detailed below is appended to this report to assist the Local Review Body in carrying out the review of the decision taken by the Appointed Officer:-

- (a) Application for planning permission – Appendix 1 (Pages 7 - 18);
- (b) Report of Handling by the planning officer under the Scheme of Delegation - Appendix 2 (Pages 19 -28);
- (c) Decision notice and reasons for refusal - Appendix 3 (Pages 29 - 32); and
- (e) A copy of the applicant's Notice of Review and Statement of Reasons including appeal statement - Appendix 4 (Pages 33 - 60).

15. The applicant has also submitted the drawings listed below and these are attached in the applicant's Notice of Review and Statement of Reasons - Appendix 4 and in the Plans and Drawings - Appendix 5 (Pages 61 - 72).

- (a) Plans: Existing Plan; Existing Elevations; Sketch 1; Sketch 2; Sketch 3; and Sketch Proposal by Ian Walker which final plan was based on;
- (b) Existing Elevations;
- (c) Existing First Floor Plan;
- (d) Existing Ground Floor Plan;
- (e) Existing Section;
- (f) Specifications;
- (g) Refused – A1437.21.01 Location Plan;
- (h) Refused – A1437.21.06 Proposed First Floor Plan;
- (i) Refused – A1437.21.07 Proposed Section;
- (j) Refused – A1437.21.08 Proposed Elevations; and
- (k) Refused – A1437.21.10 Proposed Section East to West.

16. The Local Review Body is advised that initial consultation responses and representations received if any, relating to the application will be listed in the planning officer's Report of Handling.

17. All the documents referred to in this report can be viewed online on the Council's website at www.eastrenfrewshire.gov.uk.

RECOMMENDATIONS

18. The Local Review Body is asked to:-

- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
 - (i) it proceeds to determine whether the decisions taken in respect of the application under review should be upheld, reversed or varied; and
 - (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed; or
- (b) In the event that further procedure is required to allow it to determine the review, consider:-
 - (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

Report Author: Sharon McIntyre

Director – Louise Pringle, Director of Business Operations and Partnerships

Sharon McIntyre, Committee Services Officer
e-mail: sharon.mcintyre@eastrenfrewshire.gov.uk
Tel: 0141 577 3011

Date:- October 2022

APPLICATION FORM

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100517197-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Type of Application

What is this application for? Please select one of the following: *

- Application for planning permission (including changes of use and surface mineral working).
- Application for planning permission in principle.
- Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- Application for Approval of Matters specified in conditions.

Description of Proposal

Please describe the proposal including any change of use: * (Max 500 characters)

Loft extension to increase siz of small bed room and form new shower room on rear roof

Is this a temporary permission? *

Yes No

If a change of use is to be included in the proposal has it already taken place?
(Answer 'No' if there is no change of use.) *

Yes No

Has the work already been started and/or completed? *

No Yes – Started Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	Keith Edwards Architect		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Keith	Building Name:	0/2
Last Name: *	Edwards	Building Number:	2
Telephone Number: *	01413410694	Address 1 (Street): *	Caledon Street
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Glasgow
Fax Number:		Country: *	Scotland
		Postcode: *	G12 9DX
Email Address: *	keith@ke-architect.com		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Mrs	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	
First Name: *	Fiona	Building Number:	15
Last Name: *	O'Donnell	Address 1 (Street): *	Nethercliffe Avenue
Company/Organisation		Address 2:	Netherlee
Telephone Number: *		Town/City: *	Glasgow
Extension Number:		Country: *	Scotland
Mobile Number:		Postcode: *	G44 3uW
Fax Number:			
Email Address: *			

Site Address Details

Planning Authority:

East Renfrewshire Council

Full postal address of the site (including postcode where available):

Address 1:

15 NETHERCLIFFE AVENUE

Address 2:

NETHERLEE

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

GLASGOW

Post Code:

G44 3UW

Please identify/describe the location of the site or sites

Northing

658569

Easting

257740

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

Yes No

Pre-Application Discussion Details Cont.

In what format was the feedback given? *

Meeting Telephone Letter Email

Please provide a description of the feedback you were given and the name of the officer who provided this feedback. If a processing agreement [note 1] is currently in place or if you are currently discussing a processing agreement with the planning authority, please provide details of this. (This will help the authority to deal with this application more efficiently.) * (max 500 characters)

Discussions on phone and by email were undertaken to amend the initial application which was refused. This was over a period of a couple of months amending details etc. Final sketch approval was given by Ian Walker and the client was informed of this final proposal. This submission is based on the approved sketches by Ian Walker and Fiona Henderson

Title:

Mr

Other title:

First Name:

Ian

Last Name:

Walker

Correspondence Reference Number:

15 Nethercliffe Avenue

Date (dd/mm/yyyy):

11/09/2021

Note 1. A Processing agreement involves setting out the key stages involved in determining a planning application, identifying what information is required and from whom and setting timescales for the delivery of various stages of the process.

Site Area	
Please state the site area:	528.00
Please state the measurement type used:	<input type="checkbox"/> Hectares (ha) <input checked="" type="checkbox"/> Square Metres (sq.m)
Existing Use	
Please describe the current or most recent use: * (Max 500 characters)	
House	
Access and Parking	
Are you proposing a new altered vehicle access to or from a public road? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.	
Are you proposing any change to public paths, public rights of way or affecting any public right of access? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.	
How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?	2
How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *	2
Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).	
Water Supply and Drainage Arrangements	
Will your proposal require new or altered water supply or drainage arrangements? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Do your proposals make provision for sustainable drainage of surface water?? * (e.g. SUDS arrangements) * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Note:-	
Please include details of SUDS arrangements on your plans	
Selecting 'No' to the above question means that you could be in breach of Environmental legislation.	
Are you proposing to connect to the public water supply network? *	
<input type="checkbox"/> Yes	
<input type="checkbox"/> No, using a private water supply	
<input checked="" type="checkbox"/> No connection required	
If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).	

Assessment of Flood Risk

Is the site within an area of known risk of flooding? *

Yes No Don't Know

If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.

Do you think your proposal may increase the flood risk elsewhere? *

Yes No Don't Know

Trees

Are there any trees on or adjacent to the application site? *

Yes No

If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste (including recycling)? *

Yes No

If Yes or No, please provide further details: * (Max 500 characters)

Use existing domestic waste bins

Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? *

Yes No

All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? *

Yes No

Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013? *

Yes No Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

Yes No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

Yes No

Is any of the land part of an agricultural holding? *

Yes No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: Keith Edwards

On behalf of: Mrs Fiona O'Donnell

Date: 20/12/2021

Please tick here to certify this Certificate. *

Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? *

Yes No Not applicable to this application

b) If this is an application for planning permission or planning permission in principal where there is a crown interest in the land, have you provided a statement to that effect? *

Yes No Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? *

Yes No Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? *

Yes No Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? *

Yes No Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? *

Yes No Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- Site Layout Plan or Block plan.
- Elevations.
- Floor plans.
- Cross sections.
- Roof plan.
- Master Plan/Framework Plan.
- Landscape plan.
- Photographs and/or photomontages.
- Other.

If Other, please specify: * (Max 500 characters)

Provide copies of the following documents if applicable:

- | | |
|--|--|
| A copy of an Environmental Statement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Design Statement or Design and Access Statement. * | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A |
| A Flood Risk Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Drainage/SUDS layout. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Transport Assessment or Travel Plan | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Contaminated Land Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Habitat Survey. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Processing Agreement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |

Other Statements (please specify). (Max 500 characters)

Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mr Keith Edwards

Declaration Date: 20/12/2021



Keith Edwards Architect

[2 Caledon Street, Dowanhill, Glasgow...G12 9DX](#) tel : 0141 341 0694 e-mail...keith@ke-architect.com

PLANNING REPORT...

Client Mr & Mrs O'Donnell

Premises 15 Nethercliffe Avenue, Glasgow

Date 15.12.21

This proposal is a redesign based on the former submission and application reference ... 2020/0784/TP, 15 Nethercliffe Avenue, Netherlee, East Renfrewshire

PROPOSAL... The clients require additional facilities at first floor for their growing family. There are no toilet provisions at first floor and the rear bedroom is small and has coomb ceilings starting 300m up from floor level.

This proposal will provide the required toilet facility to the upper floor along with two decent sized bedrooms for client and children. The existing house has pitched roof all round with dormers on south and west elevations. This proposal extends the smaller bedroom to the proposed new extension to rear of property to provide a good sized bedroom without coomb ceilings and new toilet facilities to the north which is required by the family at the upper level.

Having looked round the local area prior to submission the clients were favourably impressed by the variety of extensions and felt that their own property would fit in with the general alteration to houses in the immediate area. The percentage of additions to properties is very high where almost every house has an extension of some kind and many are roof / loft conversions of which this would be an additional but not out of character in proposal.

This amended application was finally given the go ahead by the Planning Officer Ian Walker which was finally agreed with the client who after a period of time has requested the application to be resubmitted and the enclosed plans indicate the final arrangement.

This application is being made within the 12month period of the final refusal notice and appeal for the former application.

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REPORT OF HANDLING

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REPORT OF HANDLING

Reference: 2021/0999/TP

Date Registered: 20 Dec 2021

Application Type: Full Planning Permission

This application is a Local Development

Ward: 4 -Clarkston, Netherlee And Williamwood

Co-ordinates: 257740/:658569

Applicant/Agent:

Applicant:

Mrs Fiona O'Donnell
15 Nethercliffe Avenue
Glasgow
Scotland
G44 3UW

Agent:

Keith Edwards
0/2
2 Caledon Street
Glasgow
Scotland
G12 9DX

Proposal: Alterations to existing side dormer to increase its size and erection of dormer to rear of dwelling

Location: 15 Nethercliffe Avenue
Netherlee
East Renfrewshire
G44 3UW

CONSULTATIONS/COMMENTS: None.

PUBLICITY: None.

SITE NOTICES: None.

SITE HISTORY:

1989/0393/TP	INSTALLATION OF SIDE DORMER WINDOW	Granted	28.08.1989
2016/0641/TP	Erection of single storey rear extension	Granted	30.11.2016
2020/0784/TP	Formation of continuous dormer window extension to side and rear.	Refused	02. 02. 2021

REPRESENTATIONS: No representations have been received.

DEVELOPMENT PLAN & GOVERNMENT GUIDANCE: See Appendix 1

SUPPORTING REPORTS:

ASSESSMENT:

Planning permission is sought for alterations to existing side dormer to increase its size and erection of dormer to rear of a hipped roof bungalow at 15 Nethercliffe Avenue, Netherlee on the corner of Leebank Drive.

This application is a revised scheme from the previously refused dormer proposal and represents a slightly scaled down proposal in terms of the rear dormer being slightly stepped down rather than a continuous extension which formed an 'L' shaped dormer window feature.

The existing house has been altered previously by the introduction of a rear extension and the conversion of the attic. The attic accommodates two bedrooms, each with the benefit of a dormer window, one to the front and one at the side facing Leebank Drive.

The proposal replaces the previous 'L' shape proposal with the increase in size to the existing side dormer and a large rear dormer addition. The rear extension would be set back from the existing side extension, and it is acknowledged that it is a slightly decreased proposal from the previous in terms of massing.

The application requires to be assessed against Policies D1 and D1.1 of the adopted East Renfrewshire Local Development Plan 2. Policy D1 Policy D1 requires that all development should not result in a significant loss of character or amenity to the surrounding area. The policy sets out 17 criteria and is an overarching policy that relates to all placemaking and design elements of proposals.

Policy D.1.1 relates to 'Extensions, Alterations and Redevelopment of Existing Buildings for Residential

Purposes' and is considered more bespoke to this assessment. The policy states that Proposals will be assessed against the following criteria:

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. Should complement the scale and character of the existing building, neighbouring properties and their setting, particularly in terms of style, form and materials;
3. The size, scale and height of any development must be appropriate to and not adversely impact or dominate the existing building;
4. Should not create an unbroken or terraced appearance;
5. Where additional bedrooms are proposed or a garage/driveway is being converted to another use other than for the parking of a vehicle, proposals will be required to provide parking in accordance with the Council's Roads Development Guide; and

6. Should avoid over-development of the site by major loss of existing front and rear garden space. No more than 50% of the rear garden should be occupied by the development.

Nethercliffe Avenue and surrounding streets are dominated by similar hipped roof bungalows and are also characterised by dormer windows. These dormers vary in size and scale but in the main accord with these policy requirements.

The proposed increase in the side dormer and large rear dormer still fails to meet these policies as it still represents an overdevelopment of the roofscape which leads to a distinctly heavy design which has a disruptive impact on the design of the roof and a consequent detrimental impact on the character of the house. The extent of the additional dormer proposed leads to a visually harmful imbalance with the overdeveloped roof becoming the dominant feature. This is exacerbated by the dwellings' corner location which exposes a number of views of the dwelling from public viewpoints and will therefore have a detrimental impact on the character of the immediate area.

It is acknowledged that the density has been reduced and that there are dormer features on a number of dwellings in the area, but the proposal is considered an example of the overdevelopment of a modest roofscape and, in comparison, the built character of the area is more heavily characterised by dormer windows that are policy compliant and of a more modest scale and density.

On balance, the proposed development by combination of scale, massing and siting on the host dwelling, conflicts with local policy requirements and in essence is overdevelopment and goes beyond what could be considered as a dormer window addition. The result is an incongruous addition that will have a dominant and detrimental impact on the appearance of the original house. Furthermore, the proposal is out of keeping with the predominant built form of the area and would significantly detract from its visual continuity on this highly visible corner location.

In conclusion, the proposed dormer additions are considered to be unsympathetic and intrusive additions that will detract from the character and appearance of the property and the immediate area. It is therefore contrary to Policies D1 and D1.1 of the adopted East Renfrewshire Local Development Plan 2.

It is considered that the modest reduction from the previous refused proposal does not overcome the harm. It is acknowledged that there are large dormers in the area, however each case is assessed on its own merits and the effect on this particular dwelling in this location, despite the modifications, are not sufficient to outweigh the harm. It is therefore recommended that the application is refused.

RECOMMENDATION: Refuse

REASON FOR REFUSAL:

1. The proposal is contrary to Policies D1 and D1.1 of the adopted East Renfrewshire Local Development Plan 2 as due to its siting, design and massing it would constitute overdevelopment, resulting in a dominant and incongruous addition to the detriment to both the design and integrity of the original dwellinghouse and the visual amenity and character of the area.

PLANNING OBLIGATIONS: None.

ADDITIONAL NOTES: None

ADDED VALUE: None

BACKGROUND PAPERS:

Further information on background papers can be obtained from planning@eastrenfrewshire.gov.uk

Ref. No.: 2021/0999/TP
(CAPITA)

DATE: 17th May 2022

DIRECTOR OF ENVIRONMENT

Reference: 2021/0999/TP - Appendix 1

DEVELOPMENT PLAN:

Strategic Development Plan

This proposal raises no strategic issues in terms of the Glasgow and the Clyde Valley Strategic Development Plan and therefore the East Renfrewshire Local Plan is the relevant policy document

Adopted East Renfrewshire Local Development Plan 2

Policy D1

Placemaking and Design

Proposals for development within the urban and rural areas should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. Proposals will be assessed against the 6 qualities of a successful place as outlined in SPP, Designing Streets and the Placemaking and Design Supplementary Guidance.

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. The proposal should be appropriate to its location, be high quality and of a size, scale, height, massing and density that is in keeping with the buildings in the locality or appropriate to the existing building and should respect local architecture, building

- form and design;
3. Respect existing building lines and heights of the locality;
 4. Create a well-defined structure of streets, public spaces and buildings;
 5. Ensure the use of high quality sustainable and durable materials, colours and finishes that complement existing development and buildings in the locality;
 6. Respond to and complement site topography and not impact adversely upon the green belt and landscape character, green networks, features of historic interest, landmarks, vistas, skylines and key gateways. Existing buildings and natural features of suitable quality, should be retained and sensitively integrated into proposals including greenspace, trees and hedgerows;
 7. Boundary treatment and landscaping should create a distinctive edge and gateway to the development and reflect local character;
 8. Promote permeable and legible places through a clear sustainable movement hierarchy favouring walking, then cycling, public transport, then the private car as forms of movement;
 9. Demonstrate connectivity through the site and to surrounding spaces via a network of safe, direct, attractive and coherent walking and cycling routes. These must be suitable for all age groups, and levels of agility and mobility to allow for ease of movement from place to place;
 10. Demonstrate that safe and functional pedestrian, cycle and vehicular access, and parking facilities and infrastructure, including for disabled and visitor parking, is provided in accordance with the Council's Roads Development Guide. Where appropriate, proposals will be required to provide secure and accessible shelters, lockers, showers and seating and be designed to meet the needs of all users. Cycle parking and facilities should be located in close proximity to the entrances of all buildings to provide convenience and choice for users;
 11. Incorporate integrated and enhance existing green infrastructure assets, such as landscaping, trees and greenspace, water management and SUDs including access and prioritise links to the wider green network as an integral part of the design process from the outset, in accordance with Policies D4 - D6. New green infrastructure must be designed to protect and enhance the habitat and biodiversity of the area and demonstrate a net gain;
 12. There will be a general presumption against all proposals that involve landraising. Where there is a justifiable reason for landraising, proposals must have regard to the scale and

- visual impact of the resultant changes to the local landscape and amenity. Proposals that adversely impact upon the visual and physical connections through the site and to the surrounding areas will be resisted;
13. Backland development should be avoided;
 14. Provide safe, secure and welcoming places with buildings and spaces, including open spaces, play areas and landscaping, designed and positioned to reduce the scope for anti-social behaviour and fear of crime, improve natural surveillance, passive overlooking, security and street activity;
 15. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by unreasonably restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Guidance;
 16. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the proposal;
 17. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by noise, dust, pollution and smell or poor air quality;
 18. Ensure buildings and spaces are future proof designed to be easily adaptable and flexible to respond to changing social, environmental, technological, digital and economic conditions;
 19. Incorporate provision for the recycling, storage, collection and composting of waste materials; and
 20. Incorporate the use of sustainable design and construction methods and materials in the layout and design to support a low carbon economy.

Proposals must meet the requirements of any development brief prepared by the Council for an allocated site.

Further detailed guidance and information will be set out in the Placemaking and Design Supplementary Guidance, Householder Design Supplementary Guidance and the Daylight and Sunlight Design Supplementary Guidance.

Policy D1.1

Extensions and Alterations to Existing Buildings for Residential Purposes

Proposals will be assessed against the following criteria:

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. Should complement the scale and character of the existing building, neighbouring

- properties and their setting, particularly in terms of style, form and materials;
3. The size, scale and height of any development must be appropriate to and not adversely impact or dominate the existing building;
 4. Should not create an unbroken or terraced appearance;
 5. Where additional bedrooms are proposed or a garage/driveway is being converted to another use other than for the parking of a vehicle, proposals will be required to provide parking in accordance with the Council's Roads Development Guide; and
 6. Should avoid over-development of the site by major loss of existing front and rear garden space. No more than 50% of the rear garden should be occupied by the development.

Further detailed information and guidance will be set out in the Householder Design Guide Supplementary Guidance.

GOVERNMENT GUIDANCE: None

Finalised 17/05/2022 AC(6)

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**DECISION NOTICE
AND
REASONS FOR REFUSAL**

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**TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
(AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(SCOTLAND) REGULATIONS 2013**

REFUSAL OF PLANNING PERMISSION

Ref. No. **2021/0999/TP**

Applicant:

Mrs Fiona O'Donnell
15 Nethercliffe Avenue
Netherlee
Glasgow
Scotland
G44 3uW

Agent:

Keith Edwards
0/2
2 Caledon Street
Glasgow
Scotland
G12 9DX

With reference to your application which was registered on 20th December 2021 for planning permission under the abovementioned Act and Regulations for the following development, viz:-

Alterations to existing side dormer to increase its size and erection of dormer to rear of dwelling.

at: 15 Nethercliffe Avenue Netherlee East Renfrewshire G44 3UW

the Council in exercise of their powers under the abovementioned Act and Regulations hereby refuse planning permission for the said development.

The reason(s) for the Council's decision are:-

1. The proposal is contrary to Policies D1 and D1.1 of the adopted East Renfrewshire Local Development Plan 2 as due to its siting, design and massing it would constitute overdevelopment, resulting in a dominant and incongruous addition to the detriment of both the design and integrity of the original dwellinghouse and the visual amenity and character of the area.

Dated 17th May 2022



Director of Environment
East Renfrewshire Council
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG
Tel. No. 0141 577 3001

The following drawings/plans have been refused

Plan Description	Drawing Number	Drawing Version	Date on Plan
Location Plan	A1437.21.01		
Proposed floor plans	A1437.21.06		
Elevations Proposed	A1437.21.08		
Sections Proposed	A1437.21.07		
Sections Proposed	A1437.21.10		

GUIDANCE NOTE FOR REFUSAL OF LOCAL DEVELOPMENTS DETERMINED UNDER DELEGATED POWERS

REVIEW BY EAST RENFREWSHIRE COUNCIL'S LOCAL REVIEW BODY

1. If the applicant is aggrieved by a decision to refuse permission (or by an approval subject to conditions), the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. A Notice of Review can be submitted online at www.eplanning.scotland.gov.uk. Please note that beyond the content of the appeal or review forms, **you cannot normally raise new matters** in support of an appeal or review, unless you can demonstrate that the matter could not have been raised before, or that its not being raised before is a consequence of exceptional circumstances. Following submission of the notice, you will receive an acknowledgement letter informing you of the date of the Local Review Body meeting or whether further information is required.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

CONTACT DETAILS

**East Renfrewshire Council
Development Management Service
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG**

**General Inquiry lines 0141 577 3001
Email planning@eastrenfrewshire.gov.uk**

**NOTICE OF REVIEW
AND
SUPPORTING STATEMENT**

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100591519-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	Keith Edwards Architect		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	Keith	Building Name:	<input type="text"/>
Last Name: *	Edwards	Building Number:	2
Telephone Number: *	01413410694	Address 1 (Street): *	2 Caledon Street
Extension Number:	<input type="text"/>	Address 2:	Dowanhill
Mobile Number:	<input type="text"/>	Town/City: *	Glasgow
Fax Number:	<input type="text"/>	Country: *	United Kingdom
		Postcode: *	G12 9DX
Email Address: *	KEdwards1701@gmail.com		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mrs"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="Fiona"/>	Building Number:	<input type="text" value="15"/>
Last Name: *	<input type="text" value="O'Donnell"/>	Address 1 (Street): *	<input type="text" value="Nethercliffe Avenue"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Glasgow"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="Scotland"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="G44 3UW"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="REDACTED"/>		

Site Address Details

Planning Authority:	<input type="text" value="East Renfrewshire Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="15 NETHERCLIFFE AVENUE"/>
Address 2:	<input type="text" value="NETHERLEE"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="GLASGOW"/>
Post Code:	<input type="text" value="G44 3UW"/>

Please identify/describe the location of the site or sites

Northing

Easting

Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Alterations to existing side dormer to increase its size and erection of dormer to rear of dwelling.

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Information as per the attached details for appeal against refusal.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

L10 Planning appeal L10a Existing house photos L11. Plans referred to in appeal report L12. Photos referred to in appeal report

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

2021/0999/TP

What date was the application submitted to the planning authority? *

19/01/2022

What date was the decision issued by the planning authority? *

18/05/2022

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Keith Edwards

Declaration Date: 02/08/2022

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Keith Edwards Architect

2 Caledon Street, Dowanhill, Glasgow...G12 9DX tel : 0141 341 0694 e-mail . keith@ke-architect.com

PLANNING REVIEW...

Client Mr & Mrs O'Donnell

Premises 15 Nethercliffe Avenue, Glasgow

Date 28.07.22

Application ref; 2021 /0999/TP, 15 Nethercliffe Avenue, Netherlee,
East Renfrewshire G44 3UW

This is a submission on appeal against the East Renfrewshire Council Planning Refusal for the loft alterations and extension to increase bedroom and form shower room at first floor where there are no toilet or bathing facilities to provide for their young family and this proposal would bring the property up to a more tolerable standard with everyone having easy access on both floor levels to bathing facilities.

The original application was submitted on 20.11.21 and acknowledged on 20th January 2022 with refusal notice issued 18th May 2022 This was two months past the standard response period of 2 months with no indication to myself or client about a delay.

The proposal that was submitted was a further design alteration for the loft proposal which had been previously refused, having reference 2020/0784/TP. This was dealt with by planning officer Ian Walker. I was somewhat disappointed that the resubmitted application was not given over to Ian Walker as he had history of the previous application and more importantly the officer with whom all discussions have been with over a period of weeks.

I contacted Ian Walker after the refusal of the first notice and appeal to discuss with him a way forward for the project to gain approval. Initially he was concerned that a compromise could not be reached knowing what was being looked for in terms of internal space. However, I did some further sketches and submitted the revised design which allowed the corner design proposal to be held back from the frontage and have a wrap around theme which could be either fully glazed thereby reducing the build image massing or smaller windows within a cladding proposal finish similar to the existing dormer style. Both schemes allowed the increase in floor area and connection to new rear dormer which was for a new shower room facility. The schemes forwarded to Ian Walker meant a reduction of the corner extension to the loft but was still wrapped round the corner from the existing gable dormer to new rear dormer. The reason for the increased bedroom floor area was for their daughter who would require a larger room as she grew older and the clients are proposing to remain in the house in question .

Our discussions centred round the idea of reducing the impact of the extension of the house from the street side which mainly looked out over the side and rear garden over Leabank Drive. The discussions were about how to turn the corner in a manner whereby the floor area and height could be maintained leading to the rear shower room extension which was the main driving issue for the extension. The design put forward and reason for the design were submitted for Ian Walkers attentions and after weeks of discussion was finally settled on the idea of increasing the existing side dormer in width but retaining the window central to that elevation. The massing and reduced scale of the proposal finally determined reduced the overall impact on the rear roof visible from the adjoining roads. As part of the revised design /

and a point made was that the corner ridge would be kept almost intact thereby retaining the character of this style of bungalow with four hipped roofs. This was the thrust of Ian Walker's proposal which retained an element of increase floor area and height but still allowing the connection to rear dormer proposed. Internally this allowed the otherwise cramped corner room to increase in floor area size and also the headroom over a larger internal area which made best of the bedroom space.

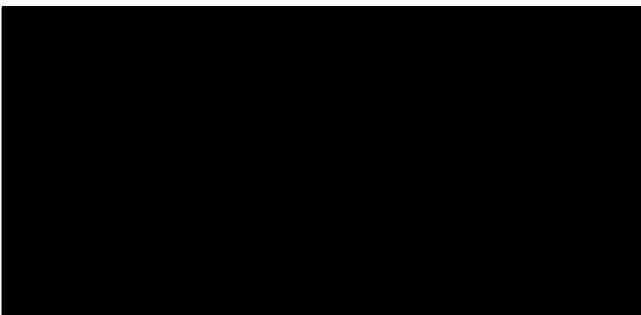
The proposal that was finally agreed with Ian Walker was the example he drew onto my own sketch with a green marker which increased to side dormer with an instant increase in internal floor area and usable space in the bedroom. This also meant that the connection between side and rear dormer could be reduced giving more distinction between the two elements of build which was part of the refusal situation thereby retaining the character of the original dormer to the front and side elevations of the property. The design agreed was far less dominant than that originally submitted and was also not felt to be incongruous to the local area with its high level of conversions, alterations and extensions to similar style pitched roof designed houses. The existing house location on a corner site with hipped roof design made this particular site more difficult to be compatible for the area as any alteration to this house roof would be more visible from both Nethercliffe Avenue and Leabank Drive.

Many of the properties in the local area have been extended in a variety of designs and the final design reached between Ian Walker and myself was a compromise on both sides but felt to be the best achievable for the site and the client's needs.

The final application submitted was based on the idea put forward by Ian Walker in regards to the side dormer increased width and I felt confident that the revised scheme would have the backing of the planning office expecting the proposal to be dealt with by the officer leading the discussion.

I trust the above and enclosed will allow the proposal to be approved.

Yours sincerely



Keith Edwards Architect

Enclosed drawings...

A03 First Floor plan existing

A05 Elevations as existing

A06 First Floor plan as existing

A06 First Floor plan proposed sk 1 Proposal to reduce corner dormer by shaping at 45 degrees with a corner window at the angle

A08 Elevations of proposal sk 1 Elevation showing one window at corner retaining the original dormer width

A06 First Floor plan proposed sk 2 Proposal to reduce corner dormer with wrap around windows to reduce massing appearance

A08 Elevations of proposal sk 2 Elevation showing connecting dormer wrap around window with retained original dormer.

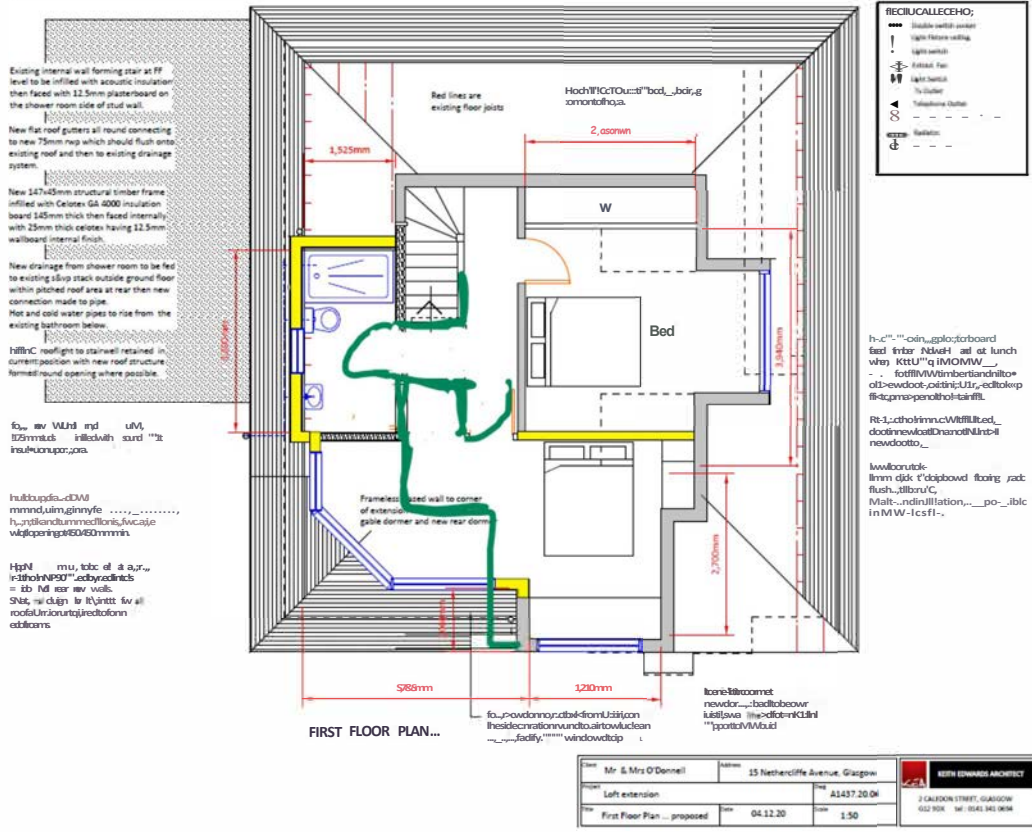
A06 First Floor plan proposed sk 3 Extended dormer per Ian Walkers extended dormer width and smaller connecting wrap round

A08 Elevations of proposal sk 3 Elevation with increased width dormer and smaller connecting dormer

The final design submitted was based on the design noted in sketch 3 which had an increased width side dormer and smaller connection dormer to rear dormer proposed as per the drawing with green marker proposal.

Screenshot of sketch idea from Ian Walker on which SK3 was based on

See attached



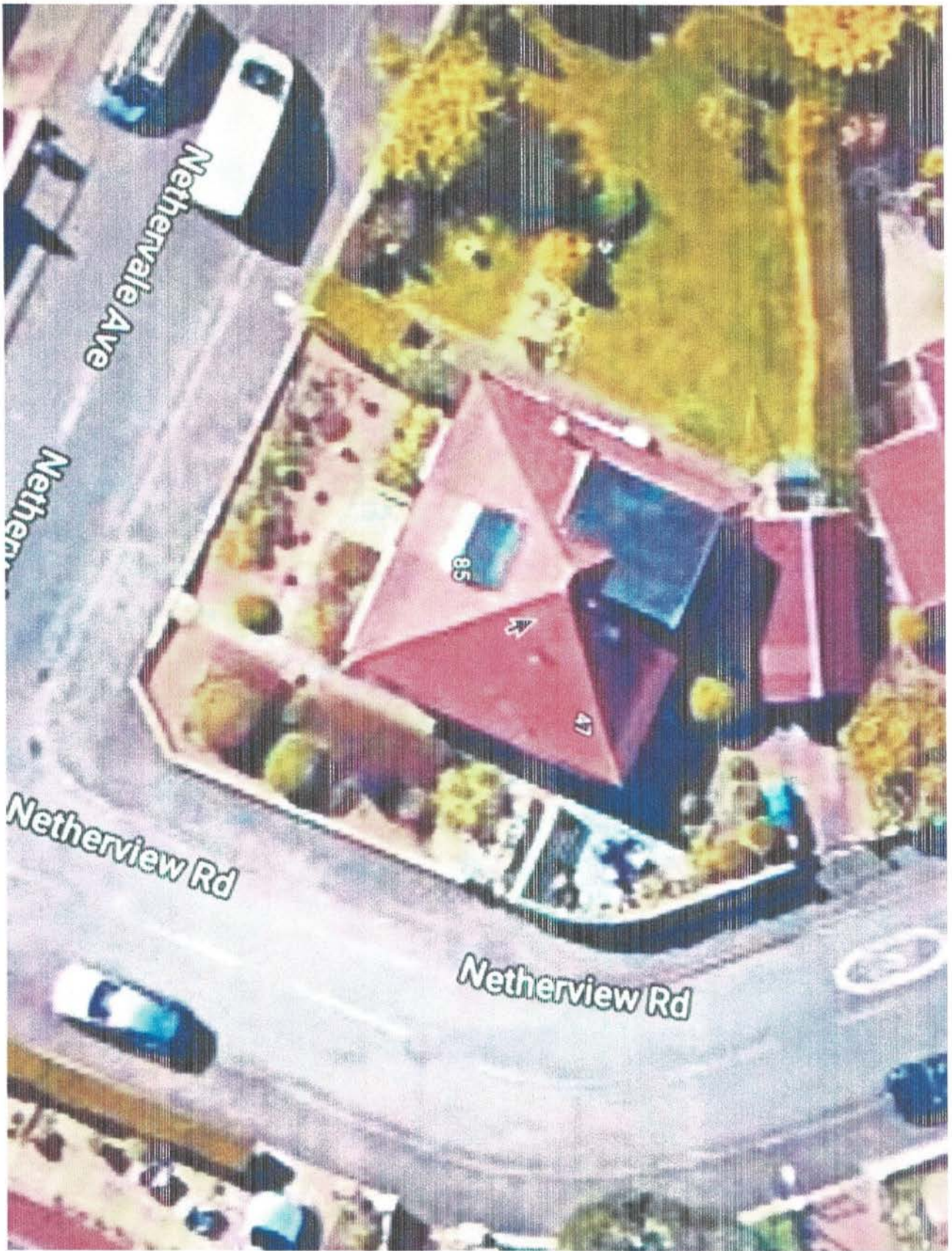
Copy of screenshot from Ian Walker



Existing house...front facing Netherlee Road



Existing house...side facing Leabank Drive

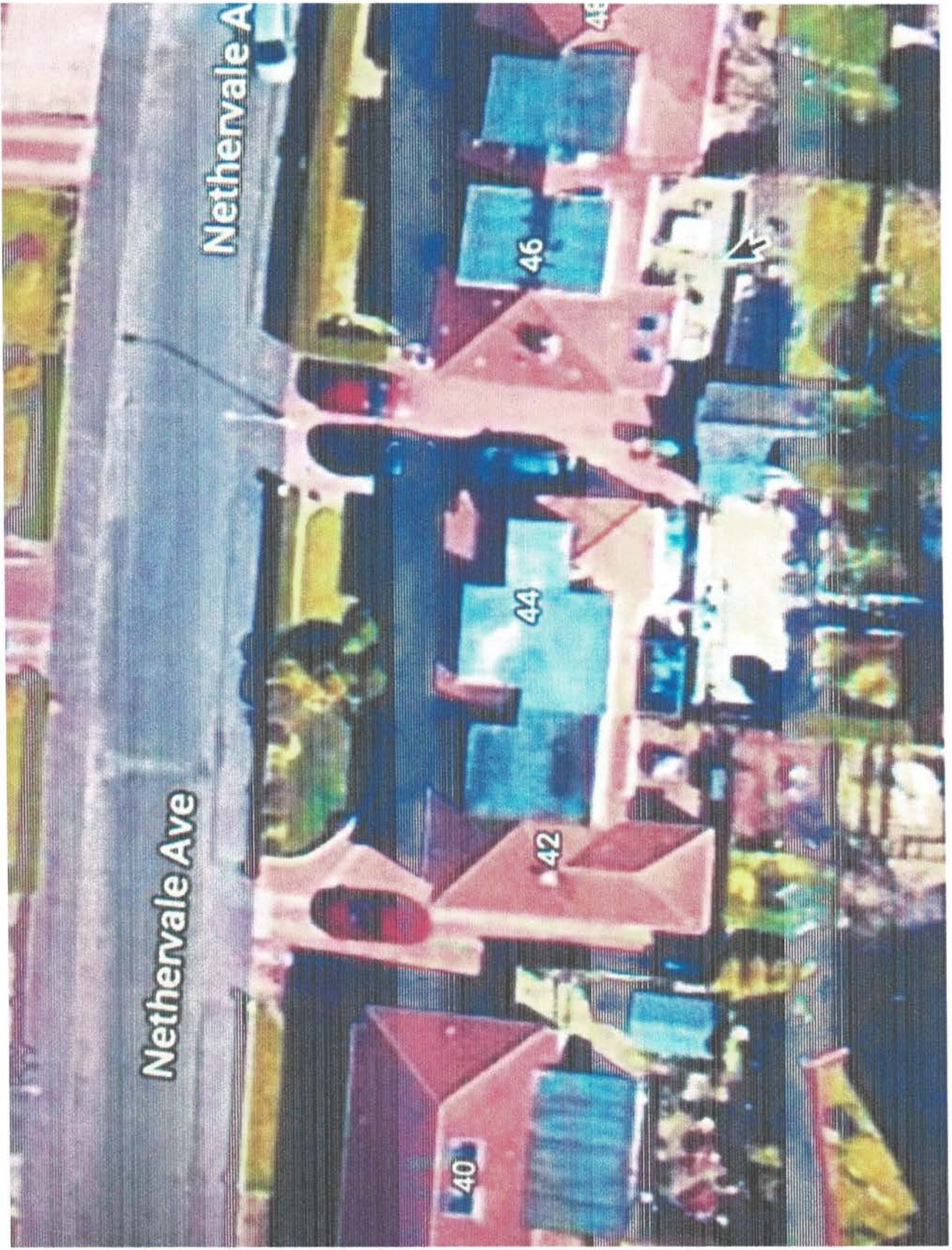




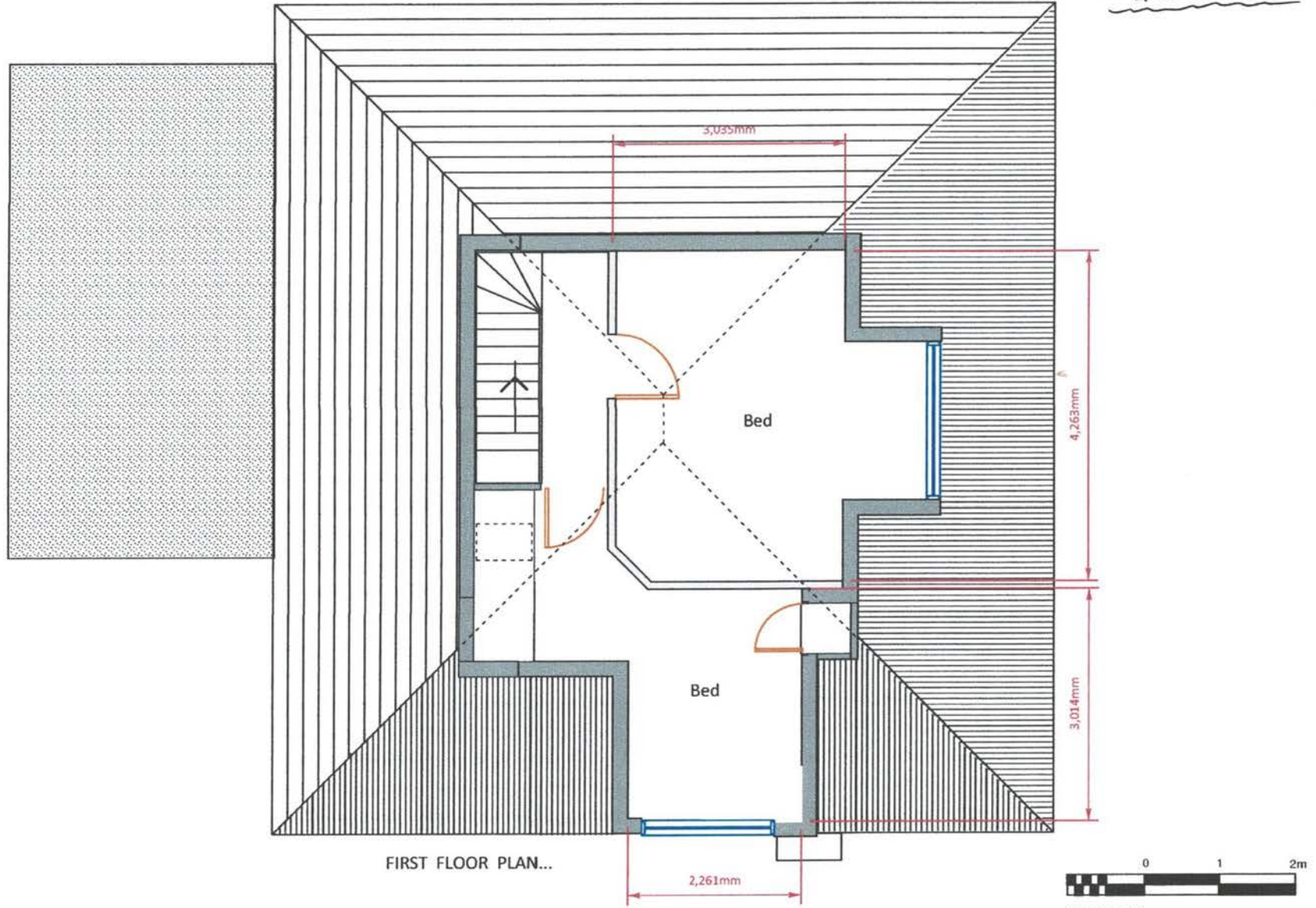








- EXISTING PLAN



Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Dwg	A1437.21.03
Title	First Floor Plan ... exist	Date	06.12.21
		Scale	1:50

2 CALEDON STREET, GLASGOW
G12 9XX tel: 0141 341 0694

EXISTING ELEVATIONS



FRONT ELEVATION...

PC concrete roof tiles

PVC framed double glazed windows

white render



SIDE ELEVATION...




REAR ELEVATION...

Scale: 1 : 100



Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Dwg	A1437.21.05
Title	Elevations ... exist	Date	06.12.21
		Scale	1:100



2 CALEDON STREET, GLASGOW
G12 9DX tel: 0141 341 0694

Existing internal wall forming stair at FF level to be infilled with acoustic insulation then faced with 12.5mm plasterboard on the shower room side of stud wall.

New flat roof gutters all round connecting to new 75mm rwp which should flush onto existing roof and then to existing drainage system.

New 147x45mm structural timber frame infilled with Celotex GA 4000 insulation board 145mm thick then faced internally with 25mm thick celotex having 12.5mm wallboard internal finish.

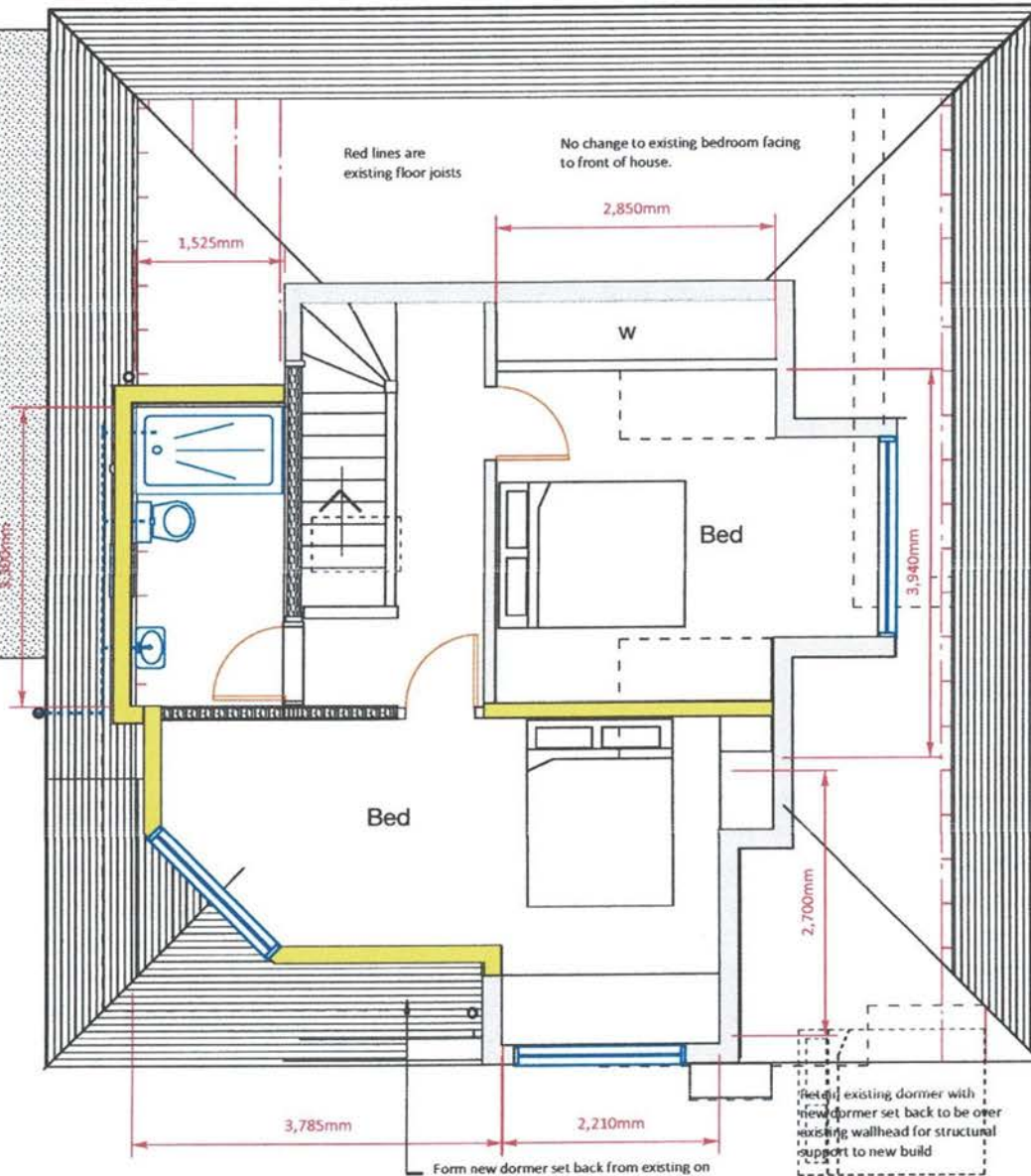
New drainage from shower room to be fed to existing s&vp stack outside ground floor within pitched roof area at rear then new connection made to pipe. Hot and cold water pipes to rise from the existing bathroom below.

Existing rooflight to stairwell retained in current position with new roof structure formed round opening where possible.

Form new internal stud walls using 97x45mm studs infilled with sound quilt insulation as per specifications.

Install double glazed pvc framed windows to match existing in style with one window having tilt and turn mechanism for escape with an opening of 450x450mm min.

Hipped end rafter to be cut at ceiling level then supported by steel lintels to side and rear new walls. Structural design by Engineer for all roof alterations required to form extended loft rooms.



FIRST FLOOR PLAN...

ELECTRICAL LEGEND:

- Double switch socket
- Light fixture ceiling
- Light switch
- Extract fan
- Light switch
- TV outlet
- Telephone outlet
- Smoke detector... hard wired
- Radiator
- Shaver socket outlet

SKETCH 1

Internally remove existing plasterboard faced timber stud wall and cut handrail where access required into new shower room. Form new timber handrail to side of new door over existing stairwell to keep the open aspect of the stairwell..

Re-use the existing internal bedroom door in new location as noted. Install new door to shower room

New floor through extension to have 22mm thick t&g chipboard flooring made flush with existing. Install sound insulation wherever possible in new works floor.

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Drawn	A1437.20.06
Title	First Floor Plan ... proposed	Date	04.12.20
		Scale	1:50

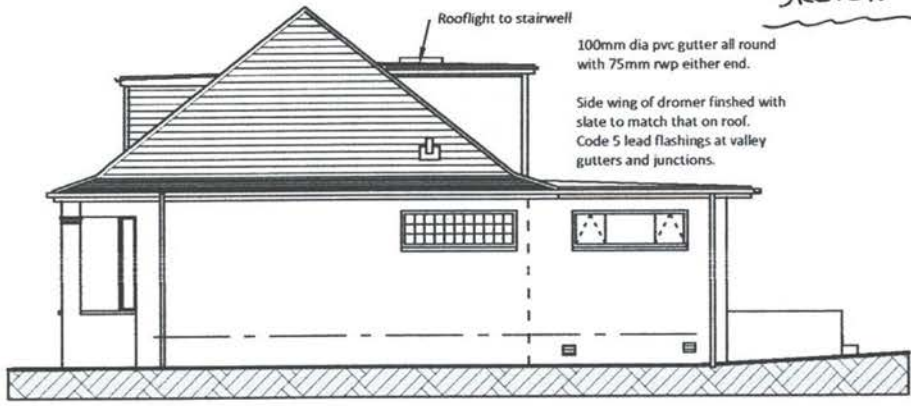
CEA COLLOWAY & ARCHITECTS
2 CALEDON STREET, GLASGOW
G12 9UX tel: 0141 341 0694

SKETCH 1

Flat roof over existing side dormer to be increased in height to match that of new roof having more insulation installed under finishes.



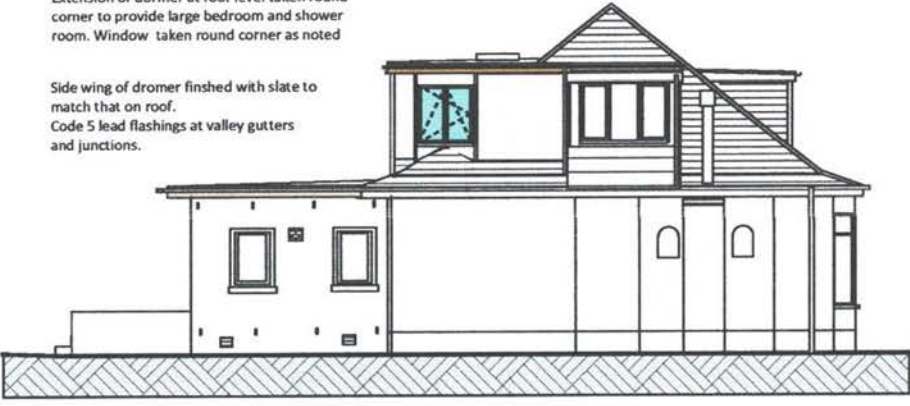
FRONT ELEVATION...



SIDE ELEVATION...

100mm dia pvc gutter all round with 75mm rwp either end.
Side wing of dormer finished with slate to match that on roof. Code 5 lead flashings at valley gutters and junctions.

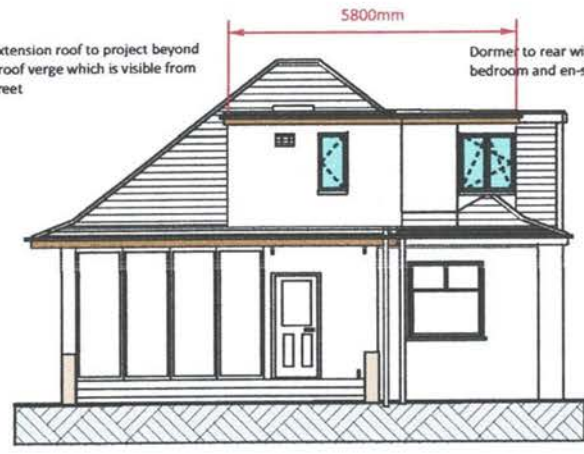
Extension of dormer at roof level taken round corner to provide large bedroom and shower room. Window taken round corner as noted
Side wing of dormer finished with slate to match that on roof. Code 5 lead flashings at valley gutters and junctions.



SIDE ELEVATION...

Rooflight to existing stairwell formed in new flat roof.

No part of extension roof to project beyond the pitched roof verge which is visible from the front street



REAR ELEVATION...


Extract vent through rear wall for shower room with 15/sec rating, insect screen fitted.

Dormer to rear with windows to bedroom and en-suite
New windows fitted with trickle vents in head frame
Corner connection set back from gable dormer and rear dormer to reduce impact on corner. Light coloured wall panels to new extensions.



Scale:- 1 : 100

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Dwg	A1437.20.08
Title	Elevations	Date	19.10.20
		Scale	1:50



2 CALEDON STREET, GLASGOW
G12 9DX tel: 0141 341 0694

Existing internal wall forming stair at FF level to be infilled with acoustic insulation then faced with 12.5mm plasterboard on the shower room side of stud wall.

New flat roof gutters all round connecting to new 75mm rwp which should flush onto existing roof and then to existing drainage system.

New 147x45mm structural timber frame infilled with Celotex GA 4000 insulation board 145mm thick then faced internally with 25mm thick celotex having 12.5mm wallboard internal finish.

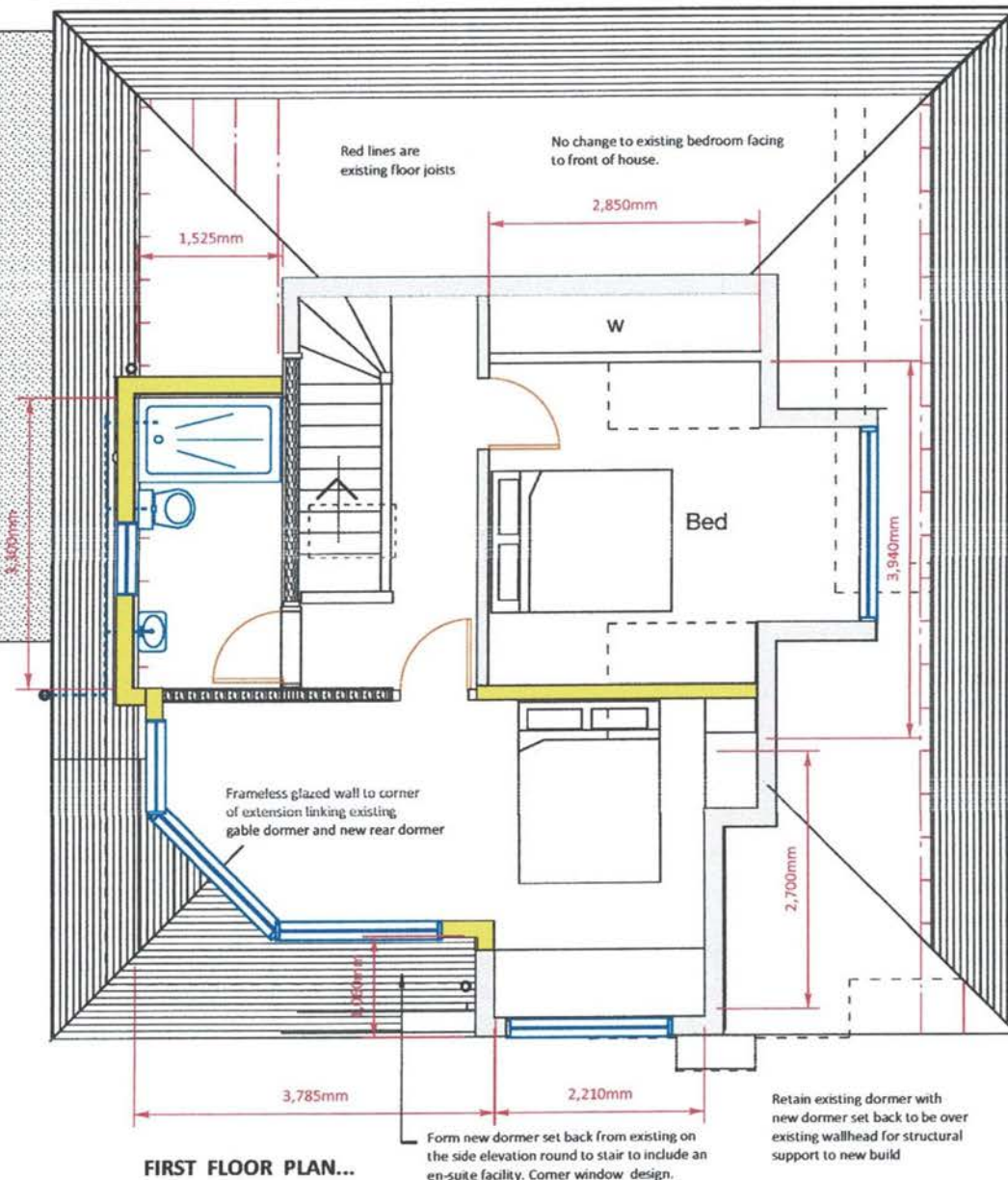
New drainage from shower room to be fed to existing s&vp stack outside ground floor within pitched roof area at rear then new connection made to pipe. Hot and cold water pipes to rise from the existing bathroom below.

Existing rooflight to stairwell retained in current position with new roof structure formed round opening where possible.

Form new internal stud walls using 97x45mm studs infilled with sound quilt insulation as per specifications.

Install double glazed pvc framed windows to match existing in style with one window having tilt and turn mechanism for escape with an opening of 450x450mm min.

Hipped end rafter to be cut at ceiling level then supported by steel lintels to side and rear new walls. Structural design by Engineer for all roof alterations required to form extended loft rooms.



FIRST FLOOR PLAN...

ELECTRICAL LEGEND:

- Double switch socket
- Light fixture ceiling
- Light switch
- Extract Fan
- Light switch
- TV Outlet
- Telephone Outlet
- Smoke Detector ... hard wired
- Radiator
- Shaver socket outlet

SKETCH 2

Internally remove existing plasterboard faced timber stud wall and cut handrail where access required into new shower room. Form new timber handrail to side of new door over existing stairwell to keep the open aspect of the stairwell..

Re-use the existing internal bedroom door in new location as noted. Install new door to shower room

New floor through extension to have 22mm thick t&g chipboard flooring made flush with existing. Install sound insulation wherever possible in new works floor.

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Drawn	A1437.20.06
Title	First Floor Plan ... proposed	Date	04.12.20
		Scale	1:50

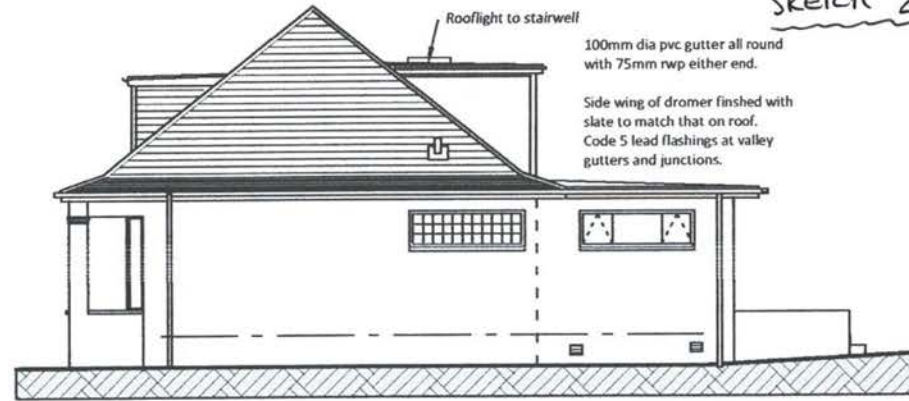
2 CALEDON STREET, GLASGOW
G12 9UX tel : 0141 341 0604

Flat roof over existing side dormer to be increased in height to match that of new roof having more insulation installed under finishes.



FRONT ELEVATION...

SKETCH 2

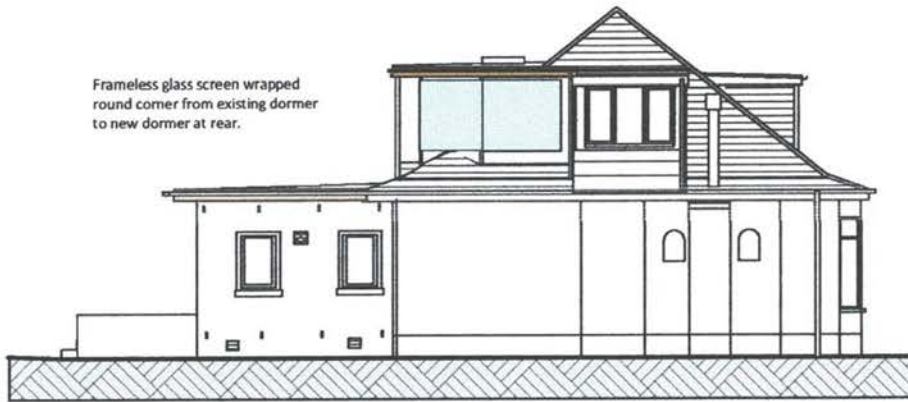


SIDE ELEVATION...

Rooflight to stairwell
100mm dia pvc gutter all round with 75mm rwp either end.
Side wing of dormer finished with slate to match that on roof. Code 5 lead flashings at valley gutters and junctions.

Rooflight to existing stairwell formed in new flat roof.

Frameless glass screen wrapped round corner from existing dormer to new dormer at rear.



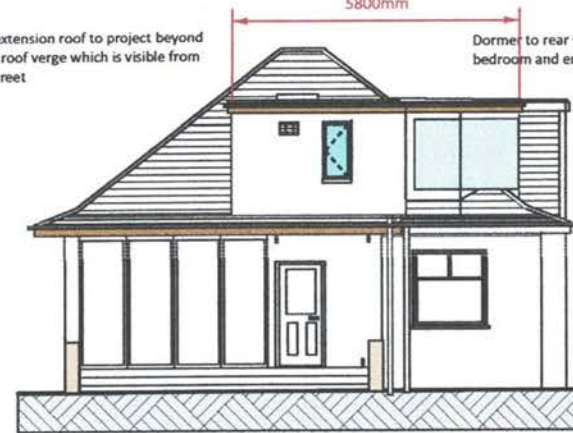
SIDE ELEVATION...

Extract vent through rear wall for shower room with 15/sec rating, insect screen fitted.

No part of extension roof to project beyond the pitched roof verge which is visible from the front street

5800mm

Dormer to rear with windows to bedroom and en-suite



REAR ELEVATION...

Corner connection set back from gable dormer and rear dormer to reduce impact on corner. Light coloured wall panels to new extensions.



Scale:- 1 : 100

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Ref	A1437.20.08
Title	Elevations	Date	19.10.20
		Scale	1:50

SEA NETHERCLIFFE AVENUE ARCHITECT

2 CALEDON STREET, GLASGOW
G12 9DX Tel: 0141 341 0604

Existing internal wall forming stair at FF level to be infilled with acoustic insulation then faced with 12.5mm plasterboard on the shower room side of stud wall.

New flat roof gutters all round connecting to new 75mm rwp which should flush onto existing roof and then to existing drainage system.

New 147x45mm structural timber frame infilled with Celotex GA 4000 insulation board 145mm thick then faced internally with 25mm thick celotex having 12.5mm wallboard internal finish.

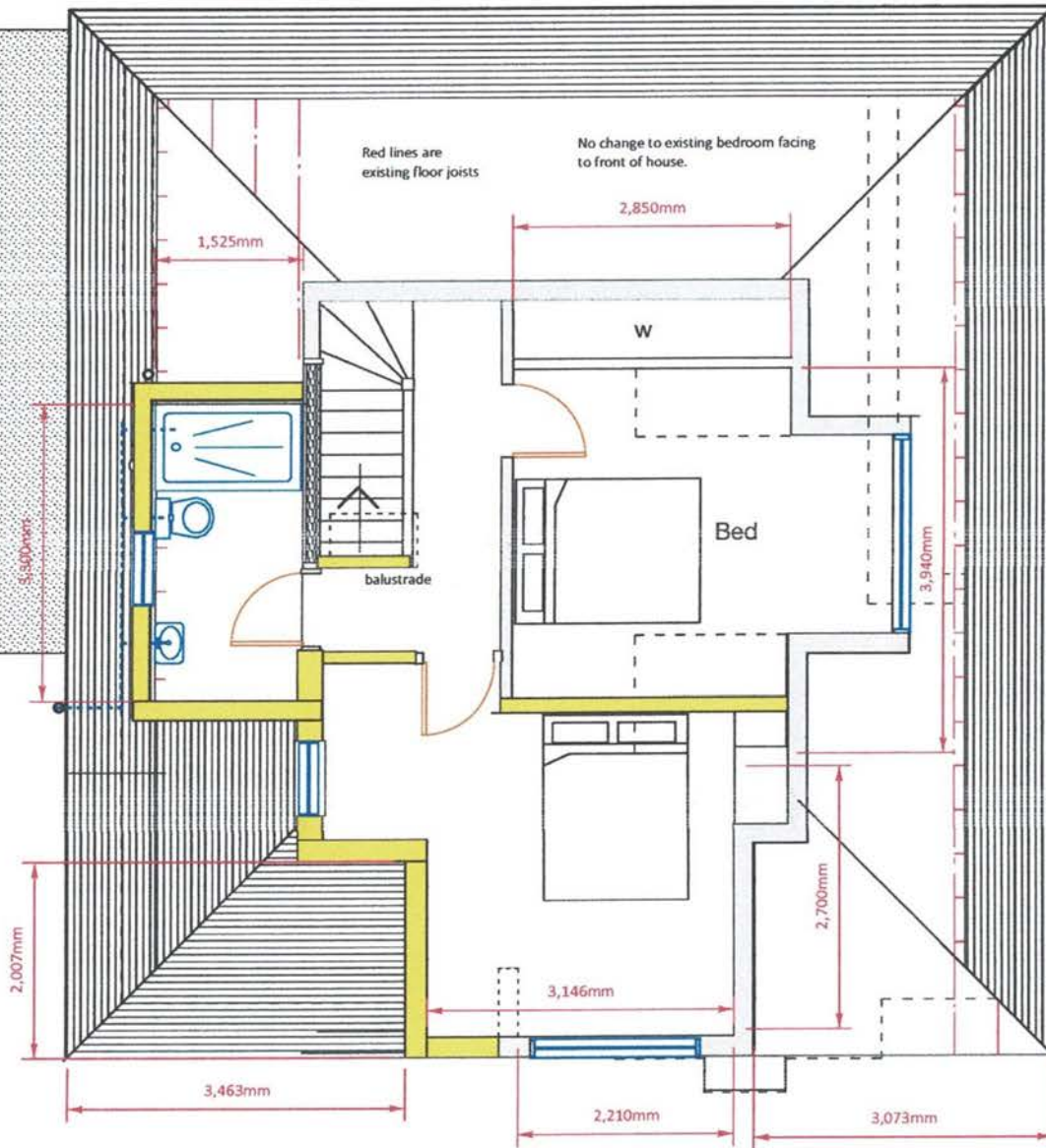
New drainage from shower room to be fed to existing s&vp stack outside ground floor within pitched roof area at rear then new connection made to pipe. Hot and cold water pipes to rise from the existing bathroom below.

Existing rooflight to stairwell retained in current position with new roof structure formed round opening where possible.

Form new internal stud walls using 97x45mm studs infilled with sound quilt insulation as per specifications.

Install double glazed pvc framed windows to match existing in style with one window having tilt and turn mechanism for escape with an opening of 450x450mm min.

Hipped end rafter to be cut at ceiling level then supported by steel lintels to side and rear new walls. Structural design by Engineer for all roof alterations required to form extended loft rooms.



FIRST FLOOR PLAN...

Extend existing side dormer by 800mm to achieve larger room

Red lines are existing floor joists

No change to existing bedroom facing to front of house.

ELECTRICAL LEGEND:

- Double switch socket
- Light fixture ceiling
- Light switch
- Extract Fan
- Light Switch
- TV Outlet
- Telephone Outlet
- Smoke Detector ... hard wired
- Radiator
- Shaver socket outlet

SKETCH 3

Internally remove existing plasterboard faced timber stud wall and cut handrail where access required into new shower room. Form new timber handrail to side of new door over existing stairwell to keep the open aspect of the stairwell..

Re-use the existing internal bedroom door in new location as noted. Install new door to shower room

New floor through extension to have 22mm thick t&g chipboard flooring made flush with existing. Install sound insulation wherever possible in new works floor.

Retain existing dormer with new dormer set back to be over existing wallhead for structural support to new build

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension ... SKETCH 3	Drawn	A1437.20.06
Title	First Floor Plan ... proposed	Date	04.12.20
		Scale	1:50

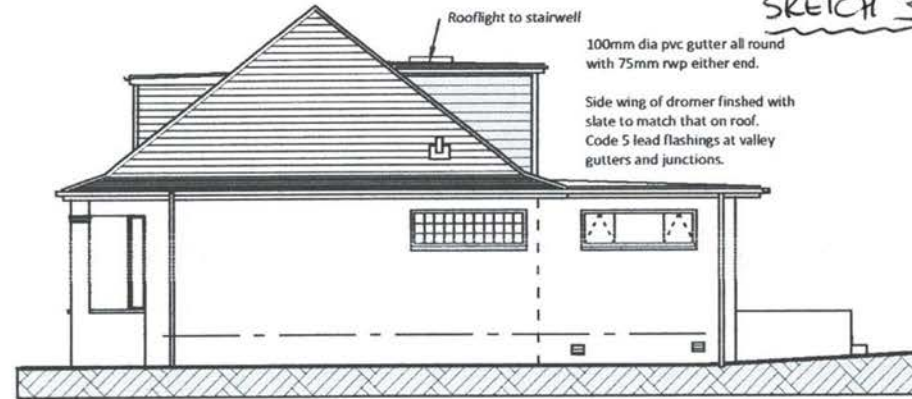
SCA METHERCLIFFE & ROBERTS

2 CALEDON STREET, GLASGOW
G12 9DX tel: 0141 341 0694

Flat roof over existing side dormer to be increased in height to match that of new roof having more insulation installed under finishes.



FRONT ELEVATION...



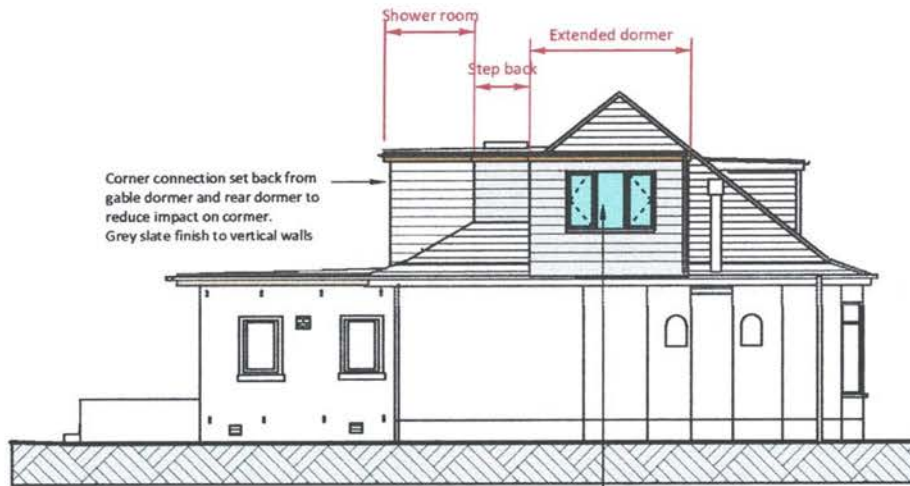
SIDE ELEVATION...

SKETCH 3

100mm dia pvc gutter all round with 75mm rwp either end.

Side wing of dormer finished with slate to match that on roof. Code 5 lead flashings at valley gutters and junctions.

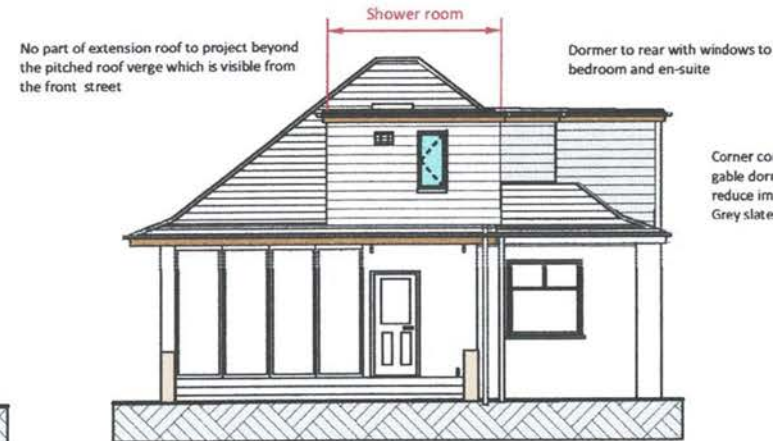
Extract vent through rear wall for shower room with 15/sec rating, insect screen fitted.



SIDE ELEVATION...

Corner connection set back from gable dormer and rear dormer to reduce impact on corner. Grey slate finish to vertical walls

Existing window to be centred on new extended wall of dormer.



REAR ELEVATION...

No part of extension roof to project beyond the pitched roof verge which is visible from the front street


Dormer to rear with windows to bedroom and en-suite

Corner connection set back from gable dormer and rear dormer to reduce impact on corner. Grey slate finish to vertical walls



Scale:- 1 : 100

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Drawn	A1437.21.08
Title	Elevations ... proposed	Date	06.12.21
		Scale	1:50



KEITH EDWARDS ARCHITECTS
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G12 0DX tel: 0141 341 0604

SKETCH PROPOSAL BY
IAN WALKER WHICH FINAL
PLAN WAS BASED ON



Existing internal wall forming stair at FF level to be infilled with acoustic insulation then faced with 12.5mm plasterboard on the shower room side of stud wall.

New flat roof gutters all round connecting to new 75mm rwp which should flush onto existing roof and then to existing drainage system.

New 147x45mm structural timber frame infilled with Celotex GA 4000 insulation board 145mm thick then faced internally with 25mm thick celotex having 12.5mm wallboard internal finish.

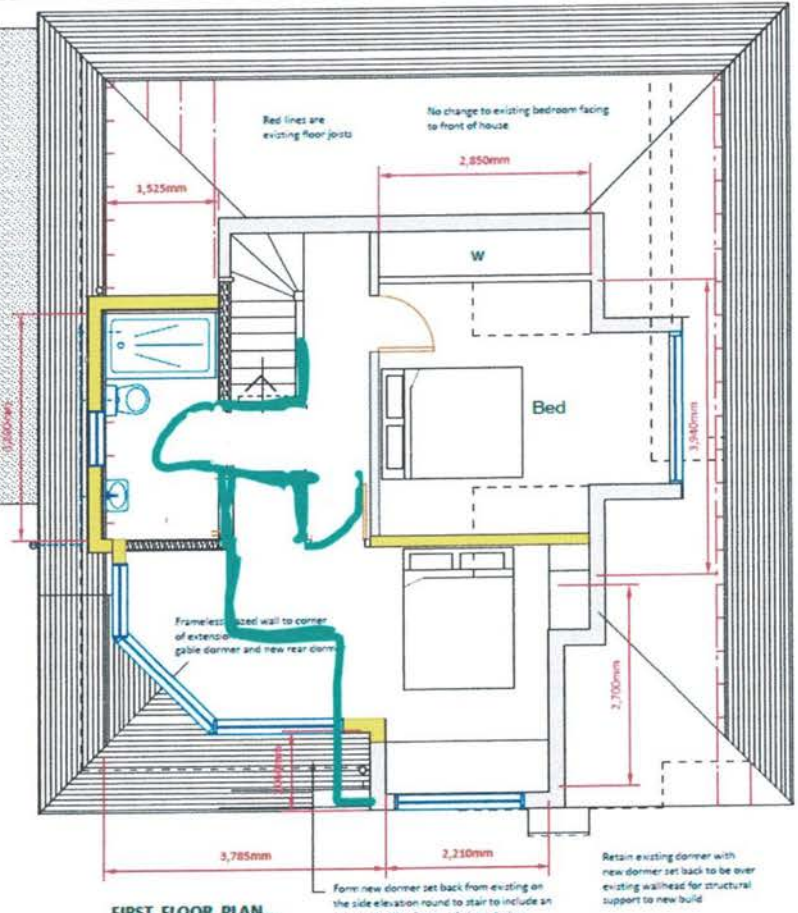
New drainage from shower room to be fed to existing slope stack outside ground floor within pitched roof area at rear then new connection made to pipe. Hot and cold water pipes to rise from the existing bathroom below.

Existing rooflight to stairwell retained in current position with new roof structure formed round opening where possible.

Form new internal stud walls using 97x45mm studs infilled with sound quilt insulation as per specifications.

Install double glazed pvc framed windows to match existing in style with one window having tilt and turn mechanism for escape with an opening of 450x450mm min.

Hipped end rafter to be cut at ceiling level then supported by steel linteol to side and rear new walls. Structural design by Engineer for all roof alterations required to form extended loft rooms.



ELECTRICAL LEGEND

- ▲ Double switch socket
- ⊗ Light fixture ceiling
- ⊕ Light switch
- ⊖ Exhaust fan
- ⊗ Light switch
- ⊖ TV Outlet
- ⊖ Telephone Outlet
- ⊖ Smoke Detector - hard wired
- ⊖ Radiator
- ⊖ Shower socket outlet

Internally remove existing plasterboard faced timber stud wall and cut handrail where access required into new shower room. Form new timber handrail to side of new door over existing stairwell to keep the open aspect of the stairwell.

Re-use the existing internal bedroom door in new location as noted. Install new door to shower room.

New floor through extension to have 22mm thick s/g chipboard flooring made flush with existing. Install sound insulation wherever possible in new work floor.

FIRST FLOOR PLAN...

Form new dormer set back from existing on the side elevation round to stair to include an en-suite facility. Corner window design.

Retain existing dormer with new dormer set back to be over existing wallhead for structural support to new build

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow	Architect	KEITH EDWARDS ARCHITECT
Project	Loft extension	Ref	41437.20.06	Drawn	J. BARKER
File	First Floor Plan - proposed	Date	04.12.20	Scale	1:50



PLANS/DRAWINGS

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FRONT ELEVATION...

PC concrete roof tiles

PVC framed double glazed windows

white render




SIDE ELEVATION...

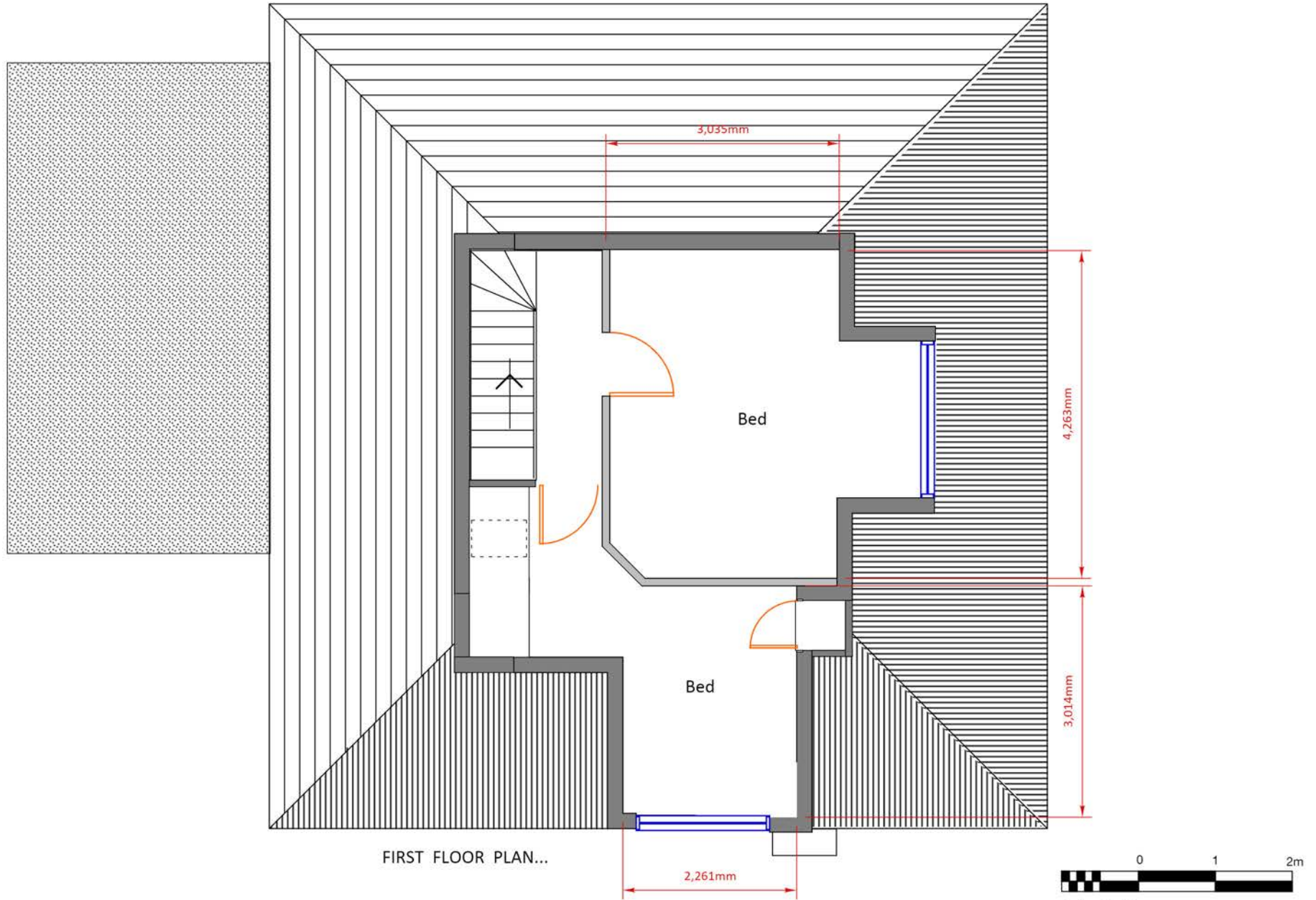


REAR ELEVATION...

Scale:- 1 : 100



Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow	 KEITH EDWARDS ARCHITECT 2 CALEDON STREET, GLASGOW G12 9DX tel : 0141 341 0694
Project	Loft extension	Dwg	A1437.21.05	
Title	Elevations ... exist	Date	06.12.21	
		Scale	1:100	

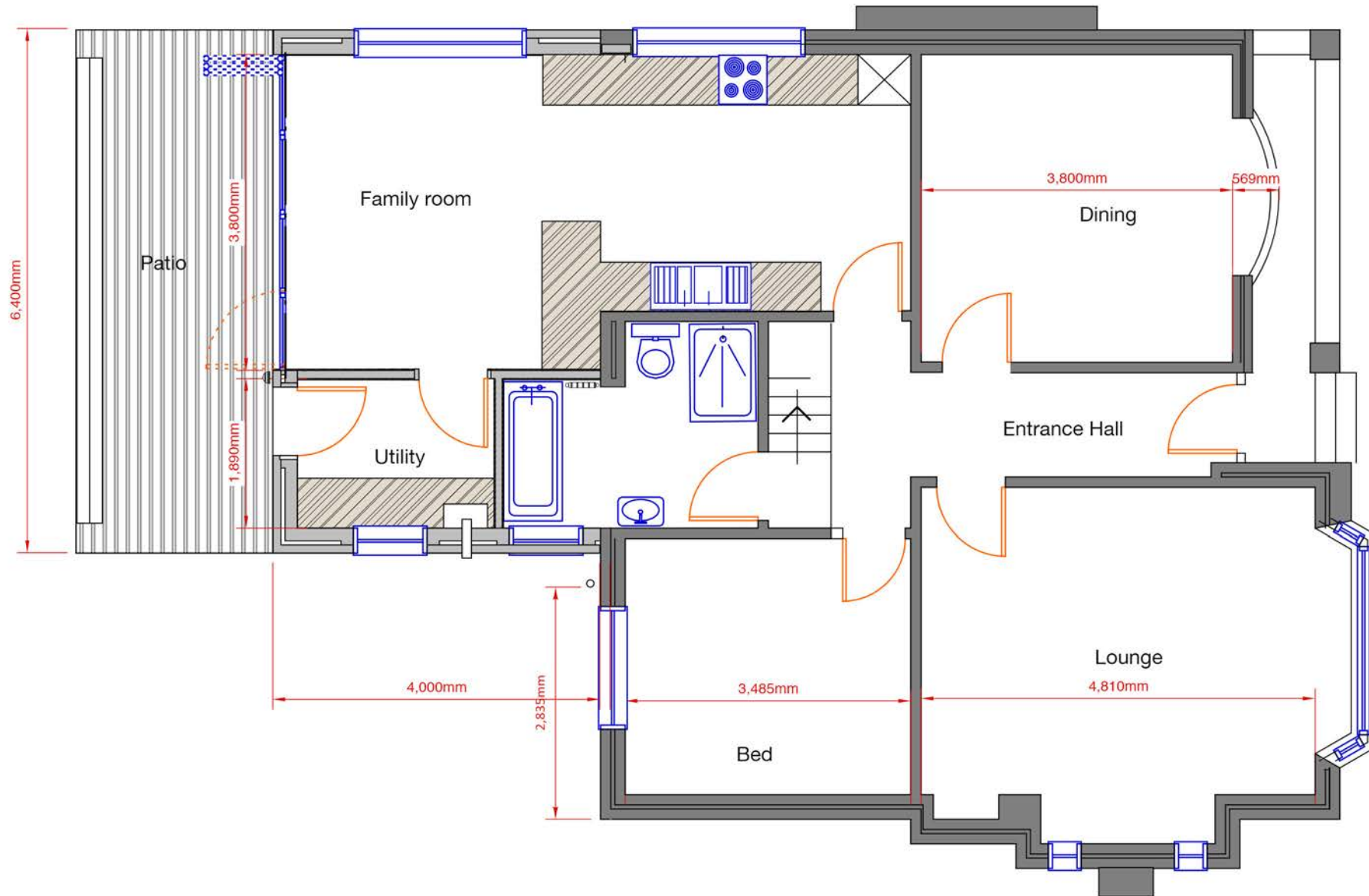


Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Dwg	A1437.21.03
Title	First Floor Plan ... exist	Date	06.12.21
		Scale	1:50

KEITH EDWARDS ARCHITECT


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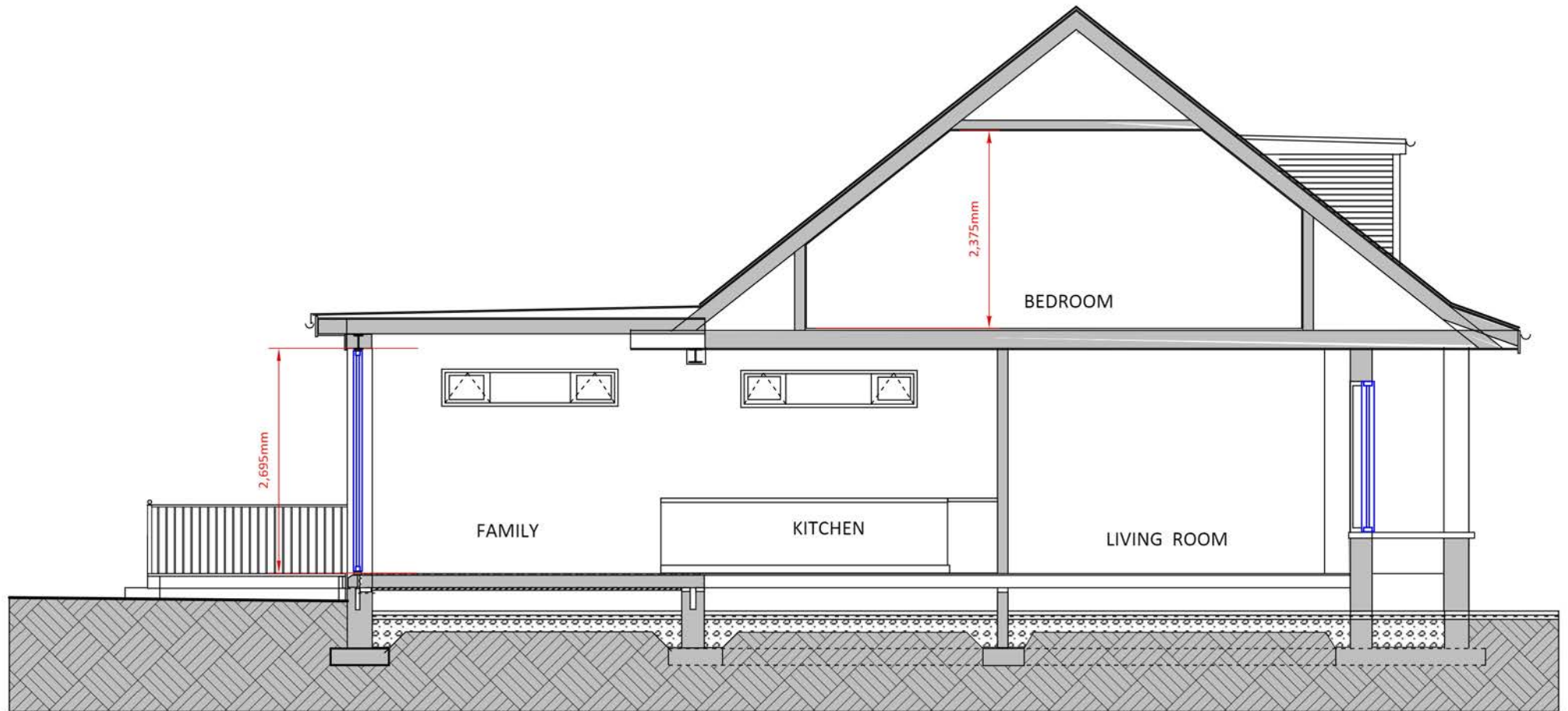
65



GROUND FLOOR PLAN...




Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow	 KEITH EDWARDS ARCHITECT 2 CALEDON STREET, GLASGOW G12 9DX tel : 0141 341 0694	
Project	Loft extension	Dwg	A1437.21.02		
Title	Ground Floor Plan ... exist	Date	06.12.21		Scale



SECTION ...



Scale:- 1 : 50

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow	 KEITH EDWARDS ARCHITECT 2 CALEDON STREET, GLASGOW G12 9DX tel : 0141 341 0694
Project	Loft extension	Dwg	A1437.21.04	
Title	Section ... exist	Date	06.12.21	
			Scale	1:50

CONSTRUCTION NOTES...

FOUNDATIONS...
not required.

SUBSTRUCTURE:

Not required

SOLUM...

Not required

DPC:

Not required.

FIRST FLOOR:...

22mm waterproof grade T&G chipboard glued and screwed through 20mm gyproc plank to 175x50mm timber joists set at 400mm ctrs nailed to existing timber wallplates. Install throughout exposed area sound insulation quilt if none is in evidence. The existing ground floor ceilings are to be retained in full. For sound insulation install min 100mm thick mineral wool insulation min. 10kg/m³ within existing ceiling.

SUPERSTRUCTURE:..

New dormer wall to have grey slate nailed through Tyvek Reflex stapled to 9mm OSB board nailed to 147x45mm Structural timber stud frame built up from floor level having 145mm Celotex GA4000 insulation between vertical studs all faced with 25mm Celotex GA4000 internally then faced with 12.5mm wallboard. Fit new double glazed pvc framed windows with trickle vents as noted on plans. Code 5 lead flashings to be installed at all junctions of new wall and roof with existing pitched roof to form valley gutters feeding into 100mm dia pvc gutter and 75mm downpipes as existing. Ceiling lined with 12.5mm plasterboard with density of 10kg/m² with staggered joints screw fixed. Timber lintols over windows to be constructed with 3x147x45mm C24 timbers spiked together at 300mm staggered centres supported on cripple studs either side. Engineer design for opening more than 3.60m. Extract vents for WC/shower room taken through rear wall. All structural timbers to be in accordance with BS 5268 Part 2:1991 and BS 5268 Part 3:1985 For sound insulation install min 60mm thick mineral wool insulation min. 10kg/m³ within internal stud walls of new shower room. Hip end timber being trimmed to be held in place with steel beam spanning from outer structural frame of new dormer which is supported on external brick wall below onto then span over to new inner leaf structural wall timbers located above the existing brick wall at ground floor between hall and bathroom.

ROOF:..

Single layer PVC (Sarna) roofing bonded over 150mm Celotex GA4000 between timbers all over Tyvek supra bonded to 10mm OSB board nailed on joiner built roof as per section details. 170x47mm C16 rafters nailed to wallhead using galvanised truss clips to form new roof structure. Install 50mm wide furring pieces over rafters to give roof fall to gutters. Sarna dressed under existing slates by min 150mm vertical height. Where new roof butts onto existing new joists to be nailed to existing with new joists resting on existing wallhead for strength of junction. See structural Engineers details and specifications for construction of dormer walls and roof

PARTITIONS:

Partitions constructed with 70x45mm framing at 600mm ctrs with double top and bottom stud frame if loadbearing, single if non-load bearing. All frames infilled with 50mm mineral wool batts or quilt with minimum thickness of 50mm and density of 10kg/m³. (wire reinforced if required) 12.5mm plasterboard with density of 10kg/m² screw fixed at max. 200mm ctrs both sides with taped/ filled joints between board on wall and ceiling and at all junctions. 95x12mm pencil round skirting boards all round with door blocks giving break to door facings. Allow for hinges and door handles to client agreement on all new installations.

ELEMENTAL U VALUES..

As designed elemental U value calculations as noted above in specification.

Roof 0.14
Wall 0.15
Windows 1.4

STRUCTURAL ENGINEERS DESIGN AND SPECIFICATIONS
FOR STEEL AND STRUCTURAL TIMBER REQUIREMENTS
TO BE READ IN CONJUNCTION WITH ARCHITECTS PLANS..

ELECTRICAL:

All electrical work to be installed, designed, tested and constructed in accordance with BS 7671:2008 (4.5) fitted with RCB's. Any recessed lights fitted with fire hoods to maintain fire resistance of 30 minutes. Shower, wc extract 15l/sec Switch outlets positioned min. 350mm from internal corners, projecting walls or similar obstructions and not more than 1.2m above floor level. Light switches positioned between 900 and 1100mm above floor level. Sockets should be min. 150mm above worktops, and 400mm above floor level. New lights to be fire rated recessed light unit with LED lighting.

SMOKE DETECTORS/FIRE ALARM UNITS:

Electrically operated smoke detectors/fire alarms wired to independent circuit electrically protected consumer unit, complete with battery backup. All detectors to be interconnected to ensure all operate when activated. Smoke detectors located maximum 3m from bedrooms and 7m from lounge, 300mm from light fittings. Supply and fit Grade D fire detection and fire alarm system in accordance with BS5839: Part 6; 2004 comprising at least 1 powered smoke alarm and at least 1 mains powered heat alarm in kitchen

PLUMBING & DRAINAGE:

100mm dia. deep flow PVC gutters with brackets at 600mm ctrs screwed back to fascia & 68mm dia. PVC downpipes with holderbats at 1800mm ctrs, 100mm dia. Internal drainage pipe sizes to be as follows:-
WC.....100mm uPVC, WHB.....32mm dia. ABS
BATH.....40mm dia. ABS SINK.....50mm dia. ABS
SHOWER.....40mm dia. ABS...fit removable grate for cleaning, 75mm deep seal trap. All drainage pipework exceeding 6.0m to be vented with internal access for rodding purposes to be located 1.0m above floor level
Hot and cold water extended from existing in house to outlet taps as necessary in extension Hot water storage should not be less than 60 degrees and distributed at a temperature of not less than 55 degrees C. Final discharge pipe from megaflo system to be at ground floor taken to rear wall.
Discharge from sanitary fittings to prevent scalding should not exceed 48 degree C. If thermostatic mixing valves are used then the above temperatures apply to BS EN 1111:1999 or BS EN1287: 1999 and fitted as close as possible to outlet. S&VP to rise min 900mm above any window within 3.0metres. All hot and cold water heating pipes and hot water pipes to be insulated to comply with BS:5422 : 2001. Thermostatic mixing valve limited to max 48degree C and comply with BS5422: 2009

SANITARYWARE:

Walls clad with ceramic wall tiles fixed with moisture resistant BAL grouting on 12.5mm moisture resistant plasterboard on timber framing. Anti-scald valve fitted to BS:1415 to shower/ bath. Trap accessible for cleaning Walls round wc to be fitted with 12mm plywood for future grab rails fittings under the finished plasterboard. (Ground floor only)

MECHANICAL VENTILATION:

Mechanical extract fan capacities ducted to external air wired to independant switch :- Kitchen...60l/sec, Utility room...60l/sec, bath, shower & wc...15l/sec Vertical ducts to be fitted with condensation trap. All ducted to extract vents as noted on elevations. Trickle vent to all rooms to be 1100sq.mm fitted in window head frames Infiltration of air into buildings is to be prevented as far as reasonably practicable by:
A...sealing dry lining junctions between walls and ceilings and floors and at window, door and roof openings.
B...Sealing vapour control membranes in timber framed and other framed panel construction.
C...Sealing at services pipe penetrations through the fabric of the building and around pipe and other service boxing.
D...Fitting of draught exclusion strips in the frames of opening sections of windows, external doors and rooflights..

CENTRAL HEATING:

Fit new thermostatically controlled radiators extended from existing system in all rooms as noted or as directed on site. Towel radiators located in shower room Commissioning certificate for installation to be submitted on completion.

WINDOWS /DOORS: ...

Double glazed high performance upvc windows with adjustable trickle vents in head frame All safety/ toughened glazing to be designed to BS6262: Part 4 : 2005 Trickle vents to apartments to be 11,000sqmm, all other rooms 10,000sqmm, or 1100sqmm per apartment. Trickle vents should be min 1.75m above finished floor level. Timber cills/ apron internally to be 19mm thick. Windows to have opening sections as per elevations with internal locking mechanism. Restrictor stays to be fitted to all new windows opening over access routes. All new doors and windows to have U-value of 1.4 max First floor compartment windows to have tilt and turn windows fitted for ease of cleaning and emergency escape. Window opening minimum 450x450mm. Cill height lower than 1100mm from floor level.

ENERGY...

Minimum of 75% of fixed light fittings are to be low energy type in compliance with Technical Standard 6.5.1 External lighting to be low energy fittings with PIR activation. Heating and hot water system inspected and commissioned in accordance with manufacturers recommendations and Technical Standard 6.5.1

SECURED BY DESIGN (SBD)...

Doors ... Front entrance doorsets shall be certificated to one of the following standards:
•PAS 24:2007 (Note 21.1.1) or WCL 1 (Note 21.1.2)
Windows ... The SBD standards for ground floor, basement and easily accessible windows (Note 28.1.1) are as follows: •BS 7950: 1997 or WCL 4 (Note 28.1.2)
All windows must incorporate key lockable hardware unless designated as emergency egress routes, 1 b

STRUCTURAL NOTES...

All structural timber to be grade C16 to BS 5268 *unless otherwise specified by Structural Engineer. All lintols in timber frame: 3/220x45Dp timbers supported on double cripple studs at each end. All timber to timber fixings at bridle, beams etc. made using fully nailed joist hangers speedy type. Foundations built off original subsoil soil bearing pressure 200kN/m². Engineer informed of soft spots Concrete grade C30 to BS 8500 parts 1&2 with min cement content 250kg/m³. Top of foundation 450mm min below finished ground level
7N dense blockwork min density 1800kg/m³ and mortar designation (111) all to BS5628

WATER EFFICIENCY...

Water efficient fittings should be provided to all WCs and WHBs within a dwelling. Dual flush WC cisterns should have an average flush volume of not more than 4.5 litres. Single flush WC cisterns should have a flush volume of not more than 4.5 litres. Taps serving wash or hand rinse basins should have a flow rate of not more than 6 l/min. When specifying water efficient fittings consideration should be given to the operational flow rates that some heating or hot water appliances, such as combination boilers, need to activate their water heating function. When installing low volume flush WCs, the pipe diameter, discharge and gradient interrelationship of the drainage system is critical in order that the new and any existing sections of the drain operate as intended. Plumbing and associated water installations should be carried out and commissioned by persons who possess sufficient technical knowledge, relevant practical skills and experience for the nature of the work undertaken. An approved Certifier of Construction, who has been assessed to have the professional skills and relevant experience, can certify compliance of plumbing, heating or drainage installations

LEADWORK:

All leadwork code 5 to BS EN 12588 ragged into walls with min. 150mm upstand fixed in place with proprietary fixing clips to BS 6915 at max. 450mm ctrs. Lead sealant applied to ragged. Lead forming valley gutters to be dressed vertically 150mm above slate and under timber wall linings and under slate to sides by 150mm over 45x25mm battens

GLAZING:

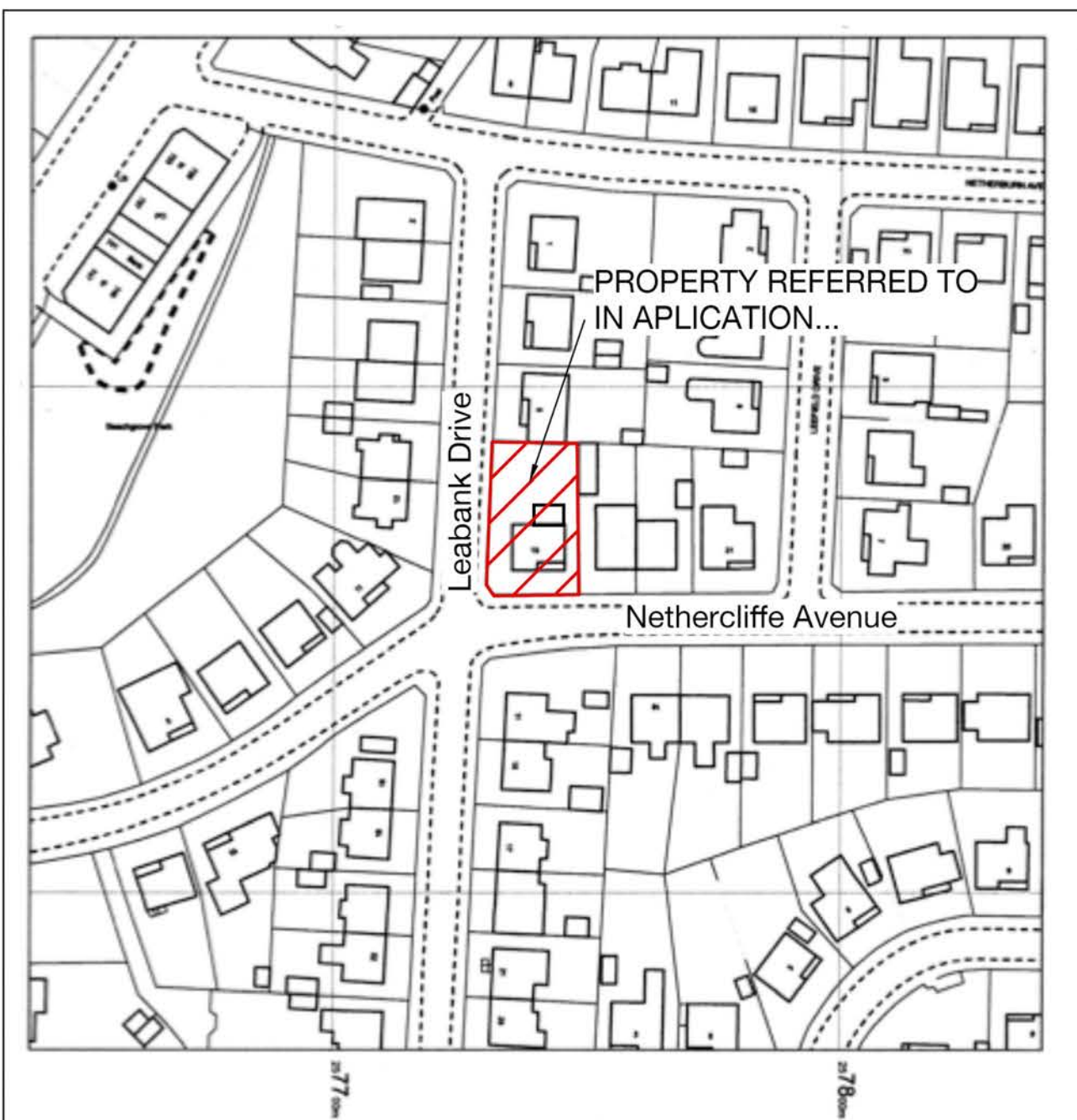
All glazing below 800mm to be toughened safety glass to BS6262: Part 4 2005 All glazing below 1500mm in doors and side lights to be toughened safety glass to BS 6262:2005 Protective barrier fitted in front of all glazing below 800mm above floor level capable of resisting loads specified in BS 6399:Part 1:1996

GENERAL...

- All electrical work to be to the latest IEE rules and regulations with electrical work undertaken by contractor who can sign electrical completion certificate.
- The building owner is responsible for notifying the Local Authority when the works are due to start on site. Any change however minor should be discussed with the Local Authority prior to carrying out any works as any unspecified works may require an amendment to building warrant.
- All service position on drawings are indicative only. The building owner should contact all services to locate exact positions of all services required.
- All apartments to have translucent glazed openings with area of at least 1/15th of the floor area of the apartment located in an external wall or in a wall between the apartment and a conservatory.
- Construction and work carried out to ensure there are no substantial thermal bridges or gaps of insulation occur within building elements.

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Dwg	A1437.21.10
Title	Specifications	Date	06.12.21
		Scale	n/a

KEA
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G12 9DX tel: 0141 341 0694



LOCATION PLAN 1 : 1250

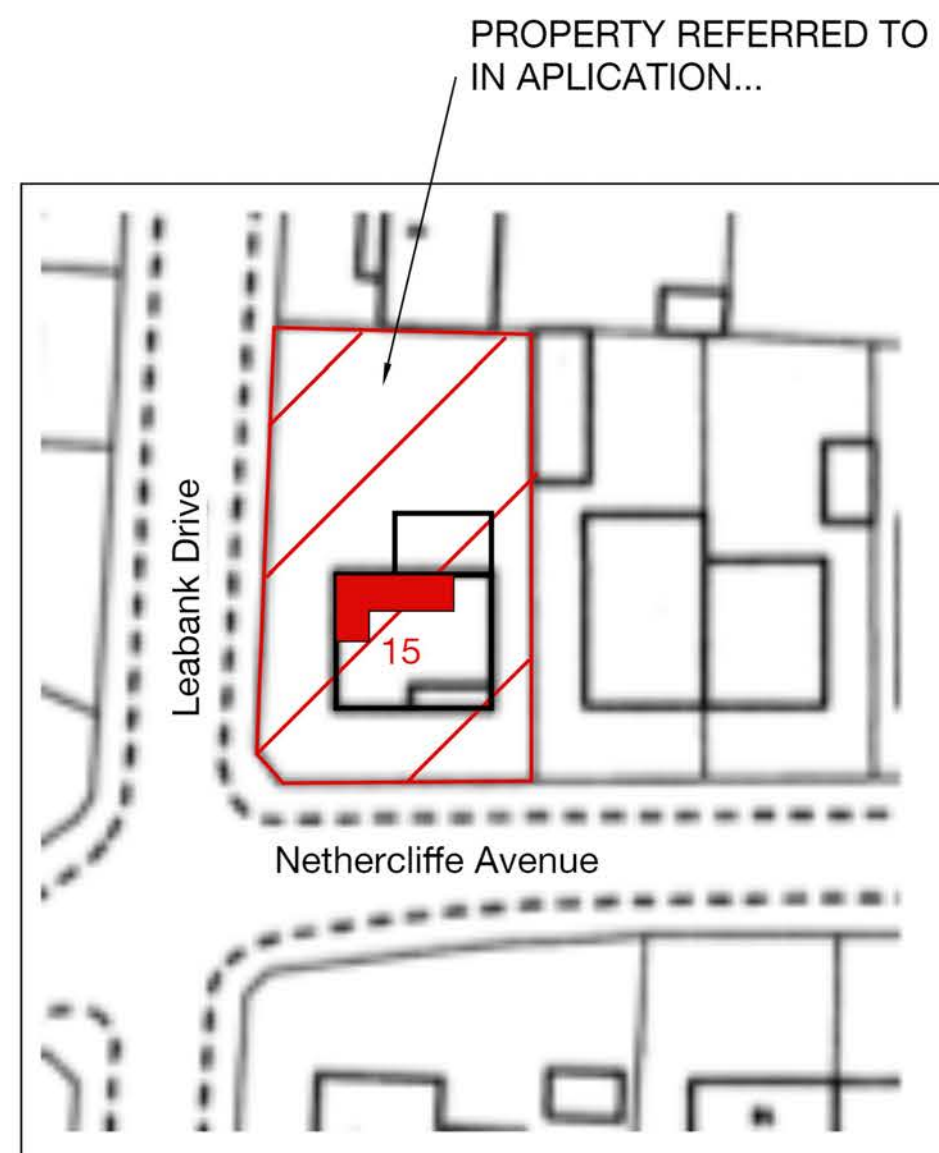


MapsinK

OS MasterMap 1250/2500/10000 scale
30 September 2016, ID: MNOW-00564716
mapsnow.co.uk

1:1250 scale print at A4, Centre: 257740 E, 658569 N

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100019980



BLOCK PLAN 1 : 500
Site area ... 528sq.m.

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension	Dwg	A1437.21.01
Title	Location/Block plans	Date	06.12.21
		Scale	1:1250, 1:500

KEA KEITH EDWARDS ARCHITECT

2 CALEDON STREET, GLASGOW
G12 9DX tel : 0141 341 0694

Existing internal wall forming stair at FF level to be infilled with acoustic insulation then faced with 12.5mm plasterboard on the shower room side of stud wall.

New flat roof gutters all round connecting to new 75mm rwp which should flush onto existing roof and then to existing drainage system.

New 147x45mm structural timber frame infilled with Celotex GA 4000 insulation board 145mm thick then faced internally with 25mm thick celotex having 12.5mm wallboard internal finish.

New drainage from shower room to be fed to existing s&vp stack outside ground floor within pitched roof area at rear then new connection made to pipe.
Hot and cold water pipes to rise from the existing bathroom below.

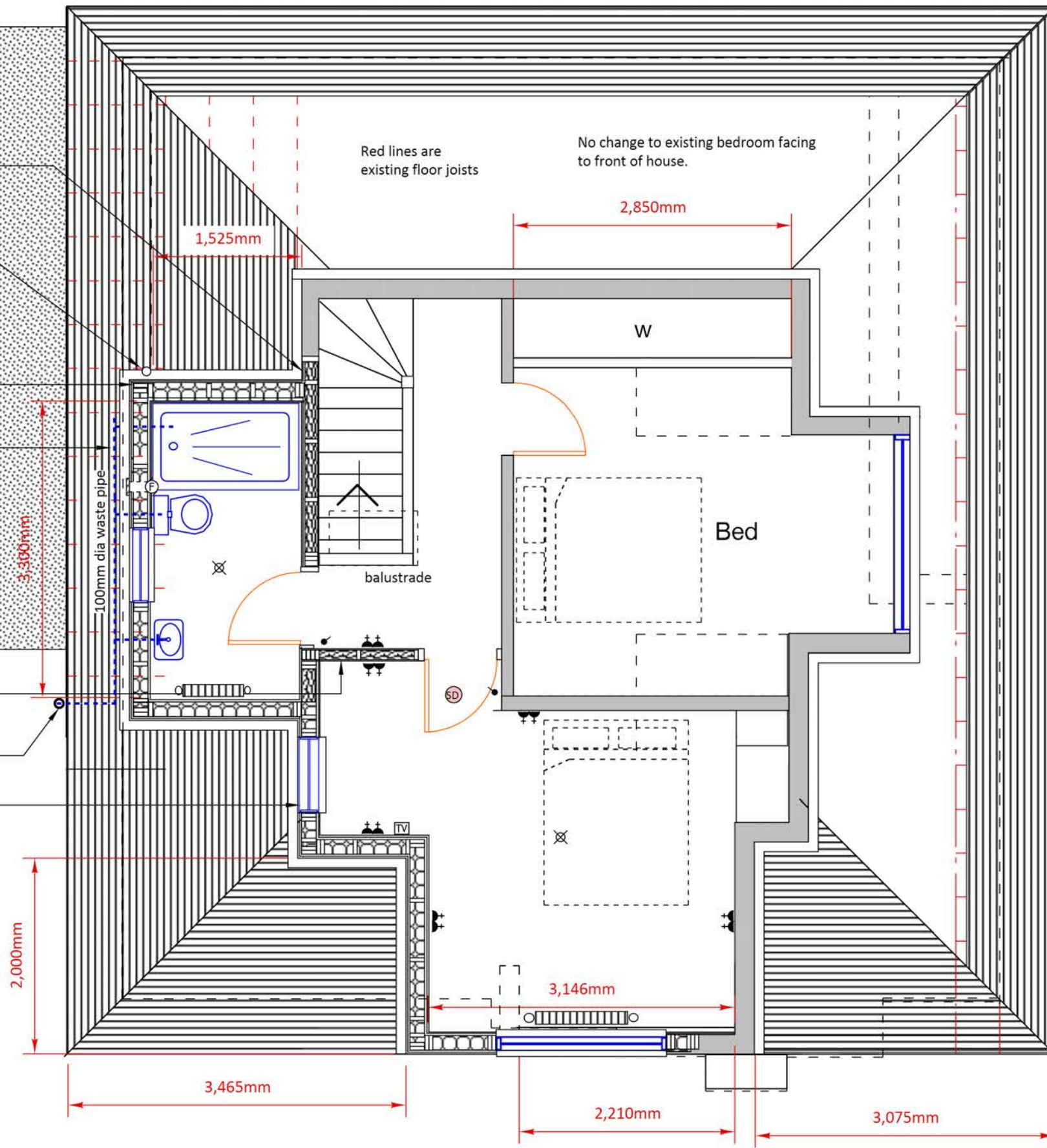
Existing rooflight to stairwell retained in current position with new roof structure formed round opening where possible.

Form new internal stud walls using 97x45mm studs infilled with sound quilt insulation as per specifications.

100mm dia s&vp existing with new connection at first floor

Install double glazed pvc framed windows to match existing in style with one window having tilt and turn mechanism for escape with an opening of 450x450mm min.

Hipped end rafter to be cut at ceiling level then supported by steel lintels to side and rear new walls.
Structural design by Engineer for all roof alterations required to form extended loft rooms.



Red lines are existing floor joists
No change to existing bedroom facing to front of house.

ELECTRICAL LEGEND:

- Double switch socket
- Light Fixture ceiling.
- Light switch
- Extract Fan
- Light Switch
- TV Outlet
- Telephone Outlet
- Smoke Detector ... hard wired
- Radiator.
- Shaver socket outlet

Internally remove existing plasterboard faced timber stud wall and cut handrail where access required into new shower room. Form new timber handrail to side of new door over existing stairwell to keep the open aspect of the stairwell..

Re-use the existing internal bedroom door in new location as noted. Install new door to shower room

New floor through extension to have 22mm thick t&g chipboard flooring made laid over 20mm gyproc board for sound insulation. Retain existing deadening. Install sound insulation wherever possible in new works floor.

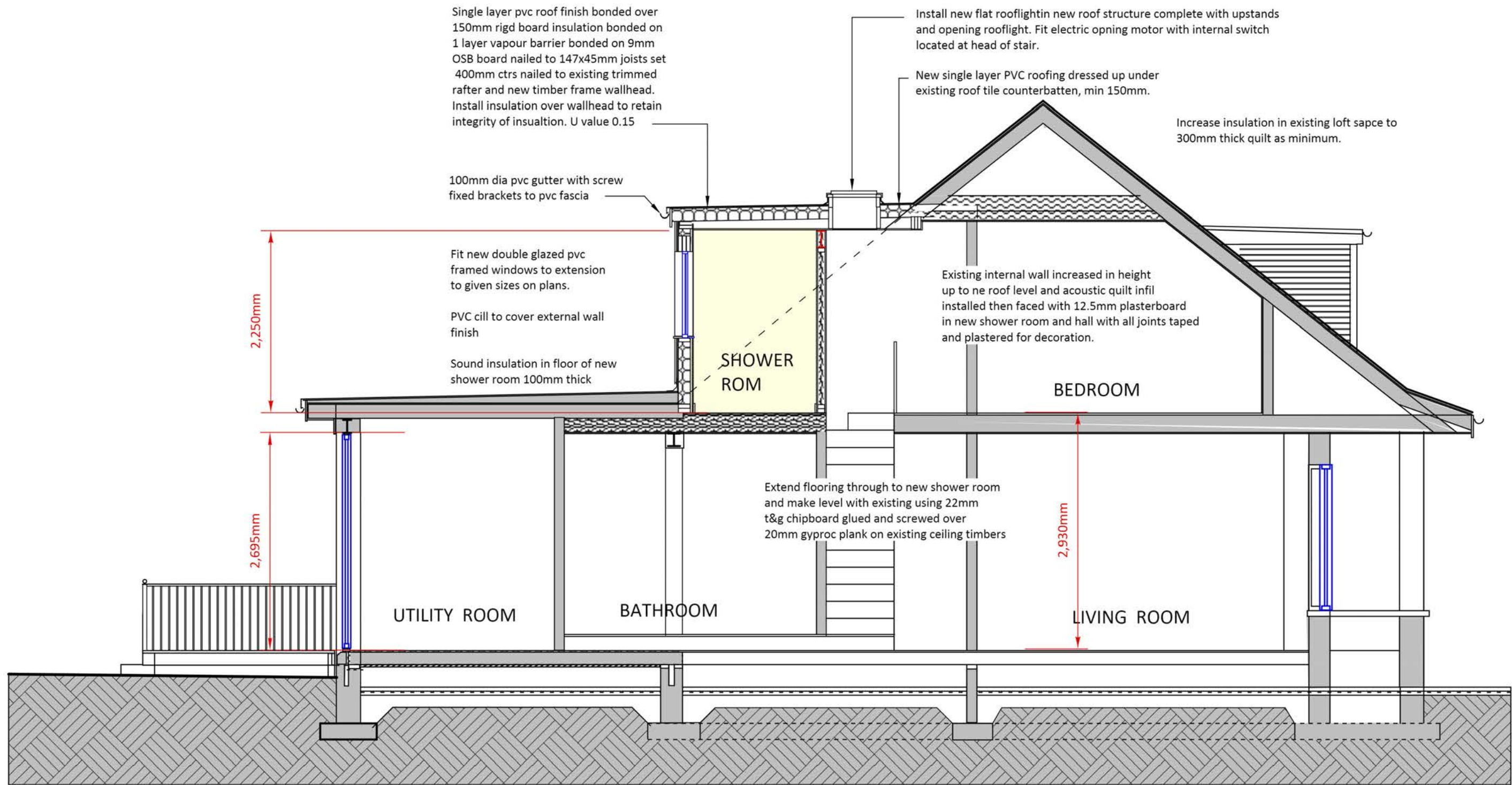
Retain existing dormer with new dormer set back to be over existing wallhead for structural support to new build

FIRST FLOOR PLAN...

Extend existing side dormer by 800mm to achieve larger room and alter window position to be central to wall.

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow
Project	Loft extension, extend bedroom + shower room	Dwg	A1437.21.06
Title	First Floor Plan ... proposed	Date	07.12.21
		Scale	1:50


KEA KEITH EDWARDS ARCHITECT
2 CALEDON STREET, GLASGOW
G12 9DX tel : 0141 341 0694



SECTION ...



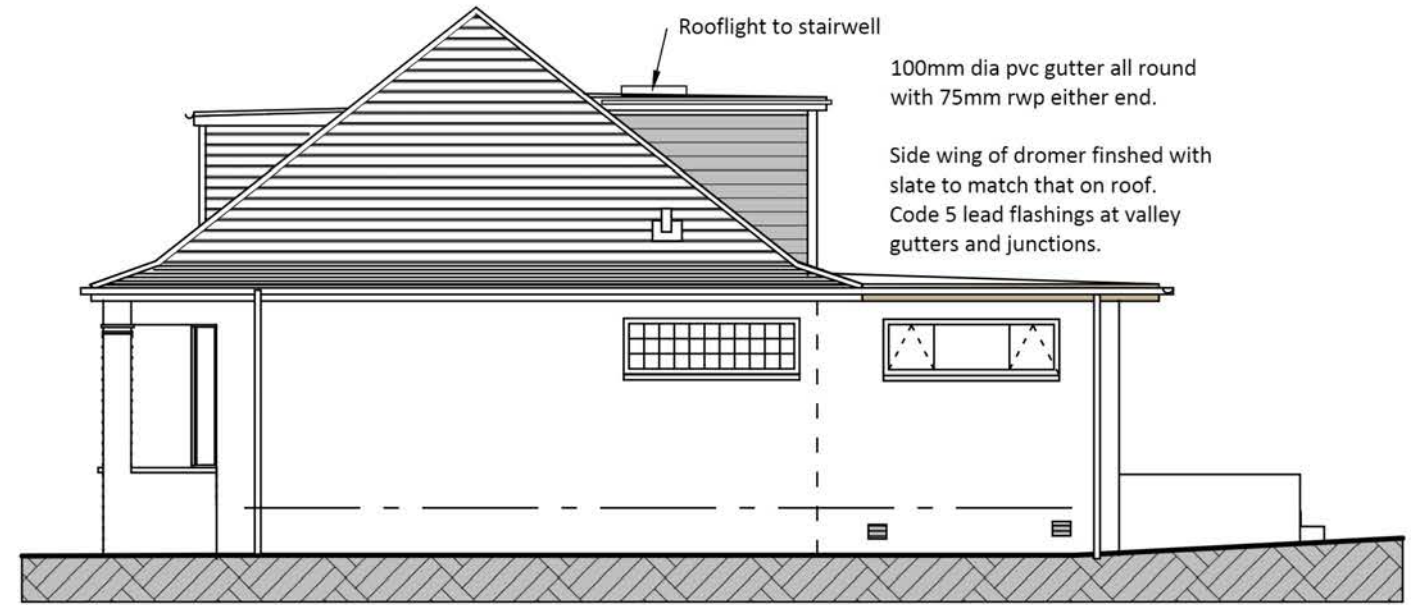
Scale:- 1 : 50

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow	 KEITH EDWARDS ARCHITECT 2 CALEDON STREET, GLASGOW G12 9DX tel : 0141 341 0694
Project	Loft extension	Dwg	A1437.21.07	
Title	Section	Date	07.12.21	
		Scale	1:50	

Flat roof over existing side dormer to be increased in height to match that of new roof having more insulation installed under finishes.



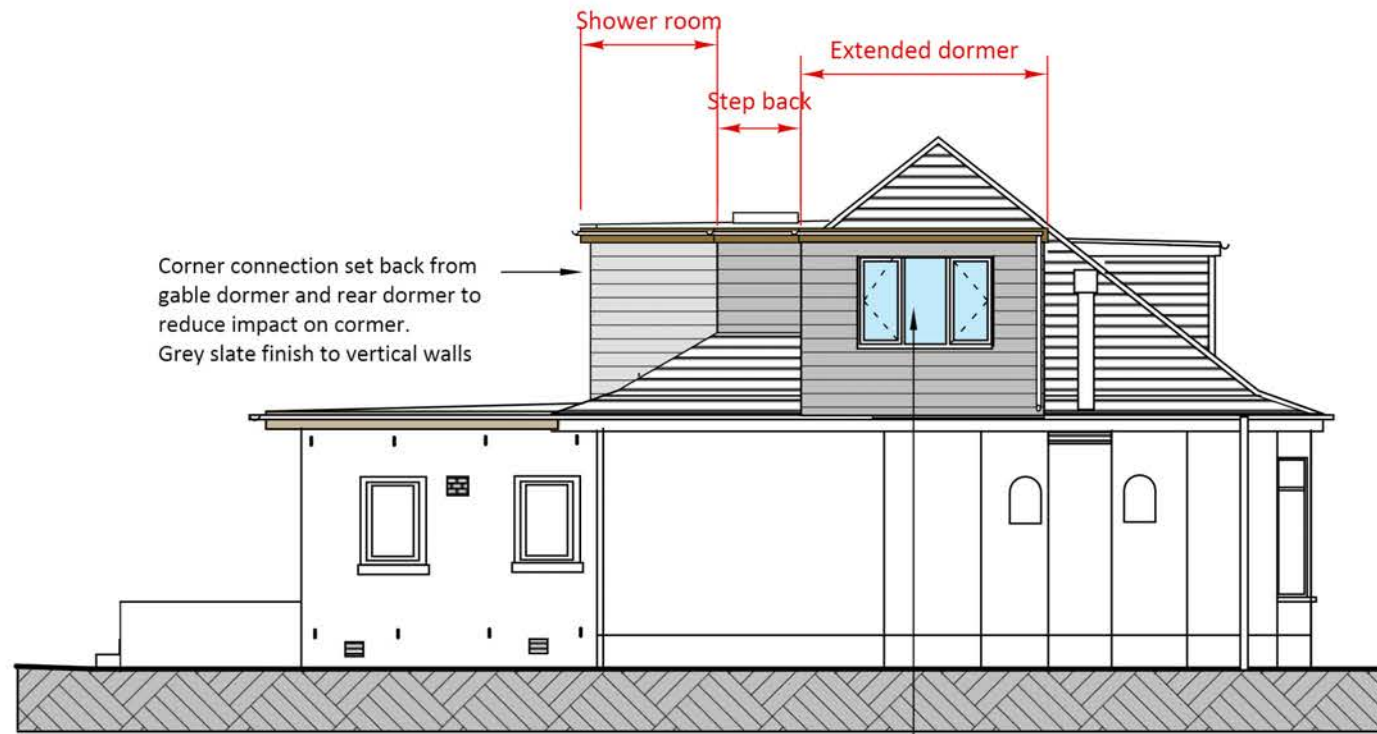
FRONT ELEVATION...



SIDE ELEVATION...

Rooflight to stairwell
100mm dia pvc gutter all round with 75mm rwp either end.
Side wing of dormer finished with slate to match that on roof.
Code 5 lead flashings at valley gutters and junctions.

Extract vent through rear wall for shower room with 15l/sec rating, insect screen fitted.

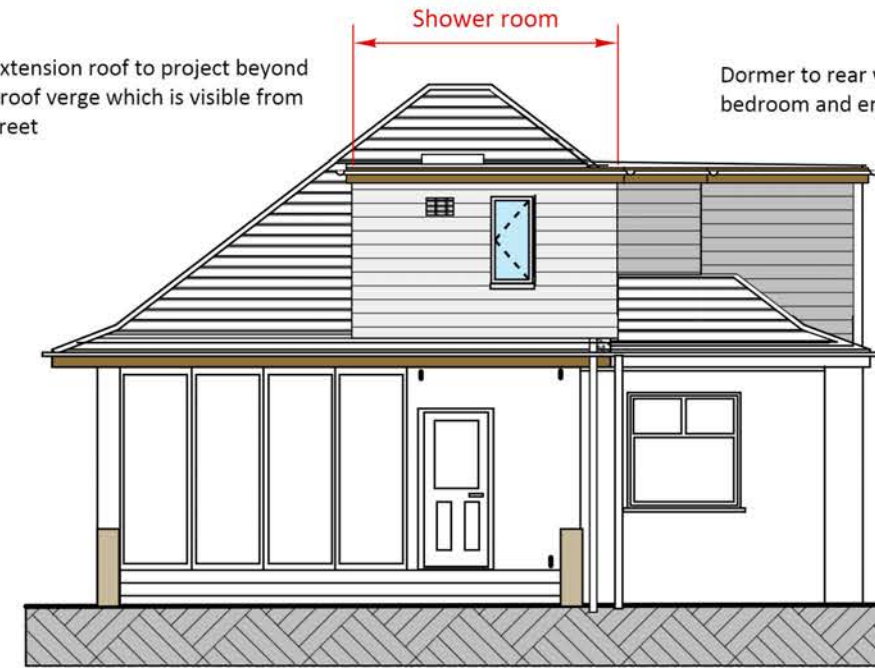


SIDE ELEVATION...

Corner connection set back from gable dormer and rear dormer to reduce impact on corner.
Grey slate finish to vertical walls

Existing window to be centred on new extended wall of dormer.

No part of extension roof to project beyond the pitched roof verge which is visible from the front street




REAR ELEVATION...

Dormer to rear with windows to bedroom and en-suite

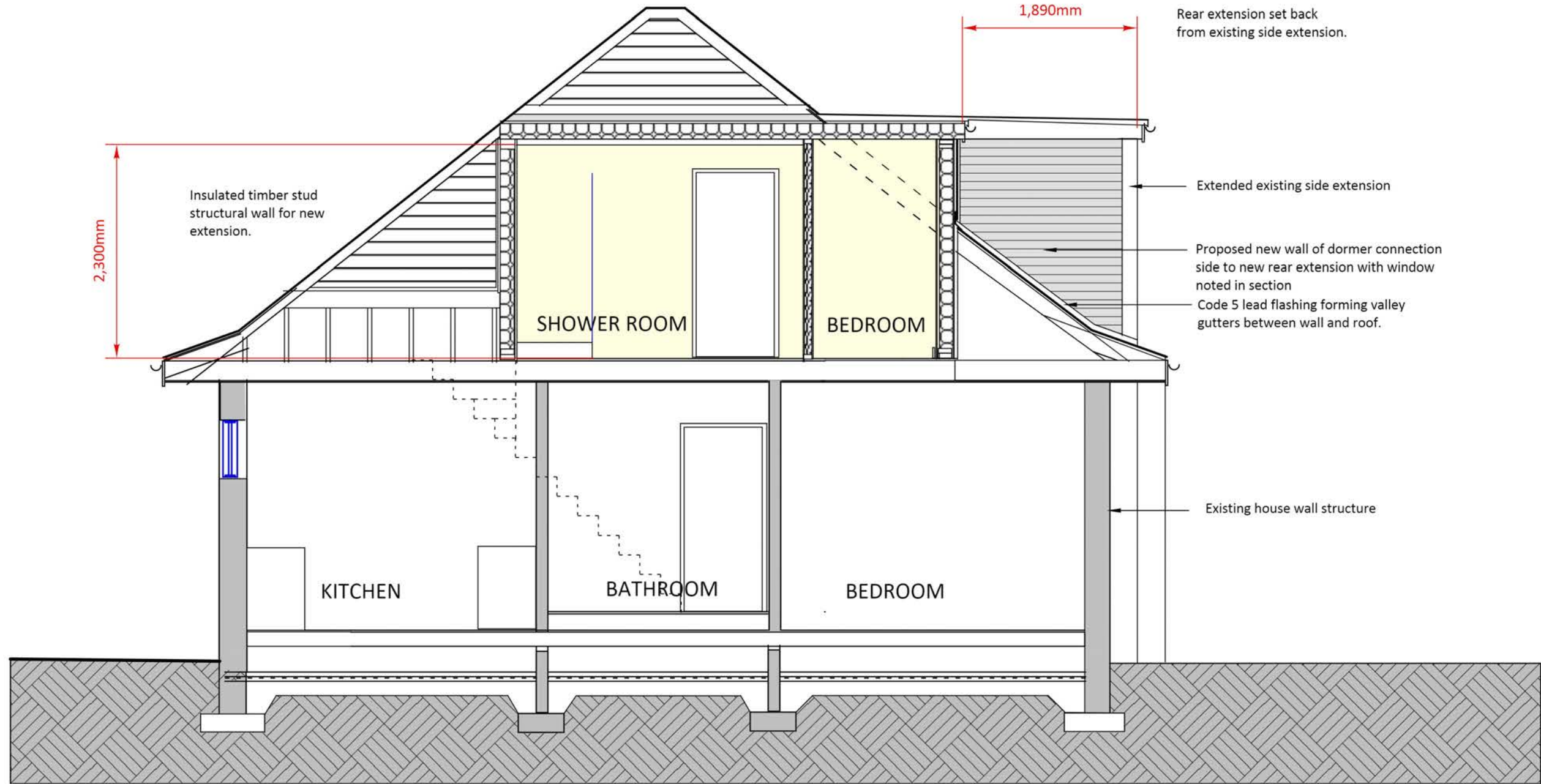
Corner connection set back from gable dormer and rear dormer to reduce impact on corner.
Grey slate finish to vertical walls



Scale:- 1 : 100

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow	 KEITH EDWARDS ARCHITECT 2 CALEDON STREET, GLASGOW G12 9DX tel : 0141 341 0694
Project	Loft extension	Dwg	A1437.21.08	
Title	Elevations ... proposed	Date	06.12.21	
		Scale	1:50	


STRUCTURAL ENGINEERS DESIGN AND SPECIFICATIONS FOR STEEL AND STRUCTURAL TIMBER REQUIREMENTS TO BE READ IN CONJUNCTION WITH ARCHITECTS PLANS..



STEPPED SECTION .. East to west.



Scale:- 1 : 50

Client	Mr & Mrs O'Donnell	Address	15 Nethercliffe Avenue, Glasgow	 KEITH EDWARDS ARCHITECT 2 CALEDON STREET, GLASGOW G12 9DX tel : 0141 341 0694
Project	Loft extension	Dwg	A1437.21.10	
Title	Section ... east to west	Date	06.12.21	
		Scale	1:50	

EAST RENFREWSHIRE COUNCILLOCAL REVIEW BODY9 November 2022Report by Director of Business Operations and PartnershipsREVIEW OF CASE - REVIEW/2022/09**CHANGE OF USE FROM CLASS 2 TO HOT FOOD TAKEAWAY (SUI GENERIS),
INCLUDING ERECTION OF FLUE TO REAR.****PURPOSE OF REPORT**

1. The purpose of the report is to present the information currently available to allow a review of the decision taken by officers, in terms of the Scheme of Delegation made in terms of Section 43A of the Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 in respect of the application detailed below.

DETAILS OF APPLICATION

2. Application type: Full Planning Permission (Ref No:- 2021/0973/TP).
- Applicant: Robinbrook Ltd
- Proposal: Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear.
- Location: Lloyds TSB, 85 Main Street, Thornliebank, East Renfrewshire, G46 7RY.
- Council Area/Ward: Giffnock and Thornliebank (Ward 3).

REASON FOR REQUESTING REVIEW

3. The applicant has requested a review on the grounds that the Council's Appointed Officer refused the application.

RECOMMENDATIONS

4. The Local Review Body is asked to:-
- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
 - (i) it proceeds to determine whether the decision taken in respect of the application under review should be upheld, reversed or varied; and
 - (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed; or
 - (b) that in the event that further procedure is required to allow it to determine the review, consider:-

- (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
- (ii) what procedure or combination of procedures are to be followed in determining the review.

BACKGROUND

5. At the meeting of the Council on 29 April 2009, consideration was given to a report by the Director of Environment seeking the adoption of a new Scheme of Delegation in terms of the new Section 43A of the Town and Country Planning (Scotland) Act 1997, subject to approval of the scheme by Scottish Ministers.

6. The report provided details of the new hierarchy of developments that took effect from 6 April 2009 explaining that the Scheme of Delegation related to those applications within the “local development” category as set out in the Town and Country Planning (Hierarchy of Development) (Scotland) Regulations 2009, but would in future be determined by an “appointed officer”. In the Council’s case this would be either the Director of Environment or the Head of Roads, Planning and Transportation Service now designated the Head of Environment (Operations).

7. The report highlighted that historically appeals against planning decisions were dealt with by Scottish Ministers. However, following the introduction of the new planning provisions which came into effect on 3 August 2009 all appeals against decisions made in respect of local developments under delegated powers would be heard by a Local Review Body. The Local Review Body would also deal with cases where the appointed officer had failed to determine an application within two months from the date it was lodged.

NOTICE OF REVIEW – STATEMENT OF REASONS FOR REQUIRING THE REVIEW

8. The applicant in submitting the review has stated the reasons for requiring the review of the determination of the application. A copy of the applicant’s Notice of Review and Statement of Reasons including appeal statement is attached as Appendix 6.

9. The applicant is entitled to state a preference for the procedure (or combination of procedures) to be followed by the Local Review Body in the determination of the review and has detailed in their opinion that this review can continue to conclusion based on the assessment of the review documents only, with no further procedure.

10. The Local Review Body is not bound to accede to the applicant’s request as to how it will determine the review and will itself decide what procedure will be used in this regard.

11. At the meeting of the Local Review Body on 10 August 2016, it was decided that the Local Review Body would carry out unaccompanied site inspections for every review case it received prior to the cases being given initial consideration at a meeting of the Local Review Body.

12. In accordance with the above decision, the Local Review Body will carry out an unaccompanied site inspection on Wednesday, 9 November 2022 before the meeting of the Local Review Body which begins at 2.30pm.

INFORMATION AVAILABLE TO ALLOW REVIEW OF APPLICATION

13. Section 43B of the Planning etc (Scotland) Act 2006 restricts the ability of parties to introduce new material at the review stage. The Local Review Body is advised that the focus of the review should, therefore, be on the material which was before the officer who dealt with the application under the Scheme of Delegation.

14. However, the applicant has submitted new information which was not available to the Appointed Officer at the time the determination of the application was made. The new information consists of proof of enquiries received to the marketing agency all relating to hot food takeaway use included in Appendix 8.

15. Members are advised that Section 43B of The Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 states that:-

“43B Matters which may be raised in a review under section 43A(8)

- (1) In a review under section 43A(8), a party to the proceedings is not to raise any matter which was not before the appointed person at the time the determination reviewed was made unless that party can demonstrate—
 - (a) that the matter could not have been raised before that time, or
 - (b) that its not being raised before that time was a consequence of exceptional circumstances.
- (2) Nothing in subsection (1) affects any requirement or entitlement to have regard to—
 - (a) the provisions of the development plan, or
 - (b) any other material consideration.”

16. The applicant has advised of the reasoning behind this submission, please find this response attached in Appendix 8.

17. The Local Review Body must decide whether the new information should be considered as part of the review. In the event that it does, it is recommended, in the interests of equality of opportunity to all parties that the Appointed Officer be given the opportunity to comment on the new information.

18. The information detailed below is appended to this report to assist the Local Review Body in carrying out the review of the decision taken by the Appointed Officer:-

- (a) Application for planning permission – Appendix 1 (Pages 77 - 96);
- (b) Report of Handling by the planning officer under the Scheme of Delegation - Appendix 4 (Pages 109 - 118);
- (c) Decision notice and reasons for refusal - Appendix 5 (Pages 119 - 122); and
- (d) A copy of the applicant's Notice of Review and Statement of Reasons including appeal statement - Appendix 6 (Pages 123 - 138).

19. The applicant has also submitted the drawings listed below and these are attached as Appendix 7 (Pages 139 - 146).

- (a) Location Plan 21-1540-006A;
- (b) Existing Layouts and Elevations 21-1540-003-PL;

- (c) Proposed Floor Plans, Elevation and Site Plan 21-1540-004A-PL;
- (d) Refused – Location Plan 21-1540-006A;
- (e) Refused – Existing Layouts and Elevations 21-1540-003-PL; and
- (f) Refused – Proposed Floor Plans, Elevation and Site Plan 21-1540-004A-PL.

20. The Local Review Body is advised that initial consultation responses and representations received if any, relating to the application will be listed in the planning officer's Report of Handling and are also included as Appendix 2 and Appendix 3.

21. All the documents referred to in this report can be viewed online on the Council's website at www.eastrenfrewshire.gov.uk.

RECOMMENDATIONS

22. The Local Review Body is asked to:-

- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
 - (i) it proceeds to determine whether the decisions taken in respect of the application under review should be upheld, reversed or varied; and
 - (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed; or
- (b) In the event that further procedure is required to allow it to determine the review, consider:-
 - (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

Report Author: Sharon McIntyre

Director – Louise Pringle, Director of Business Operations and Partnerships

Sharon McIntyre, Committee Services Officer
e-mail: sharon.mcintyre@eastrenfrewshire.gov.uk
Tel: 0141 577 3011

Date:- November 2022

APPLICATION FORM

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100513876-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Type of Application

What is this application for? Please select one of the following: *

- Application for planning permission (including changes of use and surface mineral working).
- Application for planning permission in principle.
- Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- Application for Approval of Matters specified in conditions.

Description of Proposal

Please describe the proposal including any change of use: * (Max 500 characters)

Proposed Change of Use from Class 1 to Class 3 Hot Food (Sui Generis), including erection of flue to rear, reinstatement of existing unit into two separate units and new fascia for smaller unit.

Is this a temporary permission? *

Yes No

If a change of use is to be included in the proposal has it already taken place?
(Answer 'No' if there is no change of use.) *

Yes No

Has the work already been started and/or completed? *

No Yes – Started Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	HARDIES PROPERTY & CONSTRUCTION CONSULTANTS		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	AYESHA	Building Name:	<input type="text"/>
Last Name: *	MUNIR	Building Number:	31
Telephone Number: *	0141 3312807	Address 1 (Street): *	Byres Road
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	Glasgow
Fax Number:	<input type="text"/>	Country: *	UNITED KINGDOM
		Postcode: *	G11 5RD
Email Address: *	ayesha.munir@hardies.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	Robinbrook Ltd
First Name: *	<input type="text"/>	Building Number:	<input type="text"/>
Last Name: *	<input type="text"/>	Address 1 (Street): *	Larkhill Abridge Road
Company/Organisation	Robinbrook Ltd	Address 2:	Theydon Bois Epping
Telephone Number: *	<input type="text"/>	Town/City: *	Essex
Extension Number:	<input type="text"/>	Country: *	UK
Mobile Number:	<input type="text"/>	Postcode: *	CM16 7NN
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text"/>		

Site Address Details

Planning Authority:

East Renfrewshire Council

Full postal address of the site (including postcode where available):

Address 1:

83-85 MAIN STREET

Address 2:

THORNLIBANK

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

GLASGOW

Post Code:

G46 7RY

Please identify/describe the location of the site or sites

Northing

659584

Easting

254932

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

Yes No

Site Area

Please state the site area:

64.00

Please state the measurement type used:

Hectares (ha) Square Metres (sq.m)

Existing Use

Please describe the current or most recent use: * (Max 500 characters)

Bank - Office

Access and Parking

Are you proposing a new altered vehicle access to or from a public road? *

Yes No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

<p>Are you proposing any change to public paths, public rights of way or affecting any public right of access? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.</p>
<p>How many vehicle parking spaces (garaging and open parking) currently exist on the application Site? <input style="width: 150px;" type="text" value="0"/></p> <p>How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? * <input style="width: 150px;" type="text" value="0"/></p> <p>Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).</p>
<h3 style="margin: 0;">Water Supply and Drainage Arrangements</h3> <p>Will your proposal require new or altered water supply or drainage arrangements? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>
<p>Do your proposals make provision for sustainable drainage of surface water?? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (e.g. SUDS arrangements) *</p> <p>Note:-</p> <p>Please include details of SUDS arrangements on your plans</p> <p>Selecting 'No' to the above question means that you could be in breach of Environmental legislation.</p>
<p>Are you proposing to connect to the public water supply network? *</p> <p><input type="checkbox"/> Yes</p> <p><input type="checkbox"/> No, using a private water supply</p> <p><input checked="" type="checkbox"/> No connection required</p> <p>If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).</p>
<h3 style="margin: 0;">Assessment of Flood Risk</h3> <p>Is the site within an area of known risk of flooding? * <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Don't Know</p> <p>If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.</p> <p>Do you think your proposal may increase the flood risk elsewhere? * <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Don't Know</p>
<h3 style="margin: 0;">Trees</h3> <p>Are there any trees on or adjacent to the application site? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.</p>
<h3 style="margin: 0;">Waste Storage and Collection</h3> <p>Do the plans incorporate areas to store and aid the collection of waste (including recycling)? * <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>

If Yes or No, please provide further details: * (Max 500 characters)

Please refer to drawing 21-1540-004-PL.

Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? *

Yes No

All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? *

Yes No

All Types of Non Housing Development – Proposed New Floorspace Details

For planning permission in principle applications, if you are unaware of the exact proposed floorspace dimensions please provide an estimate where necessary and provide a fuller explanation in the 'Don't Know' text box below.

Please state the use type and proposed floorspace (or number of rooms if you are proposing a hotel or residential institution): *

Class 3 Restaurant/cafe

Gross (proposed) floorspace (In square meters, sq.m) or number of new (additional) Rooms (If class 7, 8 or 8a): *

64

If Class 1, please give details of internal floorspace:

Net trading spaces:

Non-trading space:

Total:

If Class 'Not in a use class' or 'Don't know' is selected, please give more details: (Max 500 characters)

Class 3 Hot Food Takeaway - Sui Generis

Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013) *

Yes No Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

Yes No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

Yes No

Is any of the land part of an agricultural holding? *

Yes No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: AYESHA MUNIR

On behalf of: Robinbrook Ltd

Date: 08/12/2021

Please tick here to certify this Certificate. *

Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? *

Yes No Not applicable to this application

b) If this is an application for planning permission or planning permission in principal where there is a crown interest in the land, have you provided a statement to that effect? *

Yes No Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? *

Yes No Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? *

Yes No Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? *

Yes No Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? *

Yes No Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- Site Layout Plan or Block plan.
 Elevations.
 Floor plans.
 Cross sections.
 Roof plan.
 Master Plan/Framework Plan.
 Landscape plan.
 Photographs and/or photomontages.
 Other.

If Other, please specify: * (Max 500 characters)

Provide copies of the following documents if applicable:

- | | |
|--|--|
| A copy of an Environmental Statement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Design Statement or Design and Access Statement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Flood Risk Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Drainage/SUDS layout. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Transport Assessment or Travel Plan | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Contaminated Land Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Habitat Survey. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Processing Agreement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |

Other Statements (please specify). (Max 500 characters)

Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mrs AYESHA MUNIR

Declaration Date: 08/12/2021

Payment Details

Pay Direct

Created: 08/12/2021 20:08

Model GFBE

Economy Baffle Grease Filters



GENERAL DESCRIPTION

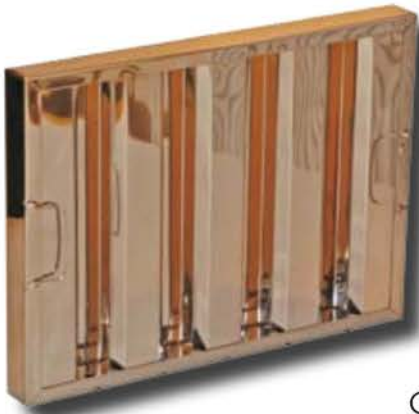
These filters are designed for use in commercial kitchens and ventilation from food preparation areas where their primary function is to prevent flame from travelling from the cooking area up into the extract duct.

Construction

These filters are made from rolled channel frames, with safety edges. Each blade overlaps the opposite one to provide a tortuous path for the grease laden air. The grease drains down the blades and through the drain holes provided into a collection tray provided in the kitchen canopy.

These Filters are available in the finishes below

Stainless Steel



Brushed Stainless Steel



Galvanised Steel



ENVIRONMENT



EMS 81914
BS EN ISO 14001:2004

QUALITY



FM 29257
BS EN ISO 9001:2000

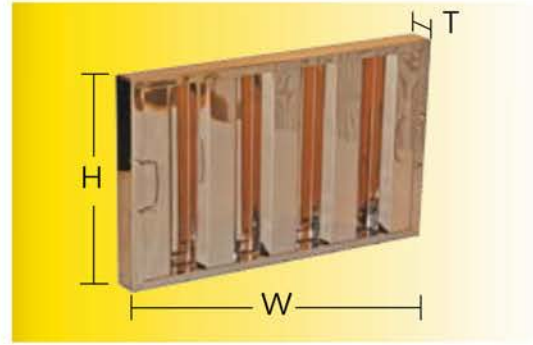
Jasun Filtration Plc
 Riverside House, Parrett Way
 Bridgwater, Somerset.
 TA6 5LB
 United Kingdom

Tel.: +44 (0) 1278 452277
 Fax: +44 (0) 1278 450873
info@jfilters.com
<http://www.jfilters.com>

GFBE Baffle Grease Filters

STANDARD SIZES

Jasun Filtration always specify filters as Height (H) x Width (W)x Thickness (T) This is particularly important with baffle filters because the handles will always go on the H side, the blades will always run along the H side, and the drain holes will always be in the W side

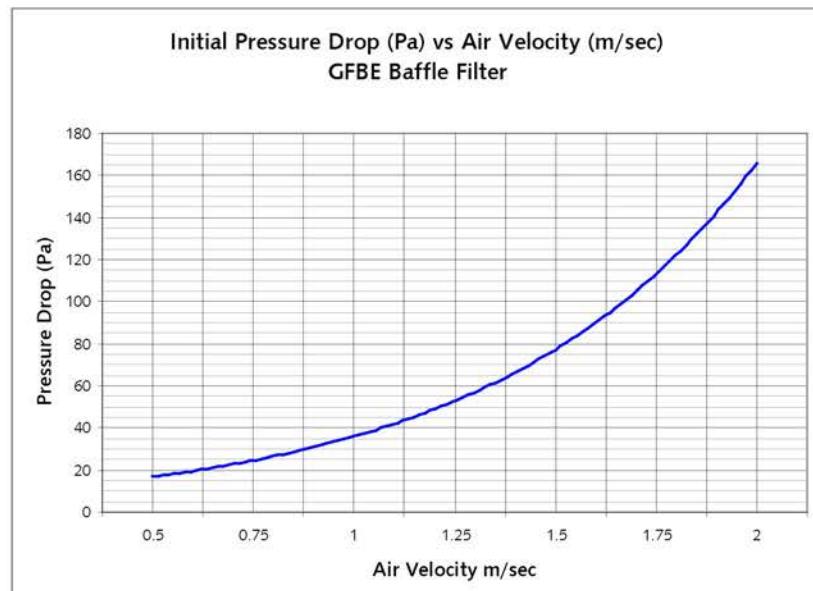


No.	Nominal Size Inches	Height (mm)	Width (mm)	Depth (mm)	Rated Airflow m ³ /hr.
GFBEEx-1020	10 x 20 x 2	241	495	45	644
GFBEEx-1212	12 x 12 x 2	292	292	45	460
GFBEEx-1216	12 x 16 x 2	292	394	45	621
GFBEEx-1224	12 x 24 x 2	292	594	45	937
GFBEEx-1616	16 x 16 x 2	394	394	45	838
GFBEEx-1620	16 x 20 x 2	394	495	45	1053
GFBEEx-1625	16 x 25 x 2	394	622	45	1323
GFBEEx-1818	18 x 18 x 2	445	445	45	1069
GFBEEx-2010	20 x 10 x 2	495	241	45	644
GFBEEx-2016	20 x 16 x 2	495	394	45	1053
GFBEEx-2020	20 x 20 x 2	495	495	45	1323
GFBEEx-2025	20 x 25 x 2	495	622	45	1663
GFBEEx-2424	24 x 24 x 2	597	597	45	1925

To Specify the Grease Filters material

In the Part Numbers above replace the x with

- S for Stainless Steel
- R for Brushed Stainless Steel
- G for Galvanised Steel



CP4 Synthetic Bag Filter

Fire Rated BS5588 Part 9 (CP413)

GENERAL DESCRIPTION

The CP4 is a general use bag filter, suitable for fresh air intakes and heavy loading situations. Manufactured from a deep loft graduated density filter media this provides exceptional dirt loading and long life in even the most testing situations. This bag filters is ideal as a grease eliminator in extraction systems off commercial kitchens, bakerys restauarnts and food preparation areas.

Construction

This product is made by mounting a series of filter pockets on a metal slide channel header frame.

Features

- Rolled safety edge to prevent the material being cut and to prevent injury to the engineers who handle them
- Stiffened filter media to give stability in all air-flows, even VAV systems
- anti-microbial
- Fire retardent certified to BS5588 Part 9 (CP413)
- The media has a Graduated Density for even dirt loading, which gives greater dust holding and longer filter life.
- Has a low pressure drop



Filter Efficiency to BS EN 779		G4
Rating to ASHRAE 52.2 Test Standard		Merv 9
Pocket Depth	Rated Airflow	Initial Pressure Drop
300mm	1.7m/sec	30Pa
350mm	2.46m/sec	30Pa
600mm	3.3m/sec	50Pa
Final Recommended Pressure Drop		250Pa

ENVIRONMENT



EMS 81914
BS EN ISO 14001:2004

QUALITY



FM 29257
BS EN ISO 9001:2000

Jasun Filtration Plc
Riverside House, Parrett Way
Bridgwater, Somerset.
TA6 5LB
United Kingdom

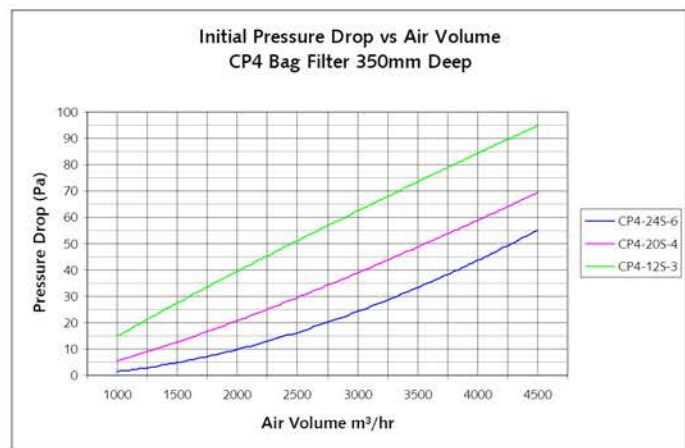
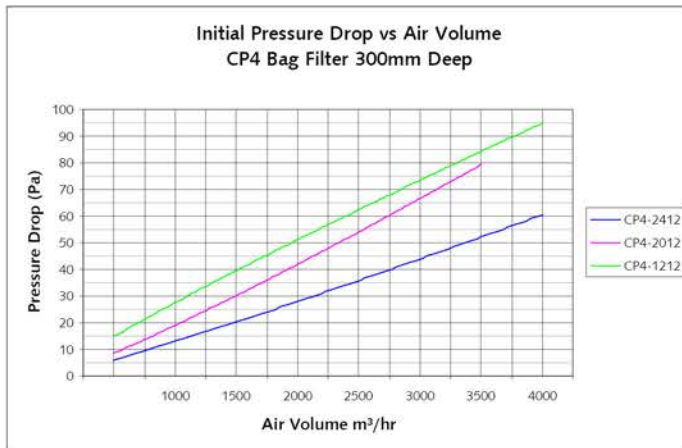
Tel.: +44 (0) 1278 452277
Fax: +44 (0) 1278 450873
info@jfilters.com
<http://www.jfilters.com>

CP4 Synthetic Bag Filter

STANDARD SIZES

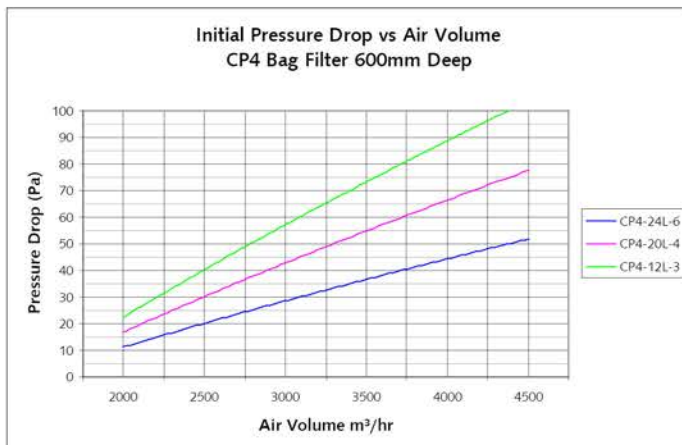
Series 300 - Economy configuration

Part Number	Header Dimensions			Pocket Details		Capacity m ³ /hr
	Height (mm)	Width (mm)	Thickness (mm)	Depth (mm)	No. of Pockets	
CP4-1212	592	287	20	300	2	1000
CP4-2012	592	492	20	300	3	1800
CP4-2412	592	592	20	300	4	2100



Series 350 - Low Initial Pressure Drop Configuration

Part Number	Header Dimensions			Pocket Details		Capacity m ³ /hr
	Height (mm)	Width (mm)	Thickness (mm)	Depth (mm)	No. of Pockets	
CP4-12S-3	592	287	20	350	3	1500
CP4-20S-4	592	492	20	350	4	2500
CP4-24S-6	592	592	20	350	6	3100



Other header thickness available:
12mm, 15mm, 22mm, 25mm, 33mm, 38mm

Other Standard Pocket Depths:
229mm, 500mm, 559mm

ANY other size and pocket configuration
made to specific requirements.

Series 600 - Long Pocket, long Life, High Capacity Configura-

Part Number	Header Dimensions			Pocket Details		Capacity m ³ /hr
	Height (mm)	Width (mm)	Thickness (mm)	Depth (mm)	No. of Pockets	
CP4-12L-3	592	287	20	600	3	2000
CP4-20L-4	592	492	20	600	4	3460
CP4-24L-6	592	592	20	600	6	4200



Manufacturing
Air Filters in
the UK for
Over

40
Years

UltimaPleat RP Compact⁹¹ HEPA Efficiency Rating

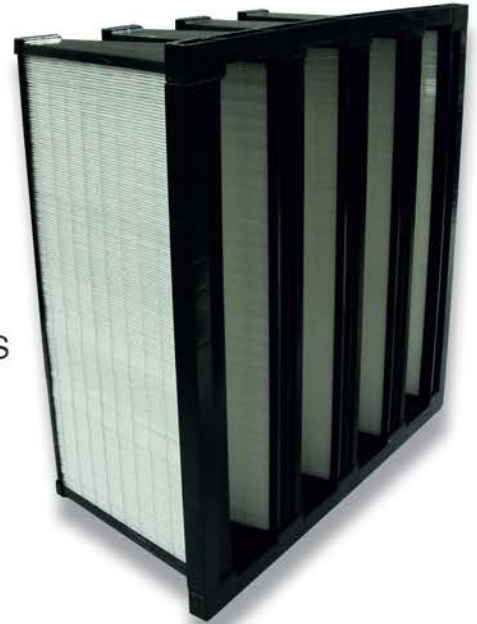


General Description

Ultima Filters are a range of fine mini-pleat filters which range from Grades F6 to H13. This compact configuration can be retrofitted for all bag filters grade F6 to F9 and above offering longer life and LOWER ENERGY COSTS than all bag filters.

Construction

High capacity glass fibre mini-pleat pack is bonded into an ABS moulded plastic case, engineered for maximum strength and optimum airflow characteristics.



Features

- Totally stable media presentation to the air
- Will not collapse during downtime
- will always operate at 100% of capacity
- fully incinerable
- Extended media Area
- Long Life
- Low Pressure Drop
- High Capacity
- Available with 20mm or 25mm Header
- Long life retrofit for any standard bag filter

Filter Media

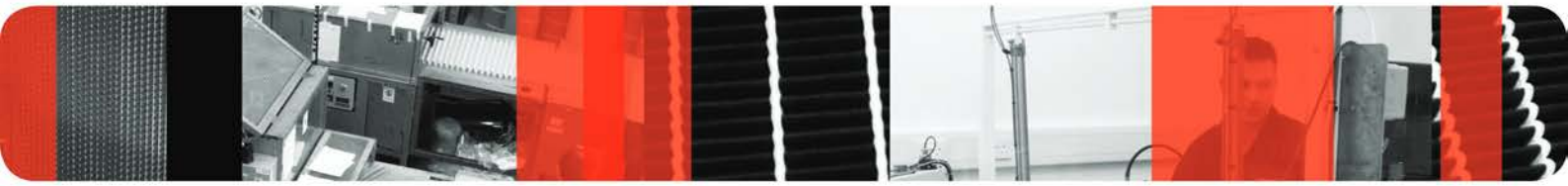
- Is microfine glass fibre
- Totally stable
- Not reliant on electrostatic charge
- Mechanical Filtration



Filter Efficiency to BS EN 779		H10(E10)	H11(E11)	H13
Depth	Rated Airflow	Initial Pressure Drop - Clean Filter		
292mm	2.4m/sec	200Pa	200Pa	300Pa
Maximum Final Recommended Pressure Drop 450Pa				



RP UltimaPleat Compact ⁹² STANDARD SIZES



Header Dimensions							
Part Number	Height (mm)	Width (mm)	Depth (mm)	Efficiency to EN1822	Number of V's	Media Area m ²	Capacity m ³ /hr
RP10-2412	592	592	292	H10(E10)	4	19	3000
RP10-2012	592	492	292	H10(E10)	4	16	2000
RP10-1212	592	287	292	H10(E10)	4	9.5	1500
RP11-2412	592	592	292	H11(E11)	4	19	3000
RP11-2012	592	492	292	H11(E11)	4	16	2000
RP11-1212	592	592	292	H11(E11)	4	9.5	1500
RP13-2412	592	592	292	H13	4	19	3000
RP13-2012	592	492	292	H13	4	16	2000
RP13-1212	592	287	292	H13	4	9.5	1500

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Manufacturing
Air Filters in
the UK for
Over
40
Years

Sitesafe Discarb Units ⁹³



General Description

Standard Discarb multipanel carbon units have been in circulation for over 30 years and there are many tens of thousand of units in service today. These filters are very heavy and nearly always installed in situations with very poor access.

With the new appreciation of risk which we have in the 21st Century it has become apparent that these units represent a real danger to health and potentially offer risk in the work place when a filter change is required.

The new Sitesafe Discarb cells provide exactly the same filter performance with a set of filters which will retrofit exactly for an existing full size cell.

We offering a full set of Site Safe discarbs for the same price as a full sized cell so there is no reason not to change to the new style filters and improve workplace safety.

Will require two people plus lifting gear to carry and install



Discarb DC242424

Size 594x594x597
Gross Weight 68.2Kg
Carbon Weight 50kg
Rated Airflow 3800m³/hr*
Pressure Drop 120Pa

Safe for one person to carry, no special lifting gear required.

Sitesafe discarb cells are a no added cost option so its win win.

Same price as a standard full size discarb - set of 3



Sitesafe DCS240824

Size 594x196x597
Gross Weight 17.95Kg
Carbon Weight 16.6kg
Rated Airflow 1266m³/hr*
Pressure Drop 120Pa



Sitesafe 3xDCS240824

Size 594x594x597
Gross Weight 53.85Kg
Carbon Weight 50kg
Rated Airflow 3800m³/hr*
Pressure Drop 120Pa

*Rated Airflow based on a dwell time of 0.1 seconds.
Available in all sizes to retrofit discarb cells

SiteSafe Units Standard Sizes

94



SiteSafe Reference	SiteSafe Cells Needed	Retrofit Discarb	Nominal Size (Inches)	Height (mm)	Width (mm)	Depth (mm)	Weight of Carbon (Kg)	Cell Weight (Kg)	Capacity m ³ /hr
DCS180912	2	DC181812	18 x 9 x 12	445	220	297	6.5	7.85	495
DCS240612	2	DC241212	24 x 6 x 12	594	146	297	6.5	7.85	990
DCS240812	3	DC242412	24 x 8 x 12	594	196	297	8.4	9.7	633
DCS180918	2	DC181818	18 x 9 x 18	445	220	451	9.5	10.85	722
DCS240618	2	DC241218	24 x 6 x 18	594	146	451	9	10.35	685
DCS240818	3	DC242418	24 x 8 x 18	594	196	451	12	13.35	915
DCS180924	2	DC181824	18 x 9 x 24	445	220	597	12.5	13.85	950
DCS240624	2	DC241224	24 x 6 x 24	594	146	597	12.5	13.85	950
DCS240824	3	DC242424	24 x 8 x 24	594	196	597	16.6	17.95	1266

The above capacities are based on a 0.1 second dwell time. Please refer to the table below for the recommended minimum dwell times required for different applications and scale up accordingly. It should be noted that filtration performance will be improved by increasing the dwell times applied. The appropriate suffix should be added to the part number to specify the required grade e.g. DCS240824-7C

Application	Recommended Dwell Time	Grade	Suffix
Cooking - General Restaurant	0.1 to 0.2 Seconds	General Purpose Activated Carbon	-7C
Cooking - Spicy, Indian	0.2 to 0.4 Seconds	General Purpose Activated Carbon	-7C
Reduction of Kerosene Exhaust fumes	0.1 to 0.2 Seconds	General Purpose Activated Carbon	-7C
Reduction of Ozone	0.1 to 0.2 Seconds	General Purpose Activated Carbon	-7C
Reduction of Diesel Fumes, including H ₂ S, SO ₂ , NOX, HCl	0.2 Seconds	5% Copper Treated Carbon	-9M
Museum and Archives	0.2 Seconds	5% Copper Treated Carbon	-9M
Mortuary / formaldehyde reduction	0.4 Seconds	Mortuary Grade	-MO
Ammonia Neutralisation	0.3 seconds	Ammonia Grade	-AM

Other Applications

We can formulate gas phase filters for most applications, simply contact us with your enquiry.

Filter Manufacture & Air Hygiene Solutions

Production and Filter Sales

Riverside House, Parrett Way, Bridgwater. TA6 5LB
 T 01278 452277 E sales@jfilters.com
 F 01278 450873 www.jfilters.com

Filter Service and Air Hygiene

5 Stratfield Park, Eletttra Ave. Waterlooville. PO7 7XN
 T 02392 644700 E service@jfilters.com
 F 02392 644677 www.jasun-envirocare.com

Proposed Ventilation Statement for 85 Main Street Thornliebank Glasgow.

Proposed Requirements and Features of the Ventilation System:

General: The Following Specification is recorded as being the min requirement to design the ventilation. The system will be designed in accordance by the M+E Contractor in the detailed stage of the building warrant.

Odour Control system

The odour assessment for the kitchen extract system has a predicted odour risk of 35 based on the DEFRA guide, which equates to a high level of odour control required. Therefore we would propose to install an odour control system, detailed as follows.

The system would comprise of a purpose made filter housing incorporating the following filter types: -

4no 592x592x350 CP4 Fire Rated Bag Filter

General Description

The CP4, fire rated range of bag filters are used widely in government buildings, hospitals and other sensitive areas. This grade of filter would capture 90% of the grease left within the system after the canopy baffle filters.

Meets NHS HTM03 Filter Specification, Filter Class EN779:2012 G4

4no 592x592x300 RP Compact Medium/Fine Ridgid HEPA Bag filters

General Description

The F9 grade ridgid bag filter are used within this system to capture the heavy particles of smoke from the cooking process and are 80% efficient.

4no-995x995x995 Discarb Activated Carbon Units

General Description

These filters are manufactured for ease of installation and incorporation into ducted air systems. They can be used on both supply for purifying incoming air, and can be used on the extract to remove toxic gasses and odours generated within a process.

Construction

These modules are manufactured by mounting a series on carbon panel filters within a sealed case. The airflow is epitomize by presenting the filtering surfaces in a "V" formation.

Each carbon panel is sealed into the filter case so as to ensure no air can bypass the carbon granules.

The panels are manufactured using long established bonding techniques which hold the activated carbon granules in a rigid biscuit. The biscuit is encapsulated in a carbon impregnated cloth which prevents any leakage of granules or powder.

The carbon filters would remove 90% of any residual odours.

The final exhaust position of the extract system terminal would be at high level and would exhaust through a louver grille.

Noise

General: The System Shall Not exceed the Noise Curve Rating of 25 At any given time.

Maintenance:

The System Is to be designed to provide the least Down time and ease of maintenance. The Tennant will Follow the Maintenance Requirement Imposed by the Manufacturer of a Proprietary System. Most Likely in the form of a rolling Maintenance contract.

CONSULTATION RESPONSES

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Internal Memo

Our Ref: EH/HMcD

Your Ref: 2021/0973/TP

Date: 01/02/2022

From: Environmental Health

To: Development Management

PROPOSAL: Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear and formation of new shop front.

LOCATION: 85 Main Street Thornliebank G46 7RY

I have reviewed the plans for the above development and would comment as follows:

1. There shall be no construction work or offloading of delivered materials at the development site outwith the hours of 0800 to 1900 Monday to Friday and 0800 to 1300 on Saturday with no working on Sunday or local or national public holidays unless minor and temporary amendments have been otherwise agreed in advance in writing by the planning authority.
2. Noise from the proposed development and any associated equipment shall not exceed residential Noise Rating Curve 25 (as described in BS 8233 2014) between the hours of 2300 and 0700 and NR Curve 35 between 0700 and 2300 hrs, as measured from any neighbouring residential property. (applies to food air handling units)
3. Between the hours of 0800 and 2000 the measured noise level emitted from the premises (L_{Aeq} (1hour)) shall not exceed the pre-existing background noise level (L_{A90} (1/2hour)) by more than 4dB (A) when measured in accordance with BS4142:2014 at buildings where people are likely to be affected. Between the hours of 2000 and 0800 the noise emitted from the premises (L_{Aeq} (5mins)) shall not exceed the pre-existing background noise level (L_{A90} (1/2hour)) by more than 4dB(A) when measured in accordance with BS4142:2014 at buildings where people are likely to be affected.
4. The premises require to comply with –

- a) The Food Safety Act 1990 and any subordinate legislation made thereunder
 - b) The Food Hygiene (Scotland) Regulations 2006.
 - c) The Health and Safety at Work Etc Act 1974 and any subordinate legislation made thereunder.
 - d) The business operations and any activities in relation to alterations require to comply with The Health and Safety at Work Etc Act 1974 and any subordinate legislation made thereunder.
5. The food business requires to register with the Environmental Health Section 28 days prior to commencing business. A Food Safety Registration form may be accessed online or requested directly from the Section, by contacting 0141 577 8487 or emailing environmentalhealth@eastrenfrewshire.gov.uk .
 6. It is strongly advised that a grease trap of suitable capacity is installed for the collection of grease before it accesses the waste drainage system. For further information, please contact 0800 0778 778 to speak to Scottish Water Trade Effluent Quality Team. <https://www.scottishwater.co.uk/en/Business-and-Developers/Byelaws-and-Trade-Effluent/Trade-Effluent>
 7. It is recommended that the wash hand basin in the kitchen is fitted with non-hand operable taps. Details also required with the location of the wash hand basins within the food preparation area .
 8. It is recommended that applicants consider the food preparation activities they are proposing and ensure that facilities within their business can accommodate their proposals.
 9. A suitable ventilation system, which meets the approval of the Environmental Health Section requires to be installed.
 10. A suitable ventilation and extraction system, which meets the approval of the Environmental Health Section requires to be installed. The ventilation system should not cause nuisance to the occupiers of nearby properties arising from cooking odours/noise. Consideration should be made to the installation of an extraction flue that extends at least **1 metre** above the eaves of the building.
 11. The light emanating from the proposed fascia/sign must not cause disturbance to the occupiers of neighbouring dwellinghouses, therefore consideration must be given to the hours of operation and to the intensity and direction of said light. Guidance regarding lighting nuisance is available at www.scotland.gov.uk/Publications/2009/01/23142152/39
 12. Suitable arrangements should be made for the safe storage and disposal of **waste** arising from the business activities.
 13. I would also recommend that the operating times of the business should be restricted to reduce the likelihood of noise nuisance to nearby residents.

I trust that this information is of use. If you wish to discuss any of the matters raised in this memo, please do not hesitate to contact me.

Helen McDonald
SENIOR ENVIRONMENTAL HEALTH OFFICER

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**Roads Service
OBSERVATIONS ON
PLANNING APPLICATION**

Our Ref: 2021/0973/TP
D.C Ref Margaret McGleish
Contact: Allan Telfer

Planning Application No: 2021/0973/TP **Dated:** 27/01/2022 **Received:** 27/01/22
Applicant: Robinbrook Ltd
Proposed Development: Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear.
Location: 85 Main Street, Thornliebank
Type of Consent: Full Planning Permission

RECOMMENDATION

No Objections

Proposals Acceptable Y/N or N/A

Proposals Acceptable Y/N or N/A

Proposals Acceptable Y/N or N/A

1. General

(a) General principle of development	Y
(b) Safety Audit Required	N
(c) Traffic Impact Analysis Required	N

2. Existing Roads

(a) Type of Connection (junction / footway crossing)	N/A
(b) Location(s) of Connection(s)	N/A
(c) Pedestrian Provision	N/A
(d) Sightlines	N/A

3. New Roads

(a) Widths	N/A
(b) Pedestrian Provision	N/A
(c) Layout (horizontal/vertical alignment)	N/A
(d) Turning Facilities (Circles / hammerhead)	N/A
(e) Junction Details (locations / radii / sightlines)	N/A
(f) Provision for P.U. services	N/A

4. Servicing & Car Parking

(a) Drainage	N/A
(b) Car Parking Provision	N/A
(c) Layout of parking bays / Garages	N/A
(d) Servicing Arrangements	N/A

5. Signing

(a) Location	N/A
(b) Illumination	N/A

Ref.	COMMENTS
	<p><u>General</u> The proposed development is located within an established Neighbourhood Centre and is fronted by the B769 Main Street.</p> <p>Loading and parking restrictions apply on adjacent roads.</p> <p><u>Parking / Servicing</u> As the proposed development lies within an established neighbourhood centre location, the parking, access and servicing arrangements can be assumed to be part of the town centre supply.</p> <p>Service vehicles for this development, like all traffic, will be subject to national and local traffic restrictions and regulations.</p> <p>As such, the Roads Service has no objection to this application.</p> <p>While the Roads Service has no objections to this application, it should be noted that any bins associated with the proposed development must not be permanently located on the adjacent public footways.</p> <p><u>Miscellaneous</u></p> <p>Before construction takes place, the Applicants' contractor will be required to contact the Roads Service to discuss among other things, how disruption to public roads can be minimised, what temporary traffic management will be required and what remedial measures may be required on public roads adjacent to the application site.</p> <p>A Section 58 Road Occupation Permit will be required in order to deposit building materials on a road.</p> <p>A skip shall not be deposited on a road without the written permission of this Service.</p> <p>When any works are taking place within the site, the adjacent public road network must be kept free from deleterious materials at all times.</p>

Notes for Intimation to Applicant:

(i) Construction Consent (S21)*	Not Required
(ii) Road Bond (S17)*	Not Required
(iii) Road Opening Permit (S56)*	Not Required

* Relevant Section of the Roads (Scotland) Act 1984

Comments Authorised By: John Marley
Principal Traffic Officer

16/03/22

COPIES OF OBJECTIONS/REPRESENTATIONS

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Comments for Planning Application 2021/0973/TP

Application Summary

Application Number: 2021/0973/TP

Address: Lloyds TSB 85 Main Street Thornliebank East Renfrewshire G46 7RY

Proposal: Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear.

Case Officer: Ms Margaret McGleish

Customer Details

Name: Mr Albert Peti

Address: Fish And Chips, 89A Main Street, Thornliebank, East Renfrewshire G46 7RY

Comment Details

Commenter Type: Rec'd NeighbourNotification from Council

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: On this street there are already a significant number of food premises. Allowing an additional food premise on this street will just add to an already over saturated market. Negatively impacted and affecting the business of existing food shops in the area.

In a period of instability and rapidly fluctuating prices hampering and straining existing businesses, the addition of another food premise to the street will produce yet another blow the issues faced by many of the businesses on the street.

I would also like to add that as per requirements as a neighbouring business, i was to be informed within 21 days in writing of the proposed changes, allowing an opportunity to dispute this planning, as of now i'm yet still to receive any letter of these intentions which i find unacceptable. To find out through third parties of a planning permission of a neighbouring property is not good.

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REPORT OF HANDLING

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REPORT OF HANDLING

Reference: 2021/0973/TP

Date Registered: 17th January 2022

Application Type: Full Planning Permission

This application is a Local Development

Ward: 3 -Giffnock And Thornliebank

Co-ordinates: 254932/:659584

Applicant/Agent:

Applicant:

Robinbrook Ltd

Robinbrook Ltd

Larkhill Abridge Road

Theydon Bois Epping

Essex

UK

CM16 7NN

Agent:

AYESHA MUNIR

31 Byres Road

Glasgow

UNITED KINGDOM

G11 5RD

Proposal: Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear.

Location: Lloyds TSB
85 Main Street
Thornliebank
East Renfrewshire
G46 7RY

CONSULTATIONS/COMMENTS:

East Renfrewshire Council Roads Service

No objections

East Renfrewshire Council Environmental
Health Service

No objections

PUBLICITY:

04.02.2022

Evening Times

Expiry date 18.02.2022

SITE NOTICES:

None.

SITE HISTORY:

2002/0295/TP

Installation of satellite dish

30.04.2002

1999/0050/TP

Alterations to cashpoint
machine

Granted

19.02.1999

2003/0011/AD

Erection of internally
illuminated signboardApproved Subject
to Conditions

06.05.2003

around ATM

2006/0024/AD	Erection of internally illuminated projecting sign and replacement of fascia	Approved Subject to Conditions	26.01.2007
2008/0023/AD	Display of internally illuminated fascia and projecting sign and ATM collar.	Approved Subject to Conditions	15.09.2008
2012/0577/ADV	Display of internally illuminated fascia and projecting signs	Approved Subject to Conditions	12.11.2012

REPRESENTATIONS: 1 representation has been received and can be summarised as follows:

- Over saturated market
- Not neighbour notified

DEVELOPMENT PLAN & GOVERNMENT GUIDANCE: See Appendix 1

SUPPORTING REPORTS:

Other Details of the proposed ventilation system were submitted.

ASSESSMENT:

The application site (No. 85 Main Street) is situated on the north-west side of Main Street and comprises a double commercial unit with office space above within a row of 10 units on the north side of Eastwood Crescent. The unit is currently vacant and was last in use as a bank (Class 2). There is a service yard to the rear of the first 7 units (77-89 Main Street) with residential flats opposite the application site on the south side of Main Street. The properties in the row of units from south to north are: Sandwich shop (Class 1), Sandwich shop (Class 1), hot food takeaway (sui generis), application site (Class 2), convenience shop (Class 1), hot food takeaway (sui generis), hot food takeaway (sui generis), betting shop (Class 2), hot food takeaway (sui generis) and a butcher (Class 1).

Planning permission is sought for the sub-division of the former bank into two separate commercial units (Nos 83 & 85 Main Street). The second unit, no.83, is subject to a separate planning application reference no. 2021/0972/TP. Both applications propose a change of use to a hot food takeaway. The proposal for this unit is a change of use to a hot food takeaway with an office, staff room and staff toilets above at first floor level, including the erection of a flue to the rear. Internally the ground floor proposals include a takeaway counter and kitchen area. It should be noted that no prospective tenant has been identified for the proposed development and internal layouts, shop signage and opening hours would need to be confirmed.

The application requires to be assessed against Policies D1 and SG10 of the Adopted East Renfrewshire Local Development Plan 2. Policy D1 requires that the development should not result in a significant loss of character or amenity to the surrounding area and Policy SG10 states that the network of town and neighbourhood centres are the preferred location for significant footfall generating uses, including retail, leisure, entertainment, office, residential and community and cultural facilities. It also states that proposals for hot food takeaways within the town and neighbourhood centres will be required to avoid the concentration, including cumulatively, with other existing hot food takeaways in the area and will not result in a detrimental impact on the overall character and amenity of the area.

With regards to Policy SG10, although there is a strong presumption against hot food takeaways out-with the neighbourhood centres and the preference is for significant footfall generating uses, such as hot food takeaways, to be located within the neighbourhood centres, regard must be had for the role of town and neighbourhood centres as active, attractive and accessible places, support for their vitality and viability and to offer choice for the benefit of local communities.

This 10 unit row currently already has 4 hot food takeaways, an additional 2 sandwich takeaway shops and although technically Class 1 also a betting shop, a convenience shop and a butchers. The provision of even one further hot food takeaway in this row would therefore create an over-concentration of such uses in a relatively short section of street, taking the concentration of hot food takeaways to 50%. The addition of a second hot food takeaway at no.83 would further exacerbate this over-concentration. Taking into account the larger neighbourhood the cumulative effect would equate to around 25% being hot food takeaways with over 53% being non-retail. This would be to the detriment of the character and amenity of the area and would be contrary to both Policy D1 and Policy SG10.

Although not a policy requirement under SG10, as the application site is a current Class 2 use, marketing information was provided to the planning service after a request from the case officer, which indicated that there have been no interested parties for the vacant unit. However, it is not clear which use classes the property had been marketed for, other than Class 3 as indicated from the agent. Despite the unit being vacant for some time, Policy SG10 requires that it must be demonstrated that the proposal will not significantly impact on the role and function of the centre, adjacent uses or the character and amenity of the surrounding area and demonstrate that it will help to meet proven qualitative and quantitative deficiencies. As mentioned above this proposal would create an over concentration of hot food takeaways therefore the area cannot be seen as deficient in such a use and consequently is contrary to Policy SG10.

One representation was received objecting to the proposed development on the grounds that there is already a saturated market which has been addressed above. This same representation also stated that no 89A Main Street had not been neighbour notified as part of the statutory process. The planning service did include this address on the neighbour notification list to be distributed by Royal Mail, unfortunately the delivery of such letters is outwith the control of the planning service.

The Roads service have not raised any objections however, if the proposal was considered to have been acceptable, it would have been conditional that the provision of bins associated with the development are not permanently located on the public footways.

The Environmental Health service raised no objections however, if the proposal was considered to have been acceptable, the ventilation and extraction system, disposal of waste and any potential signage with lighting would have been required to meet the approval of the environmental health service. Any such lighting would also be subject to a separate advertisement consent and opening hours could be secured by condition if necessary to reduce the likelihood of noise nuisance to nearby residents.

Taking the above into account it is considered that the proposal is contrary to Policies D1 and SG10 of the Adopted East Renfrewshire Local Development Plan 2. There are no material considerations that indicate the application should not be refused. It is therefore recommended that the application is refused.

RECOMMENDATION: Refuse

PLANNING OBLIGATIONS: None.

REASON(S):

1. The proposal is contrary to Policy D1 and Policy SG10 of the adopted East Renfrewshire Local Development Plan 2 as the proposed use would give rise to an over-provision and concentration of similar uses that would further erode the mix and diversity of retail and non-retail uses within the neighbourhood centre and would result in a detrimental impact on the overall character and amenity of the centre.

ADDITIONAL NOTES: None.

ADDED VALUE: None.

BACKGROUND PAPERS:

Further information on background papers can be obtained from Ms Margaret McGleish on 0141 577 3861.

Ref. No.: 2021/0973/TP
(MAMC)

DATE: 7th June 2022

DIRECTOR OF ENVIRONMENT

Reference: 2021/0973/TP - Appendix 1

DEVELOPMENT PLAN:

Strategic Development Plan

This proposal raises no strategic issues in terms of the Glasgow and the Clyde Valley Strategic Development Plan and therefore the East Renfrewshire Local Plan is the relevant policy document

Adopted East Renfrewshire Local Development Plan 2

Policy D1

Placemaking and Design

Proposals for development within the urban and rural areas should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. Proposals will be assessed against the 6 qualities of a successful place as outlined in SPP, Designing Streets and the Placemaking and Design Supplementary Guidance.

1. The development should not result in a significant loss of character or amenity to

- the surrounding area;
2. The proposal should be appropriate to its location, be high quality and of a size, scale, height, massing and density and layout that is in keeping with the buildings in the locality or appropriate to the existing building and should respect local architecture, building form and design;
 3. Respect existing building lines and heights of the locality;
 4. Create a well-defined structure of streets, public spaces and buildings;
 5. Ensure the use of high quality sustainable and durable materials, colours and finishes that complement existing development and buildings in the locality;
 6. Respond to and complement site topography and not impact adversely upon the green belt and landscape character and setting, green networks, features of historic interest, landmarks, vistas, skylines and key gateways. Existing buildings and natural features of suitable quality, should be retained and sensitively integrated into proposals including greenspace, trees and hedgerows;
 7. Boundary treatment and landscaping should create a distinctive edge and gateway to the development and reflect local character;
 8. Promote permeable and legible places through a clear sustainable movement hierarchy favouring walking, then cycling, public transport, then the private car as forms of movement;
 9. Demonstrate connectivity through the site and to surrounding spaces via a network of safe, direct, attractive and coherent walking and cycling routes. These must be suitable for all age groups, and levels of agility and mobility to allow for ease of movement from place to place;
 10. Demonstrate that safe and functional pedestrian, cycle and vehicular access, and parking facilities and infrastructure, including for disabled and visitor parking, is provided in accordance with the Council's Roads Development Guide. Where appropriate, proposals will be required to provide secure and accessible shelters, lockers, showers and seating and be designed to meet the needs of all users. Cycle parking and facilities should be located in close proximity to the entrances of all buildings to provide convenience and choice for users;
 11. Incorporate integrated and enhance existing green infrastructure assets, such as landscaping, trees and greenspace, water management and SUDs including access and prioritise links to the wider green network as an integral part of the design process from the outset, in accordance with Policies D4 - D6. New green infrastructure must be designed to protect and enhance the habitat and biodiversity of the area and demonstrate a net gain;
 12. Unless justified, there will be a general presumption against landraising. Where there is a justifiable reason for landraising, proposals must have regard to the scale and visual impact of the resultant changes to the local landscape and amenity. Proposals that adversely impact upon the visual and physical connections through the site and to the surrounding areas will be resisted;
 13. Backland development should be avoided;
 14. Provide safe, secure and welcoming places with buildings and spaces, including open spaces, play areas and landscaping, designed and positioned to reduce the scope for anti-social behaviour and fear of crime, improve natural surveillance, passive overlooking, security and street activity;
 15. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by unreasonably restricting their sunlight or

privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Guidance;

16. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the proposal;
17. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by noise, dust, pollution and smell or poor air quality;
18. Ensure buildings and spaces are future proof designed to be easily adaptable and flexible to respond to changing social, environmental, technological, digital and economic conditions;
19. Incorporate provision for the recycling, storage, collection and composting of waste materials; and
20. Incorporate the use of sustainable design and construction methods and materials in the layout and design to support a low carbon economy.

Proposals must meet the requirements of any development brief prepared by the Council for an allocated site.

Further detailed guidance and information will be set out in the Placemaking and Design Supplementary Guidance, Householder Design Supplementary Guidance and the Daylight and Sunlight Design Supplementary Guidance.

Policy SG10

Town and Neighbourhood Centre Uses

1. The network of town and neighbourhood centres, shown on the Proposals Map and listed in Schedule 19 are the preferred locations for significant footfall generating uses, including retail, leisure, entertainment, office, residential and community and cultural facilities.
2. A sequential 'town centre first' approach will be applied to proposals that would attract significant footfall. Proposals will be assessed against the following criteria:
 - a. Demonstrate a sequential approach has been undertaken to site selection in the following order of preference, as set out in SPP, and why more sequentially preferable options have been discounted as unsuitable or unavailable:
 - i. Town centres (including neighbourhood centres);
 - ii. Edge of town centre;
 - iii. Commercial centres;
 - iv. Out of centre locations that are, or can be, made easily accessible by a choice of transport modes.
 - b. Demonstrate that the proposal is of an appropriate scale and does not significantly impact upon the role and function of the centre, adjacent uses or the character and amenity of the surrounding area;
 - c. Demonstrate that the proposal will help to meet proven qualitative and quantitative deficiencies;
 - d. Demonstrate that there will be no significant adverse effect on the vitality and viability of existing town centres; and
 - e. Demonstrate that the proposal is accessible by a choice of sustainable transport modes.
3. Proposals over 2,500m² (gross) floorspace out-with a town centre will require a retail

impact assessment to be carried out. This should include a quantitative assessment of retail impact and capacity, and the qualitative impacts of the proposal. The cumulative effect of recently implemented or consented retail developments in nearby locations should also be taken into account.

4. Residential developments on the upper floors of existing buildings within the town and neighbourhood will be supported subject to compliance with other relevant policies of the LDP.
5. Proposals for changes of use at street level away from Class 1 retail use within the town and neighbourhood centres will be required to:
 - a. Demonstrate that there is no current or likely future demand for Class 1 retail use. Proposals will be required to demonstrate that the unit has been actively marketed for solely Class 1 retail use for a minimum of 6 months; and
 - b. Should not have an adverse impact on the mix and diversity of uses in the centre.
6. Proposals for hot food takeaways within the town and neighbourhood centres will be required to meet the following criteria:
 - a. Meet the requirements of criteria 5 where the proposal is for change of use away from Class 1 retail;
 - b. Avoid the concentration, including cumulatively, with other existing hot food takeaways in the area; and
 - c. Not result in a detrimental impact on the overall character and amenity of the centre, including the amenity of residential properties situated adjacent to or above existing premises, by virtue of noise, disturbance or odour.
7. There will be a strong presumption against hot food takeaways out-with the town and neighbourhood centres. Proposals out-with the town and neighbourhood centres should not result in a detrimental impact on the overall character and amenity of the area and will be assessed against the criteria of Policy D1.

Policy SG11

Town and Neighbourhood Centre Proposals

The Council will support the implementation of proposals at the locations listed in Schedule 20 and shown on the Proposals Map.

GOVERNMENT GUIDANCE: None.

Finalised 07/06/2022.AC

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**DECISION NOTICE
AND
REASONS FOR REFUSAL**

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**TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
(AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(SCOTLAND) REGULATIONS 2013**

REFUSAL OF PLANNING PERMISSION

Ref. No. **2021/0973/TP**

Applicant:

Robinbrook Ltd
Robinbrook Ltd
Larkhill Abridge Road
Theydon Bois Epping
Essex
UK
CM16 7NN

Agent:

AYESHA MUNIR
31 Byres Road
Glasgow
UNITED KINGDOM
G11 5RD

With reference to your application which was registered on 17th January 2022 for planning permission under the abovementioned Act and Regulations for the following development, viz:-

Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear.

at: Lloyds TSB 85 Main Street Thornliebank East Renfrewshire G46 7RY

the Council in exercise of their powers under the abovementioned Act and Regulations hereby refuse planning permission for the said development.

The reason(s) for the Council's decision are:-

1. The proposal is contrary to Policy D1 and Policy SG10 of the adopted East Renfrewshire Local Development Plan 2 as the proposed use would give rise to an over-provision and concentration of similar uses that would further erode the mix and diversity of retail and non-retail uses within the neighbourhood centre and would result in a detrimental impact on the overall character and amenity of the centre.

Dated 7th June 2022



Director of Environment
East Renfrewshire Council
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG
Tel. No. 0141 577 3001

The following drawings/plans have been refused

Plan Description	Drawing Number	Drawing Version	Date on Plan
Location Plan	006		
Plans and Elevations Proposed	004		

GUIDANCE NOTE FOR REFUSAL OF LOCAL DEVELOPMENTS DETERMINED UNDER DELEGATED POWERS

REVIEW BY EAST RENFREWSHIRE COUNCIL'S LOCAL REVIEW BODY

1. If the applicant is aggrieved by a decision to refuse permission (or by an approval subject to conditions), the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. A Notice of Review can be submitted online at www.eplanning.scotland.gov.uk. Please note that beyond the content of the appeal or review forms, **you cannot normally raise new matters** in support of an appeal or review, unless you can demonstrate that the matter could not have been raised before, or that its not being raised before is a consequence of exceptional circumstances. Following submission of the notice, you will receive an acknowledgement letter informing you of the date of the Local Review Body meeting or whether further information is required.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

CONTACT DETAILS

**East Renfrewshire Council
Development Management Service
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG**

**General Inquiry lines 0141 577 3001
Email planning@eastrenfrewshire.gov.uk**

**NOTICE OF REVIEW
AND
SUPPORTING STATEMENT**

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100513876-004

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	HARDIES PROPERTY & CONSTRUCTION CONSULTANTS		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	AYESHA	Building Name:	<input type="text"/>
Last Name: *	MUNIR	Building Number:	31
Telephone Number: *	0141 3312807	Address 1 (Street): *	Byres Road
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	Glasgow
Fax Number:	<input type="text"/>	Country: *	UNITED KINGDOM
		Postcode: *	G11 5RD
Email Address: *	ayesha.munir@hardies.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text" value="Robinbrook Ltd"/>
First Name: *	<input type="text"/>	Building Number:	<input type="text"/>
Last Name: *	<input type="text"/>	Address 1 (Street): *	<input type="text" value="Larkhill Abridge Road"/>
Company/Organisation	<input type="text" value="Robinbrook Ltd"/>	Address 2:	<input type="text" value="Theydon Bois Epping"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Essex"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="UK"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="CM16 7NN"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="████████████████████"/>		

Site Address Details

Planning Authority:	<input type="text" value="East Renfrewshire Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="83-85 MAIN STREET"/>
Address 2:	<input type="text" value="THORNIEBANK"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="GLASGOW"/>
Post Code:	<input type="text" value="G46 7RY"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="659584"/>	Easting	<input type="text" value="254932"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Proposed Change of Use from Class 1 to Class 3 Hot Food (Sui Generis), including erection of flue to rear, reinstatement of the existing unit into two separate units and formation of new shop front. at: Lloyds TSB 85 Main Street Thornliebank East Renfrewshire G46 7RY

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Please refer to attached supporting statement and proof of enquiries.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

The marketing agency has recently received enquiries for the unit and they are all related to hot food takeaway use. Proof of enquiries has been attached.

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Supporting statement Proof enquiries for hot food takeaway use.

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

2021/0973/TP

What date was the application submitted to the planning authority? *

09/12/2021

What date was the decision issued by the planning authority? *

09/06/2022

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mrs AYESHA MUNIR

Declaration Date: 21/07/2022

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East Renfrewshire Council
2 Spiersbridge Way
Thornliebank
Glasgow
G46 8NG

21st July 2022

Dear Sir/Madam,

Ref No: 2021/0973/TP
Location: Lloyds TSB 85 Main Street Thornliebank East Renfrewshire G46 7RY
Proposal: Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear.

East Renfrewshire Council Environmental Health Service and East Renfrewshire Council Roads Service departments have not raised any objections.

We refer to reason number 1 of the refusal letter – over provision and concentration of hot food takeaways.

J&E Shepherd our marketing agency has been actively marketing 85 Main Street Thornliebank for over 6 months. The units have been marketed as available either in whole or in part. Since the beginning of the marketing, the proposed use of all enquiries has been that for the use as a Hot Food Takeaway (Sui Generis) details of the enquiries are attached as proof to this submission.

Since the beginning of J&E Shepherds instruction to market this unit, we have had no enquiries for continued use as a Class 2 premises. The refusal of our application for change of use is therefore actively contributing to the vacancy of these premises and the deterioration of this neighbourhood parade.

Whilst we appreciate and accept that there are other hot food takeaway (sui generis) operators within the parade, we would like to point out that both Greggs and Subway operate under a Class 1 use, therefore we would argue that our application for change of use does not contribute to a concentration of hot food takeaways within the parade.

We also believe it is not the over concentration of hot food takeaways that has eroded the mix and diversity of retail and non-retail uses within the neighbourhood centre. The main cause that has diminished the mix and diversity of retail shops is that of online shopping that has taken over from the high streets and caused the high street to erode.



We would wish for our application to be reviewed once more on the basis of the above and for consideration to be given to our application for change of use.

Yours Faithfully
Ayesha Munir BSc MSc
Architectural Technician
For and on behalf of
HARDIES LLP

31 Byres Road, Glasgow, G11 5RD T: 0141 331 2807 E: glasgow@hardies.co.uk
www.hardies.co.uk



△ Aberdeen
△ Glasgow

△ Dumfries
△ Inverness

△ Dundee
△ Perth

△ Dunfermline
△ St Andrews

△ Edinburgh
△ Stirling

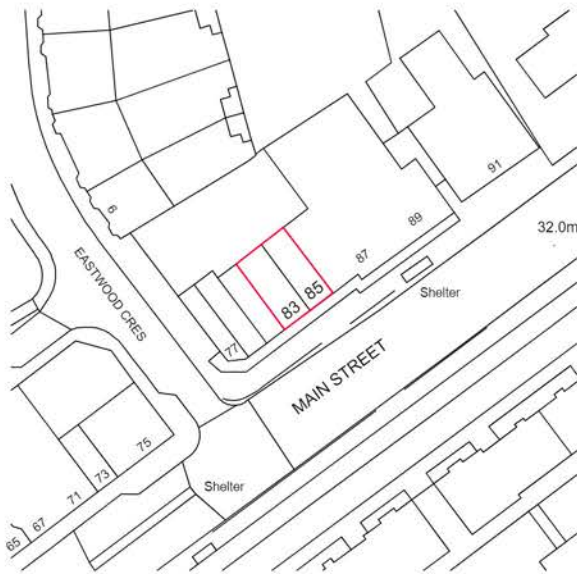
Notes

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SITE BOUNDARY



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LOCATION PLAN - 1:1250



Scale 1:1250

31
Byres Road
Glasgow
G11 5RD



Tel: 0141 331 2807
email: glasgow@hardies.co.uk
web: hardies.co.uk

Offices at: Aberdeen, Inverness, Dumfries,
Dundee, Dunfermline, Edinburgh, Glasgow,
Stirling, Perth, St. Andrews

client _____

Robinbrook Ltd

project title _____

*Change of Use - Planning
85 Main Street, Thornliebank
Glasgow*

drawing title _____

Location Plan

job no. _____ drawing no. _____ revision _____

21-1540 006 A

scale _____ date _____

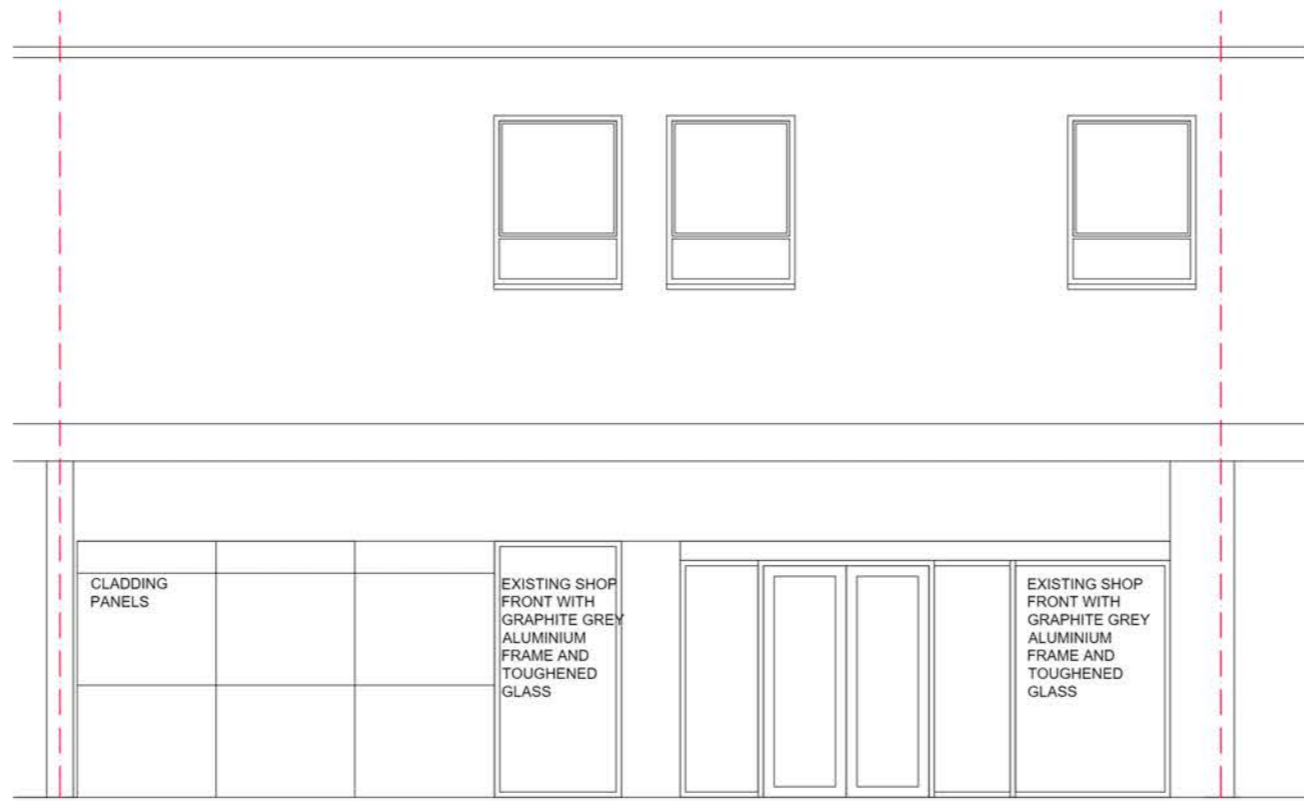
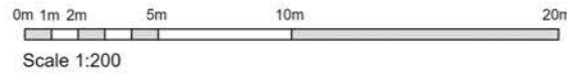
1:1250@A4 06.12.21

drawn _____ checked _____

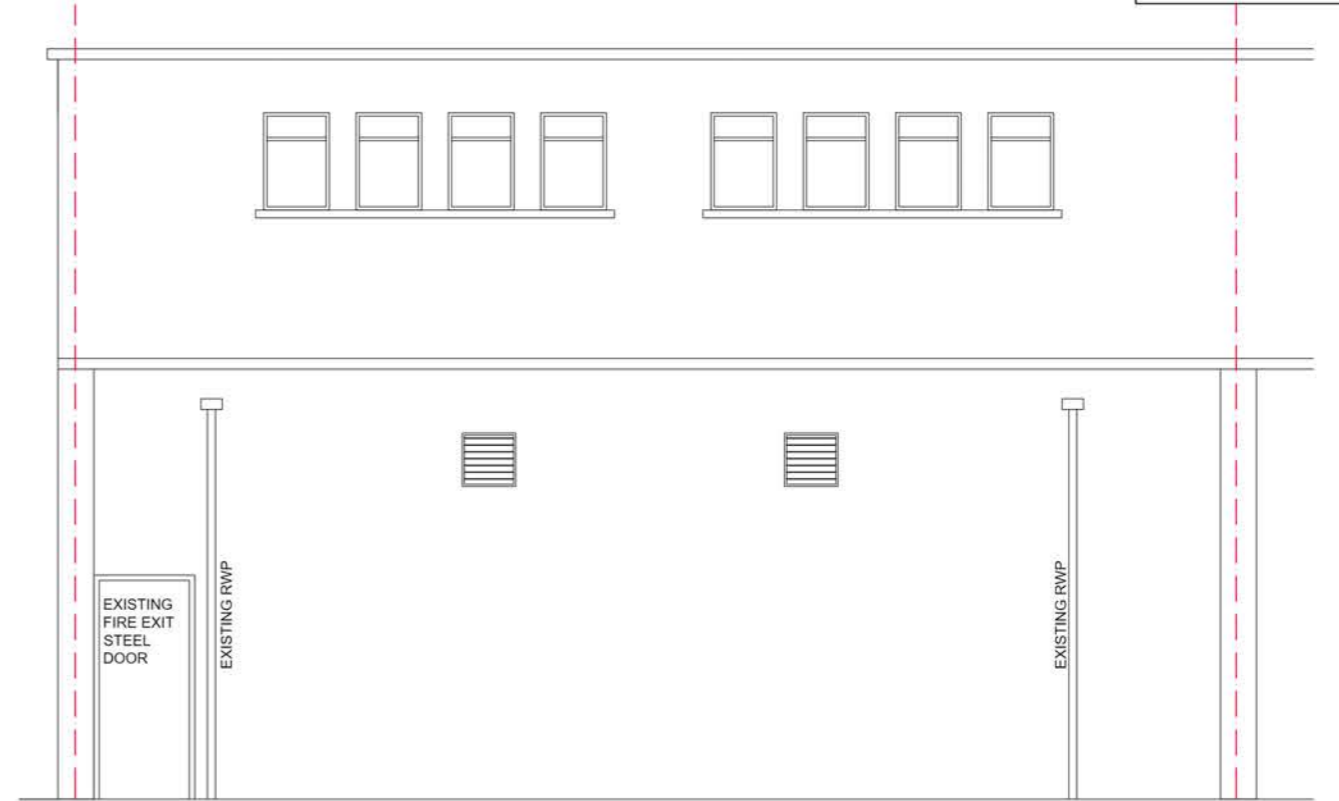
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SITE PLAN
SCALE 1:200



EXISTING FRONT ELEVATION
SCALE 1:50

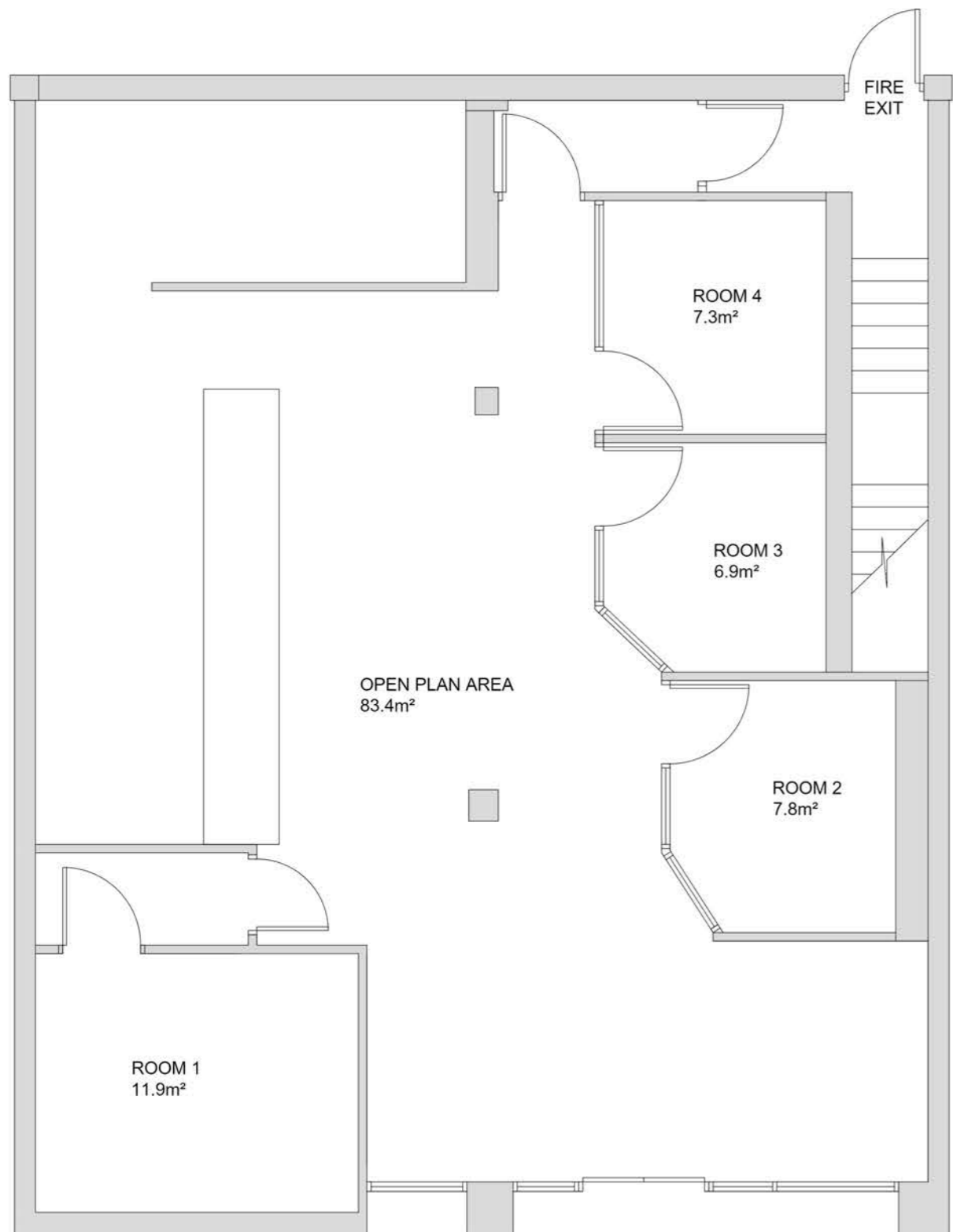


EXISTING REAR ELEVATION
SCALE 1:50

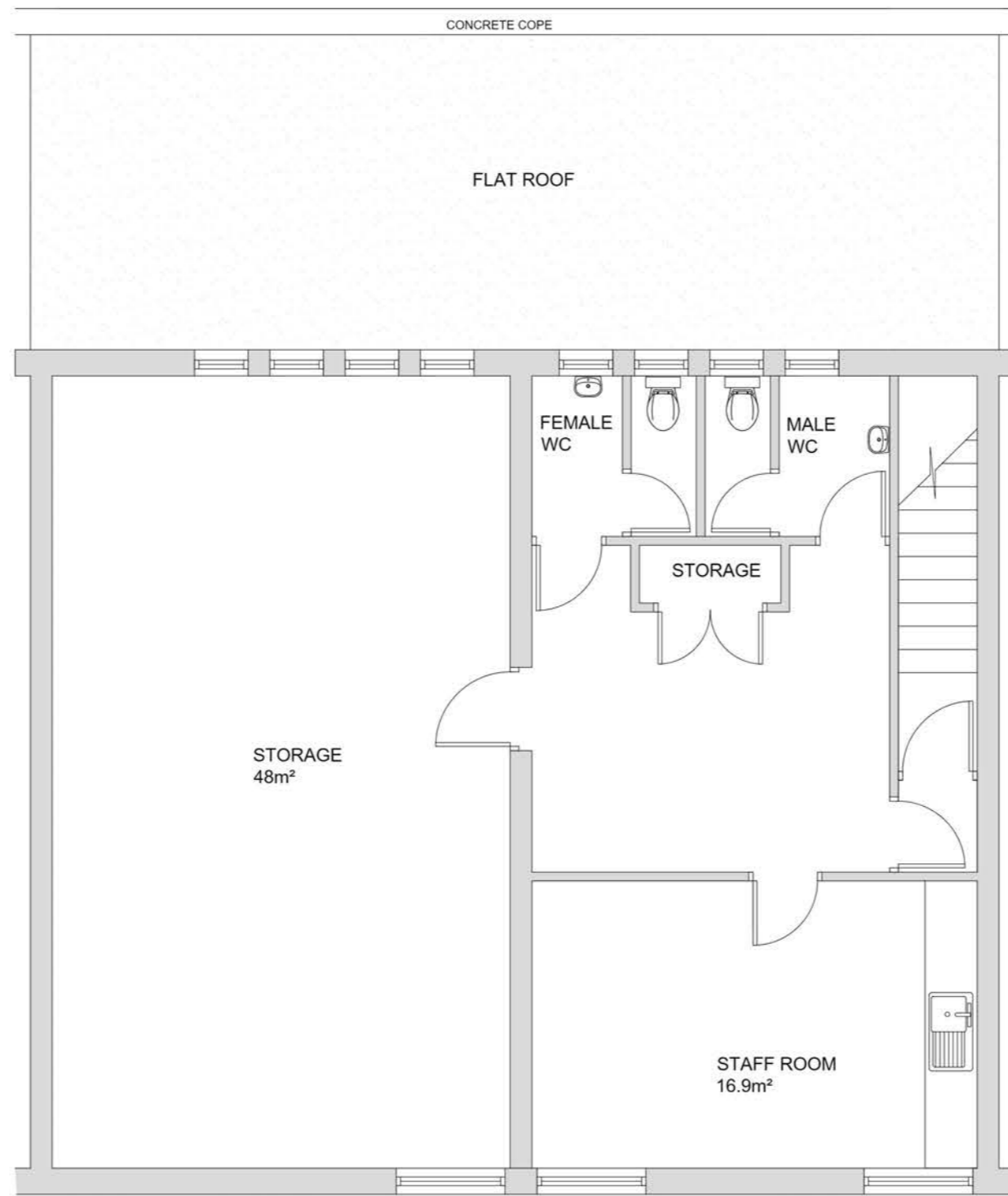
LEGENDS:
EXISTING WALLS ———
BOUNDARY LINE - - - - -



Notes:
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2. All dimensions to be checked on site prior to construction and manufacture, and any discrepancies to be reported to Hardies LLP prior to ordering of materials and prior to carrying out any construction work
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CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2015
The designs on this drawing are prepared with the consideration of the need to identify hazards and give regard to the hierarchy of risk control.
This drawing is to be read in conjunction with project specific standard hazard and risk assessment, where relevant
Works to be carried out in accordance with the Construction Phase Health & Safety plan prepared by the Principal Contractor



EXISTING GROUND FLOOR LAYOUT
SCALE 1:50



EXISTING FIRST FLOOR LAYOUT
SCALE 1:50



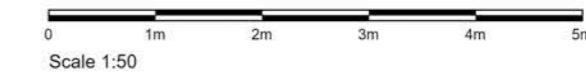
PHOTO OF FRONT ELEVATION



PHOTO OF FRONT ELEVATION



PHOTO OF REAR ELEVATION



rev | description | auth | child | date

31 Byres Road
Glasgow,
G11 5PD

0141 204 7683
0141 204 7683
0141 204 7683

client
Robinbrook Ltd

project
**Change of Use - Planning
85 Main Street, Thornliebank, Glasgow**

drawing title
**As Existing
Layouts & Elevations**

status
PLANNING

date | scale | drawn by | checked by
06.12.21 | 1:50 @ A1 | AM | AM

job no. | drawing no. | revision
21-1540 | 003 | -

- LEGENDS:**
- EXISTING WALLS
 - NEW WALLS
 - BOUNDARY LINE



Notes:

1. Do not scale off this drawing
2. All dimensions to be checked on site prior to construction and manufacture, and any discrepancies to be reported to Hardies LLP prior to ordering of materials and prior to carrying out any construction work

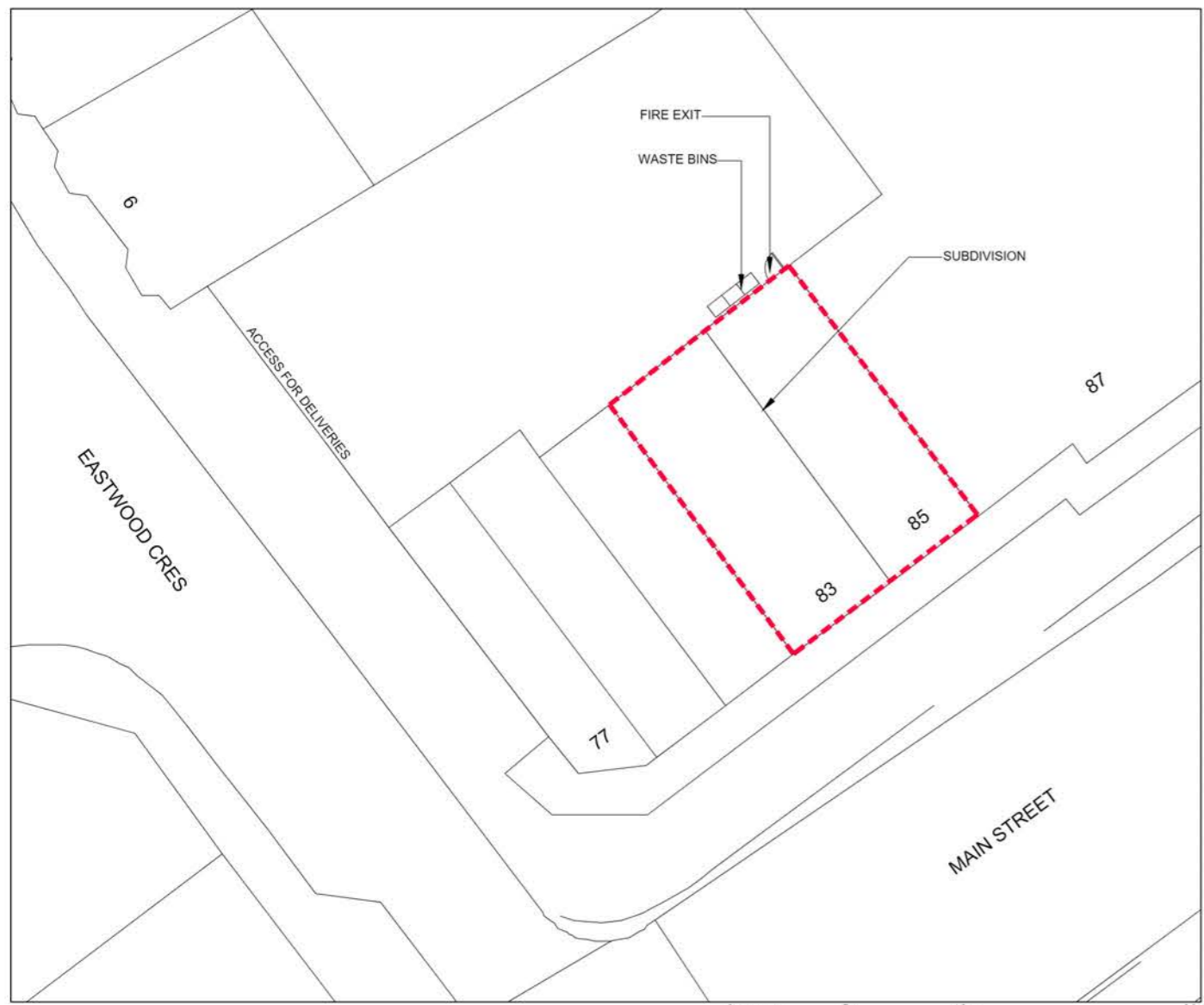
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CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2015

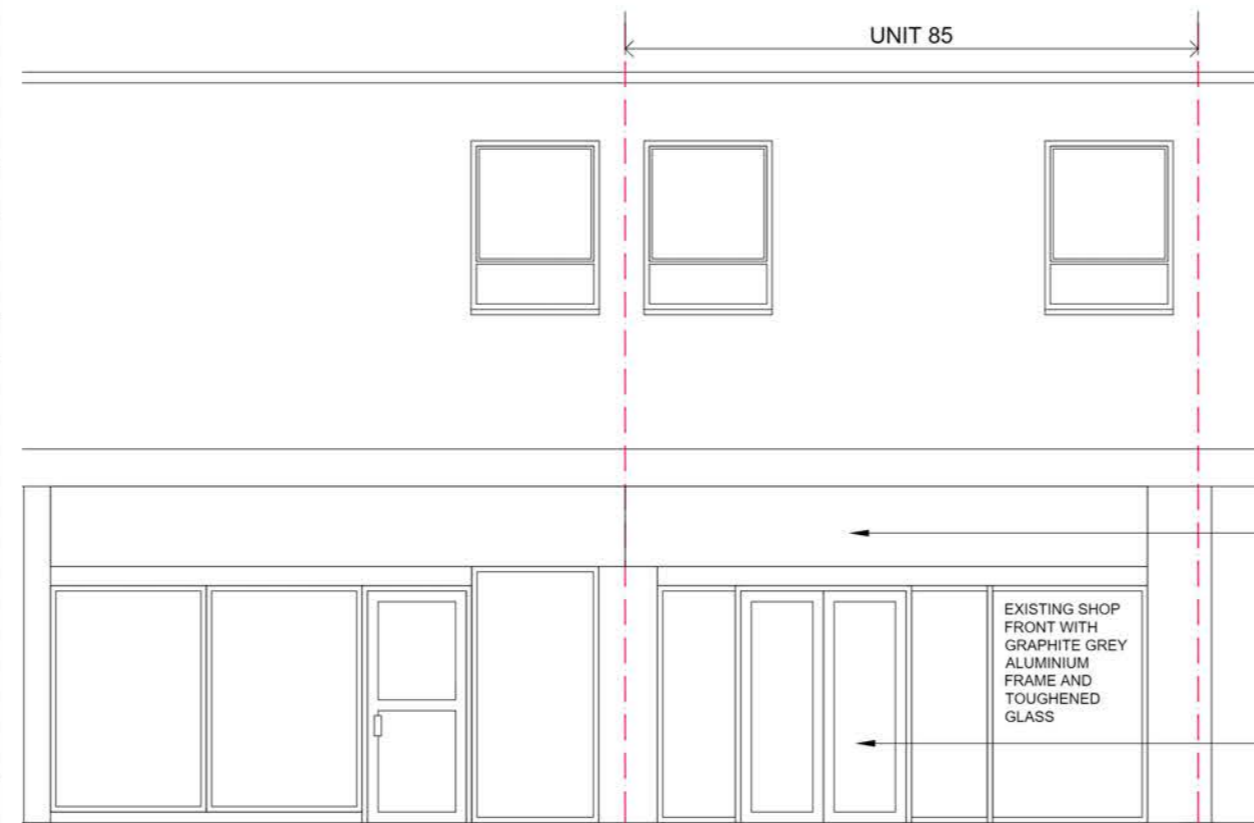
The designs on this drawing are prepared with the consideration of the need to identify hazards and give regard to the hierarchy of risk control.

This drawing is to be read in conjunction with project specific standard hazard and risk assessment, where relevant

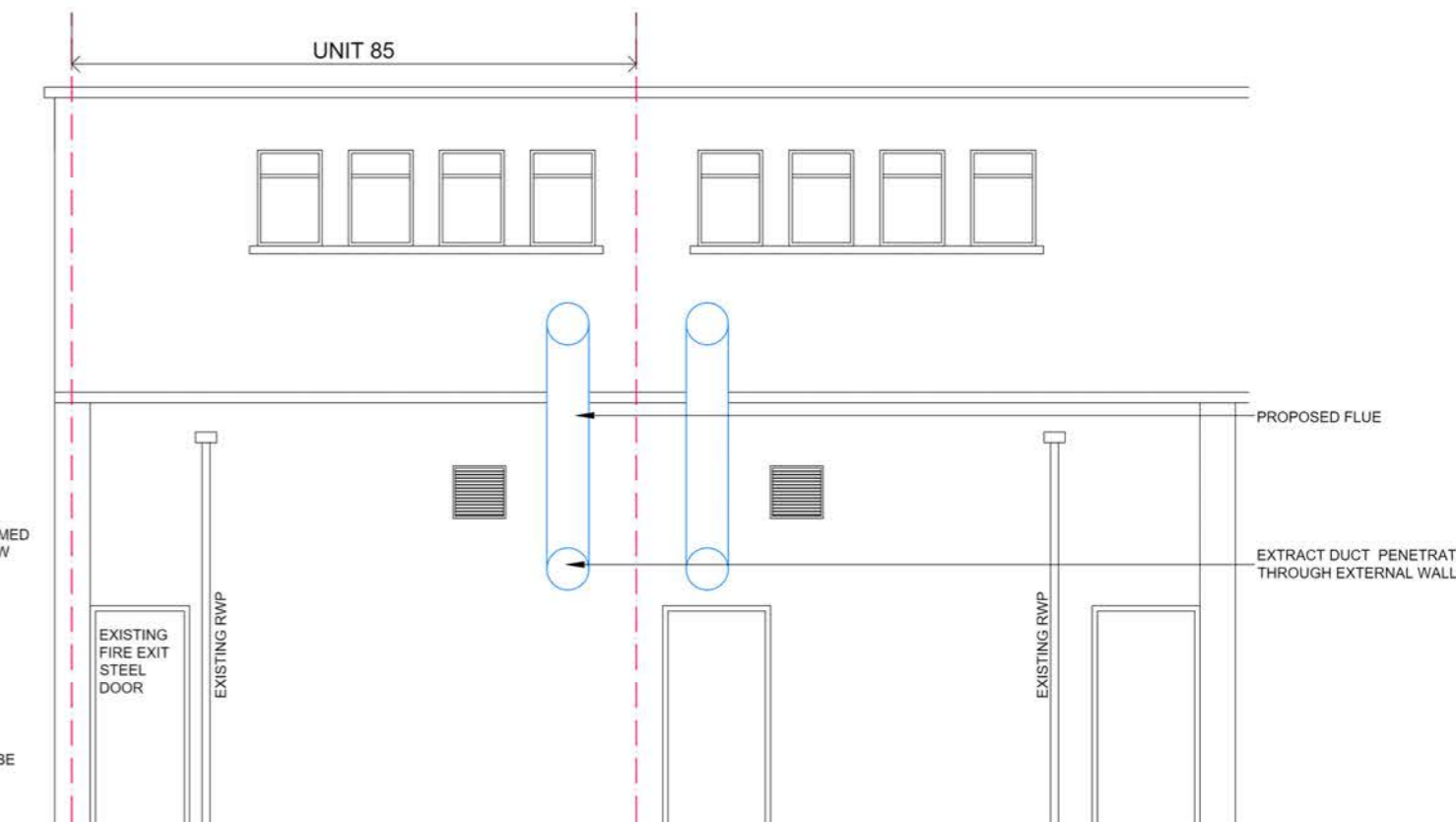
Works to be carried out in accordance with the Construction Phase Health & Safety plan prepared by the Principal Contractor



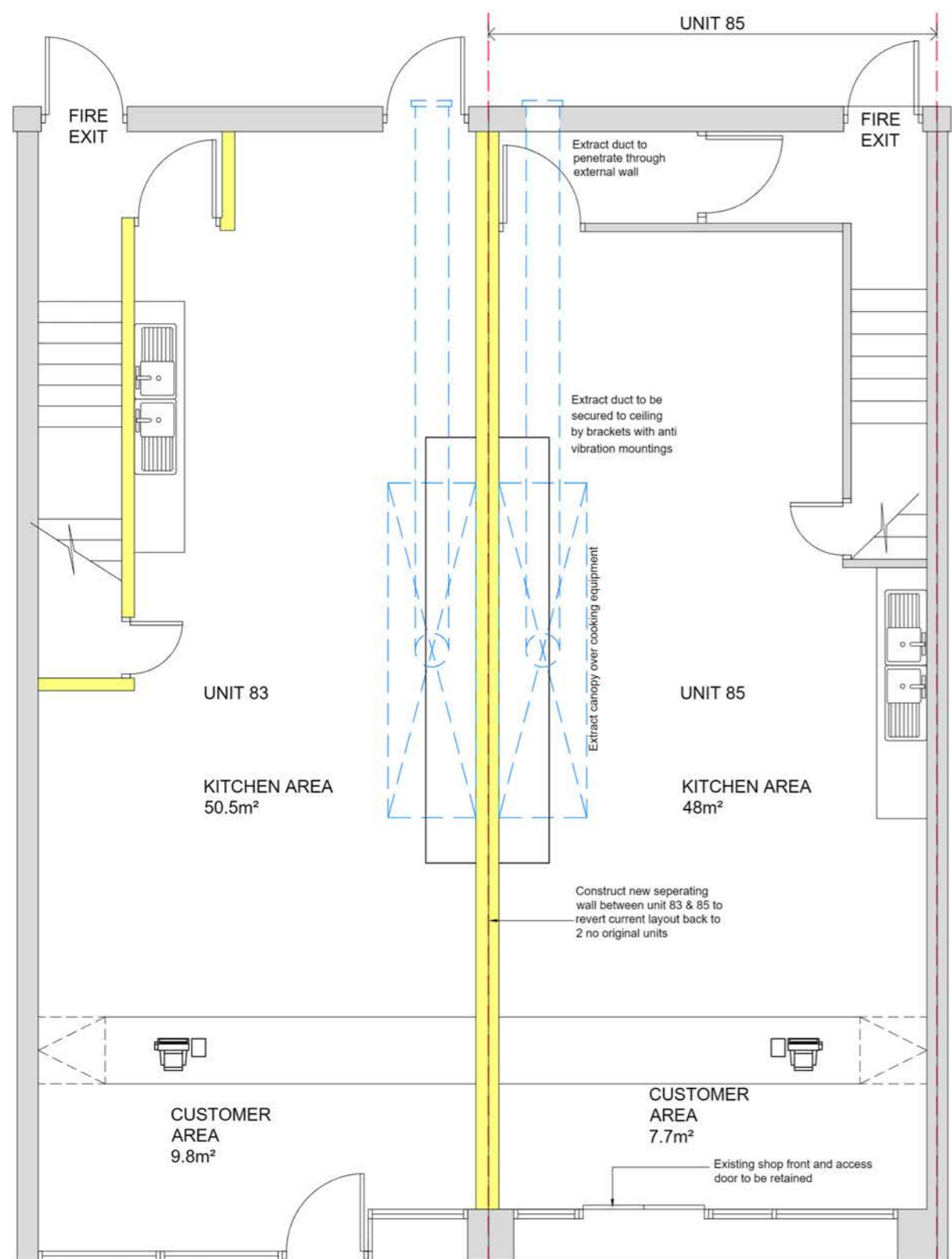
PROPOSED SITE PLAN
SCALE 1:200



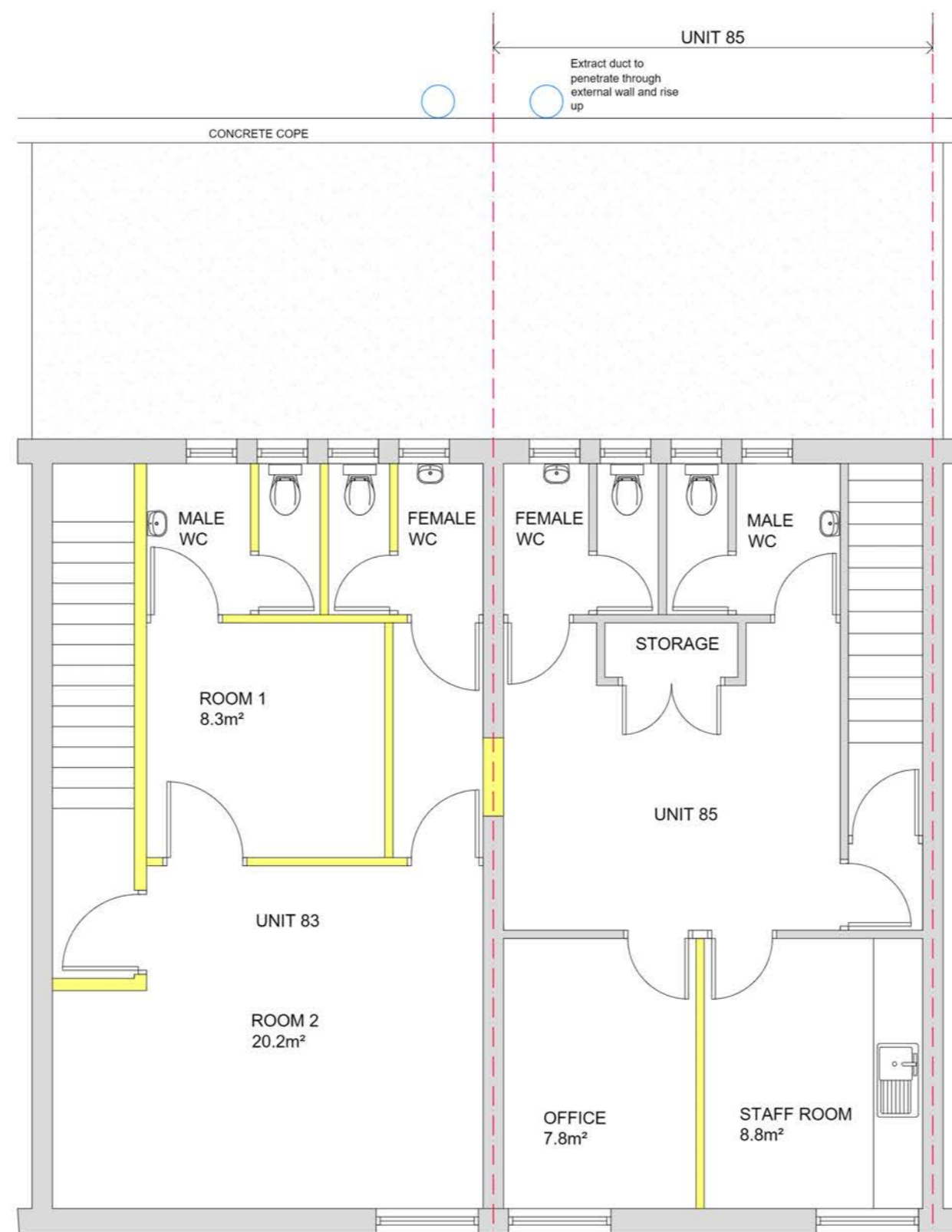
PROPOSED FRONT ELEVATION
SCALE 1:50



PROPOSED REAR ELEVATION
SCALE 1:50



PROPOSED GROUND FLOOR LAYOUT
SCALE 1:50



PROPOSED FIRST FLOOR LAYOUT
SCALE 1:50

Notes:
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31 Byres Road Glasgow, G11 5RD	
Client: Robinbrook Ltd	
Project: Change of Use - Planning 85 Main Street, Thornliebank, Glasgow	
Drawing Title: Proposed Layouts & Elevations	
PLANNING	
date	scale
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drawn by	checked by
AM	AM
job no.	drawing no.
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revision	
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Proposed Ventilation Statement for 85 Main Street Thornliebank Glasgow.

Proposed Requirements and Features of the Ventilation System:

General: The Following Specification is recorded as being the min requirement to design the ventilation. The system will be designed in accordance by the M+E Contractor in the detailed stage of the building warrant.

Odour Control system

The odour assessment for the kitchen extract system has a predicted odour risk of 35 based on the DEFRA guide, which equates to a high level of odour control required. Therefore we would propose to install an odour control system, detailed as follows.

The system would comprise of a purpose made filter housing incorporating the following filter types: -

4no 592x592x350 CP4 Fire Rated Bag Filter

General Description

The CP4, fire rated range of bag filters are used widely in government buildings, hospitals and other sensitive areas. This grade of filter would capture 90% of the grease left within the system after the canopy baffle filters.

Meets NHS HTM03 Filter Specification, Filter Class EN779:2012 G4

4no 592x592x300 RP Compact Medium/Fine Ridgid HEPA Bag filters

General Description

The F9 grade ridgid bag filter are used within this system to capture the heavy particles of smoke from the cooking process and are 80% efficient.

4no-995x995x995 Discarb Activated Carbon Units

General Description

These filters are manufactured for ease of installation and incorporation into ducted air systems. They can be used on both supply for purifying incoming air, and can be used on the extract to remove toxic gasses and odours generated within a process.

Construction

These modules are manufactured by mounting a series on carbon panel filters within a sealed case. The airflow is epitomize by presenting the filtering surfaces in a "V" formation.

Each carbon panel is sealed into the filter case so as to ensure no air can bypass the carbon granules.

The panels are manufactured using long established bonding techniques which hold the activated carbon granules in a rigid biscuit. The biscuit is encapsulated in a carbon impregnated cloth which prevents any leakage of granules or powder.

The carbon filters would remove 90% of any residual odours.

The final exhaust position of the extract system terminal would be at high level and would exhaust through a louver grille.

Noise

General: The System Shall Not exceed the Noise Curve Rating of 25 At any given time.

Maintenance:

The System Is to be designed to provide the least Down time and ease of maintenance. The Tennant will Follow the Maintenance Requirement Imposed by the Manufacturer of a Proprietary System. Most Likely in the form of a rolling Maintenance contract.

PLANS/DRAWINGS

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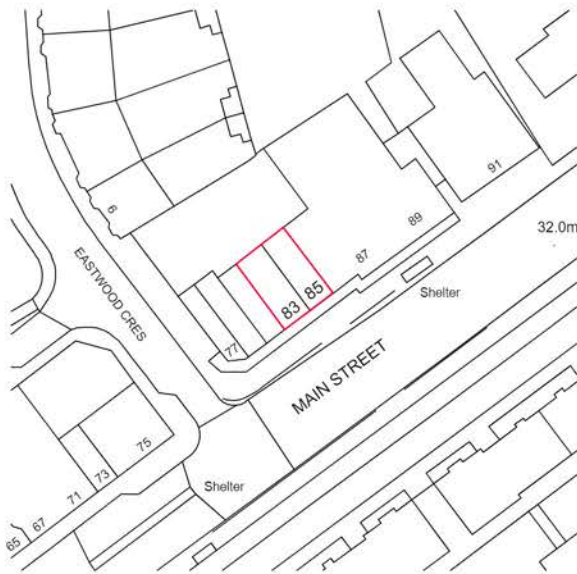
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LOCATION PLAN - 1:1250



Scale 1:1250

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Glasgow
G11 5RD



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email: glasgow@hardies.co.uk
web: hardies.co.uk

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Dundee, Dunfermline, Edinburgh, Glasgow,
Stirling, Perth, St. Andrews

client _____

Robinbrook Ltd

project title _____

*Change of Use - Planning
85 Main Street, Thornliebank
Glasgow*

drawing title _____

Location Plan

job no. _____ drawing no. _____ revision _____

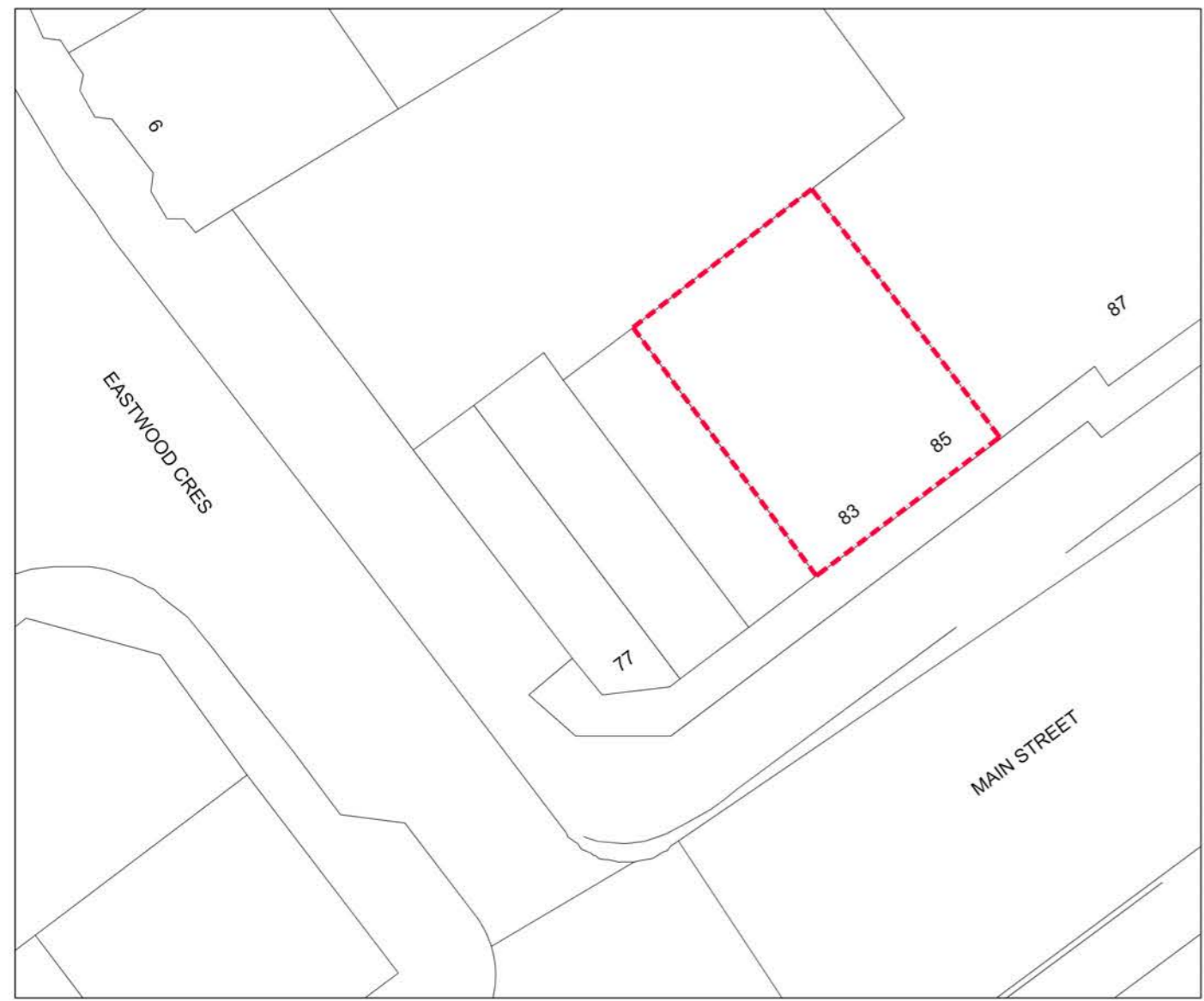
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scale _____ date _____

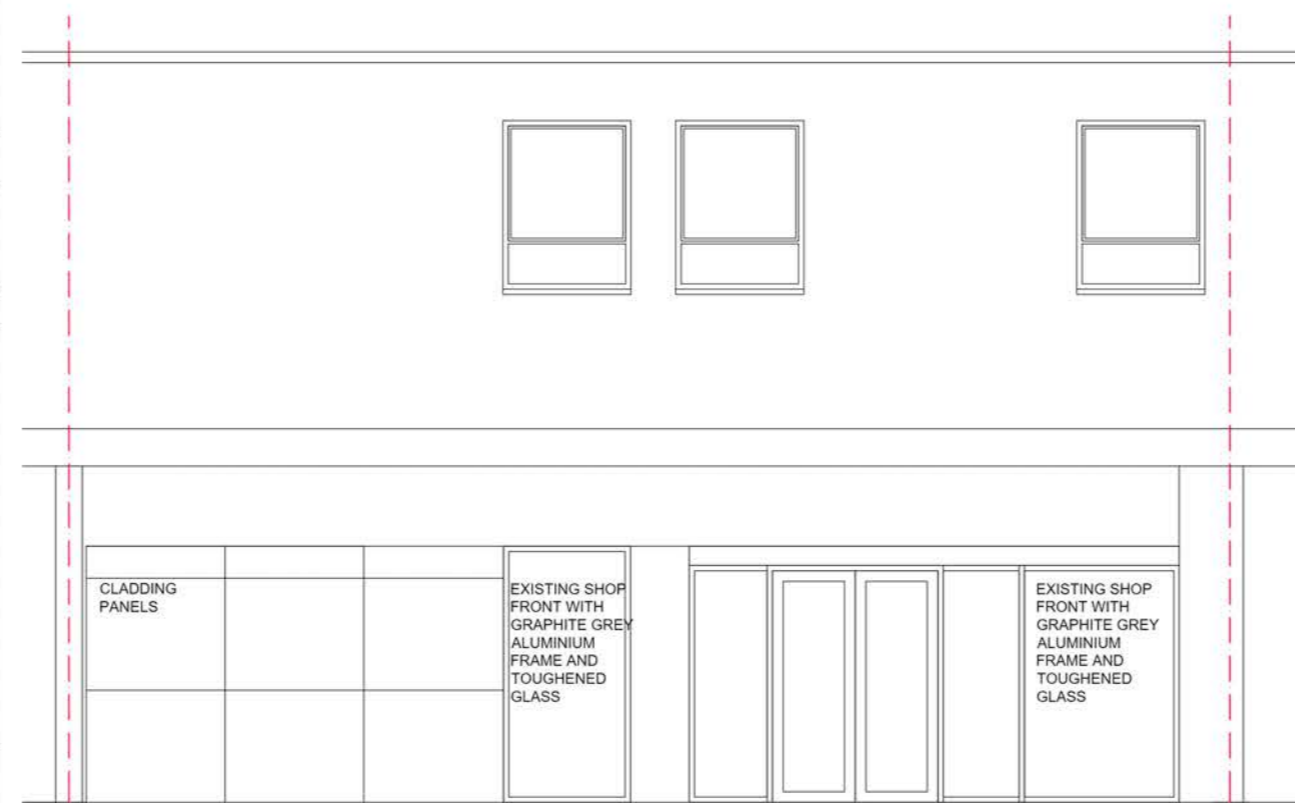
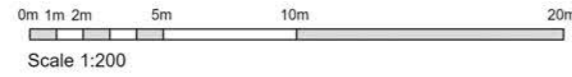
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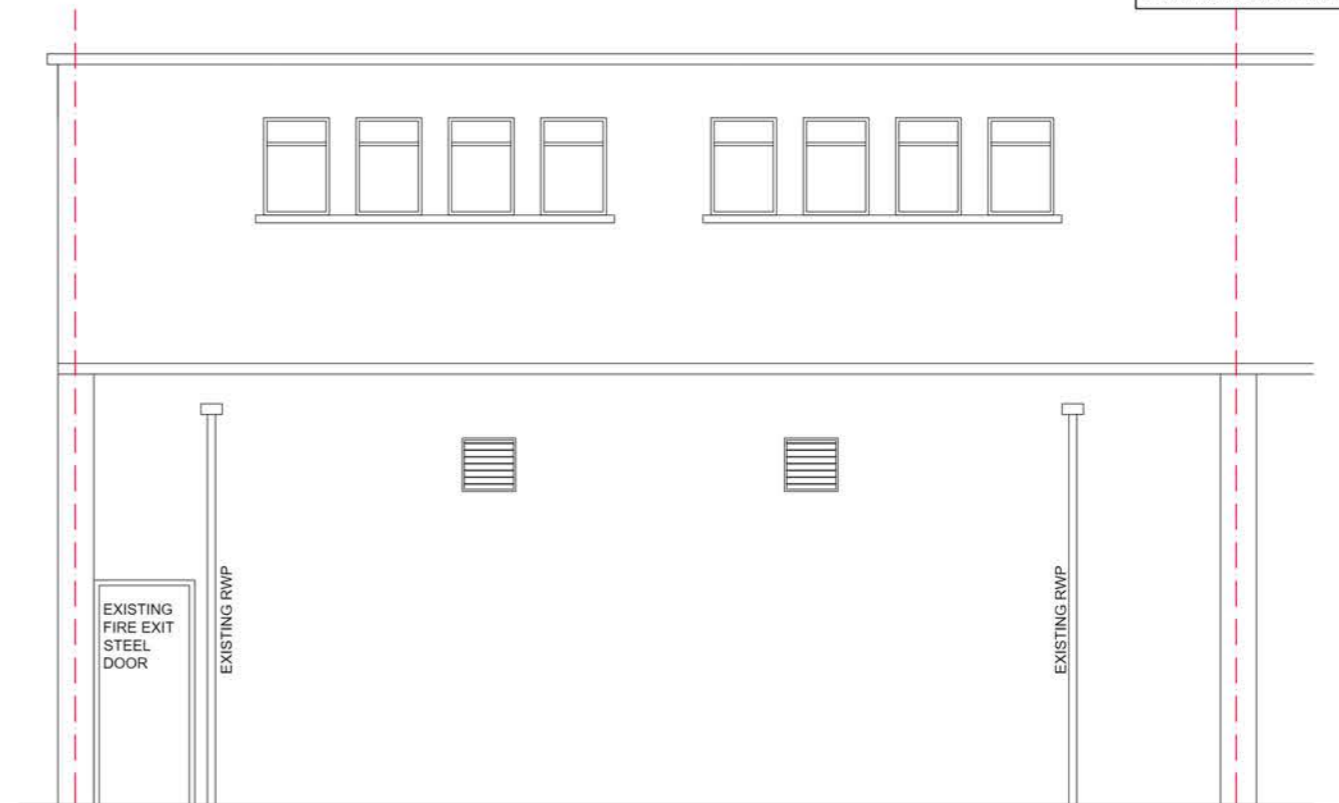
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SITE PLAN
SCALE 1:200



EXISTING FRONT ELEVATION
SCALE 1:50

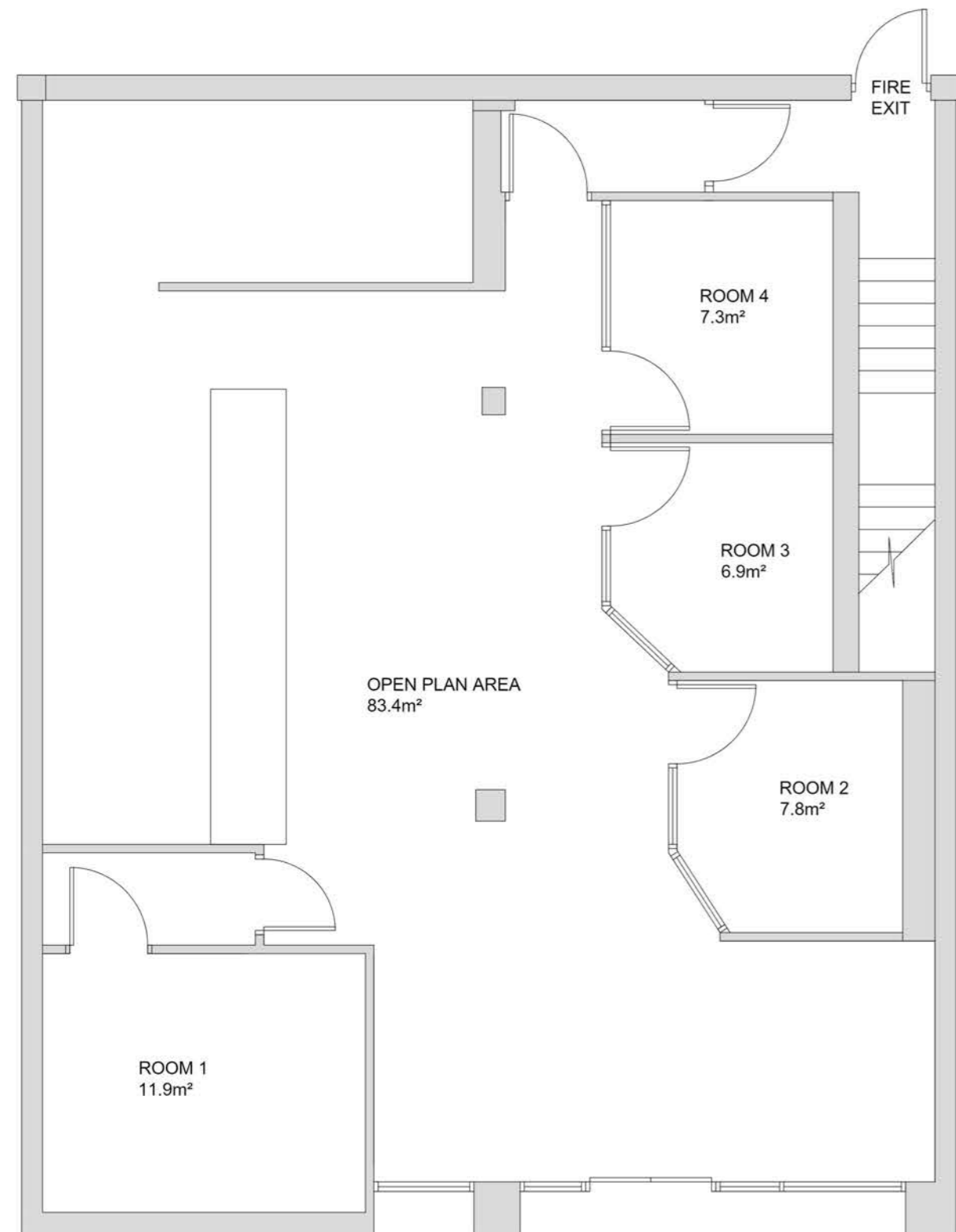


EXISTING REAR ELEVATION
SCALE 1:50

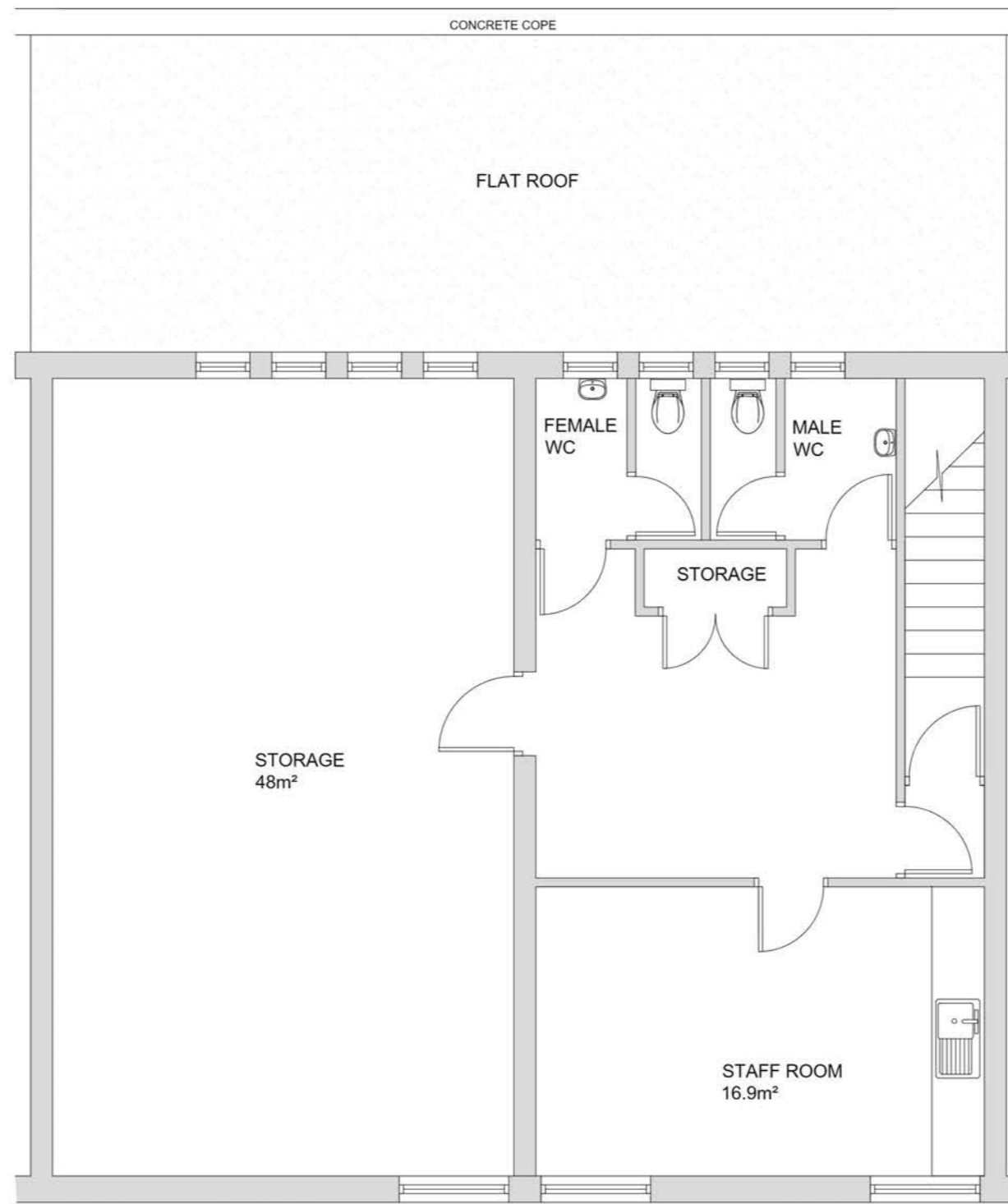
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EXISTING WALLS ———
BOUNDARY LINE - - - - -



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Works to be carried out in accordance with the Construction Phase Health & Safety plan prepared by the Principal Contractor.



EXISTING GROUND FLOOR LAYOUT
SCALE 1:50



EXISTING FIRST FLOOR LAYOUT
SCALE 1:50



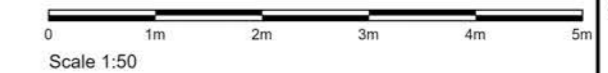
PHOTO OF FRONT ELEVATION



PHOTO OF FRONT ELEVATION



PHOTO OF REAR ELEVATION



rev | description | auth | child | date

31 Byres Road
Glasgow,
G11 5PD

0141 204 7683
0141 204 7683
0141 204 7683

client
Robinbrook Ltd

project
**Change of Use - Planning
85 Main Street, Thornliebank, Glasgow**

drawing title
**As Existing
Layouts & Elevations**

status
PLANNING

date | scale | drawn by | checked by
06.12.21 | 1:50 @ A1 | AM | AM

job no. | drawing no. | revision
21-1540 | 003 | -

- LEGENDS:**
- EXISTING WALLS
 - NEW WALLS
 - BOUNDARY LINE



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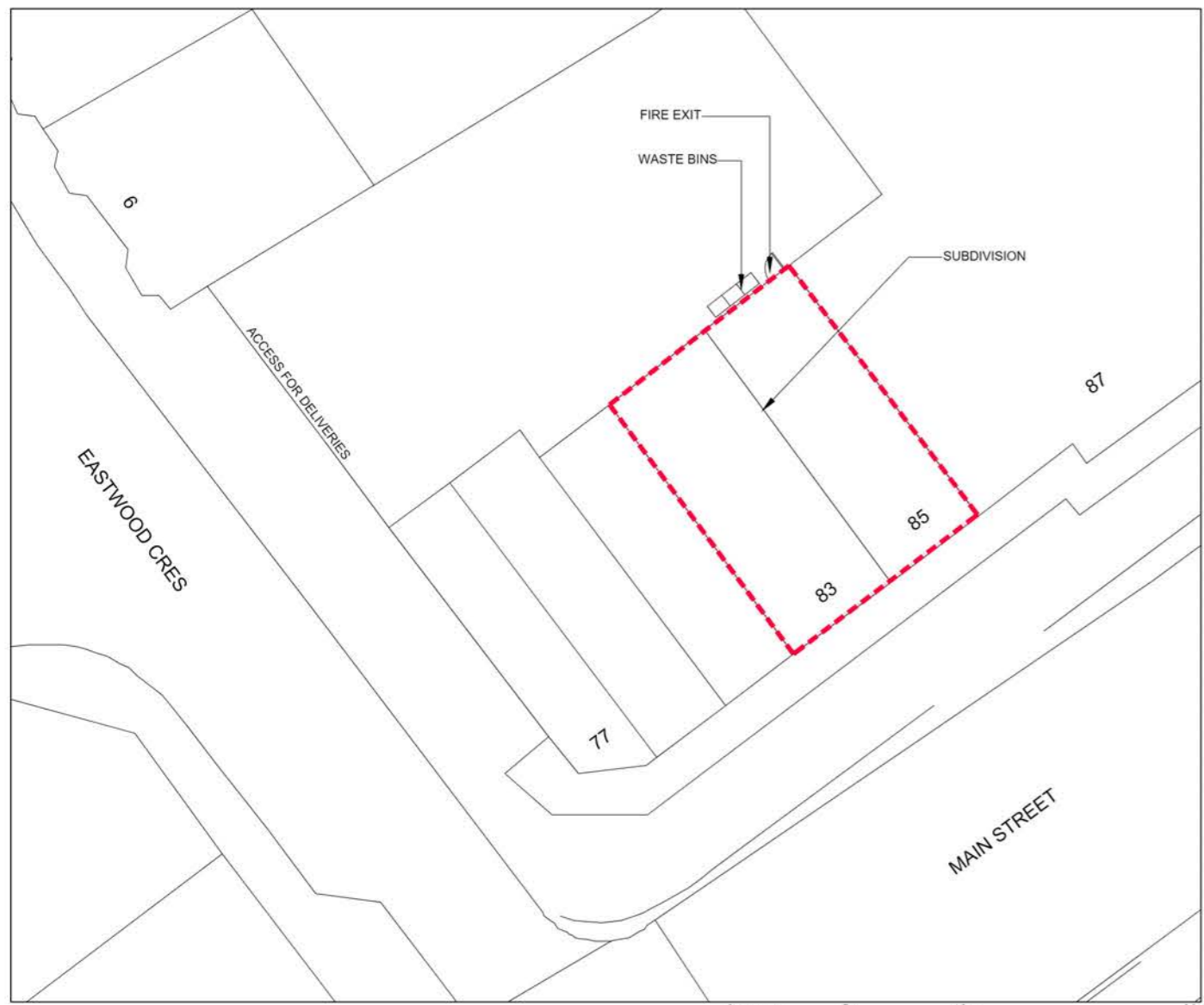
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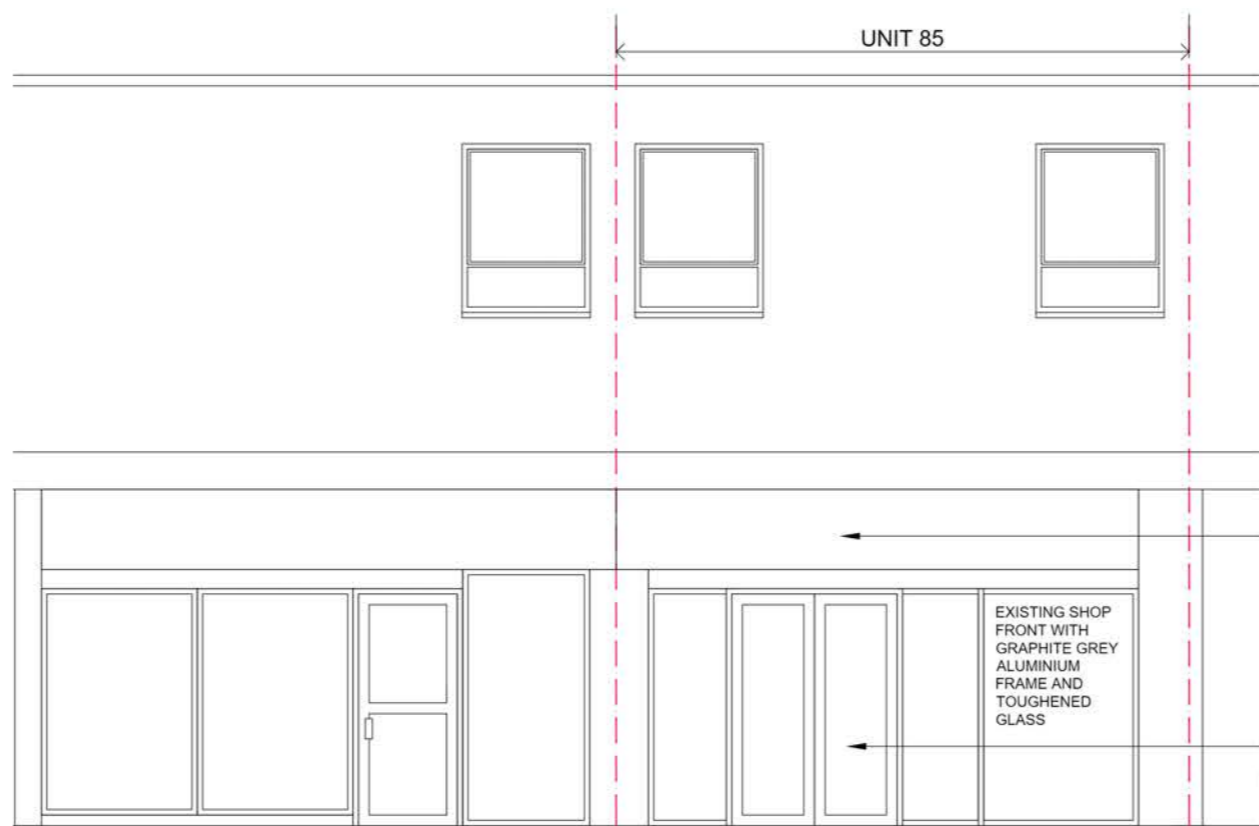
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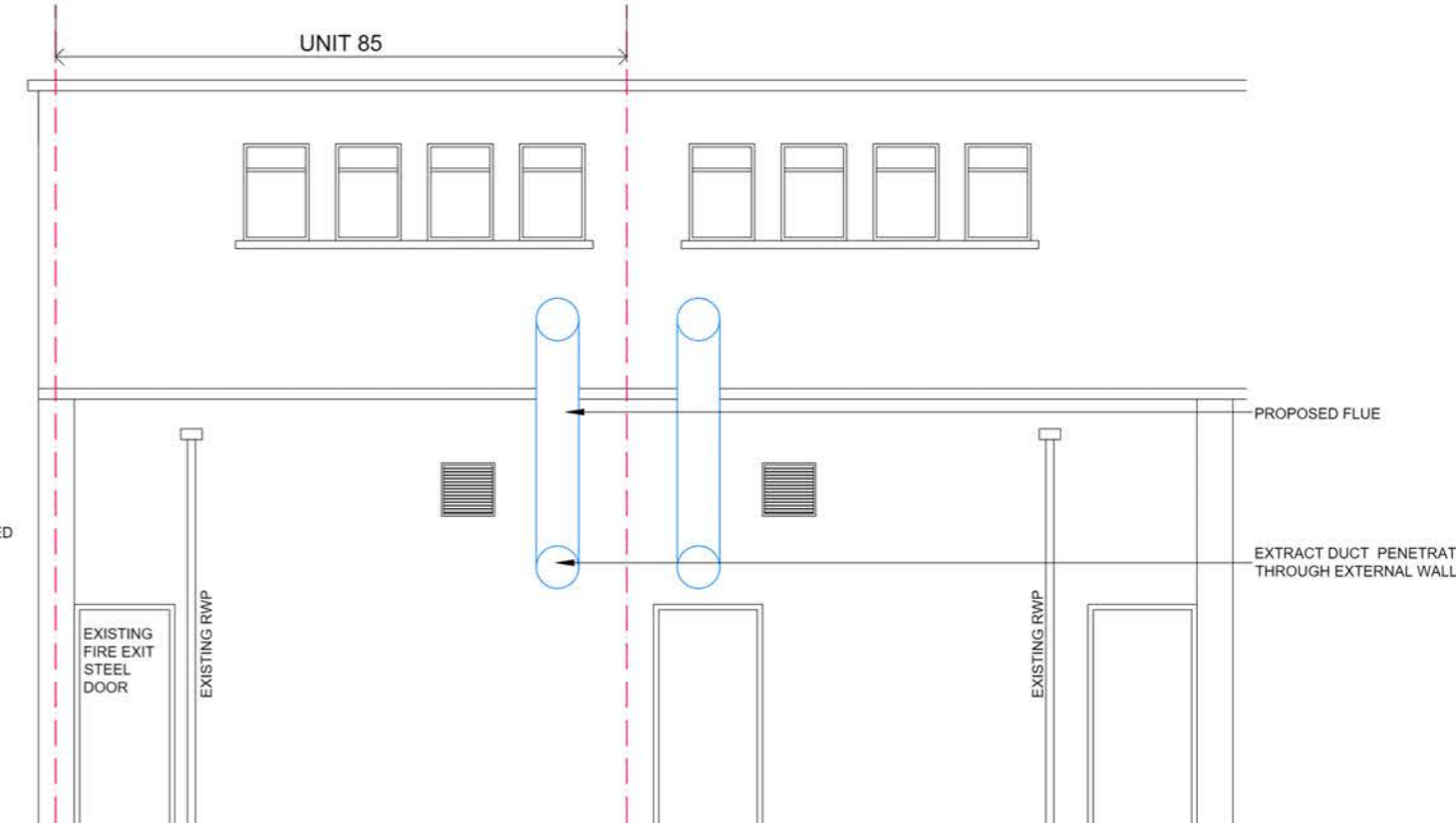
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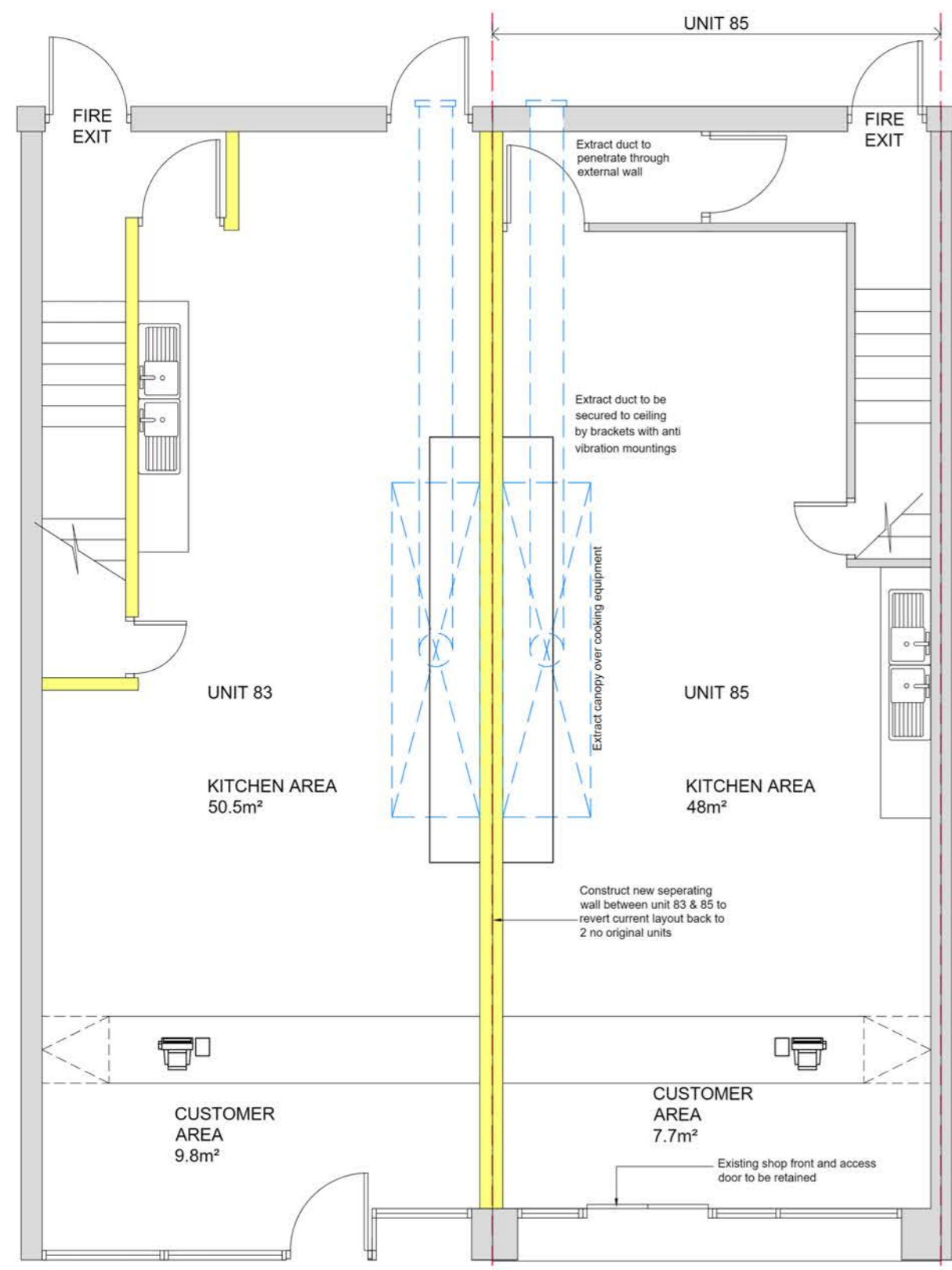
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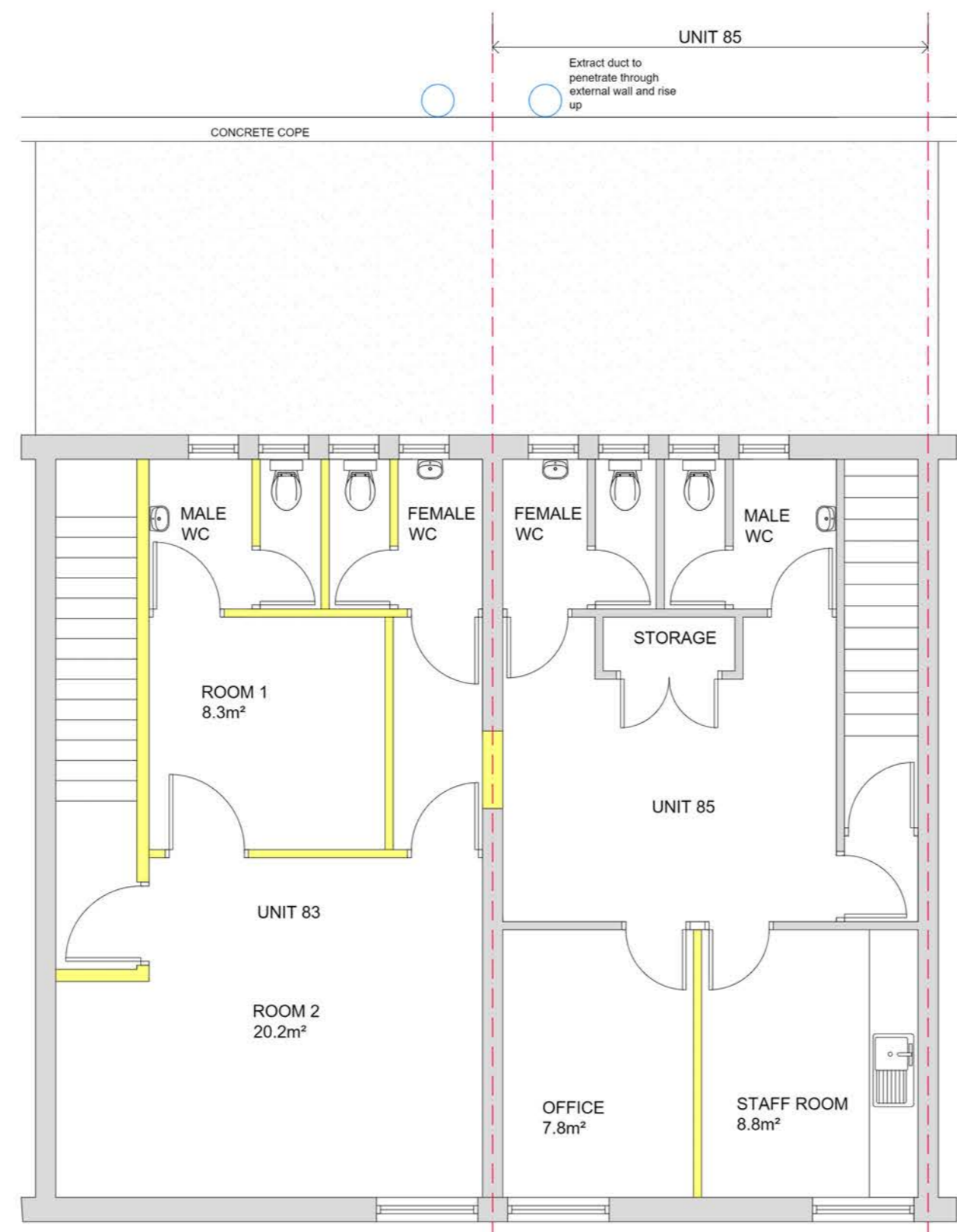
PROPOSED FRONT ELEVATION
SCALE 1:50



PROPOSED REAR ELEVATION
SCALE 1:50



PROPOSED GROUND FLOOR LAYOUT
SCALE 1:50



PROPOSED FIRST FLOOR LAYOUT
SCALE 1:50

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<p>client Robinbrook Ltd</p>	
<p>project Change of Use - Planning 85 Main Street, Thornliebank, Glasgow</p>	
<p>drawing title Proposed Layouts & Elevations</p>	
<p>status PLANNING</p>	
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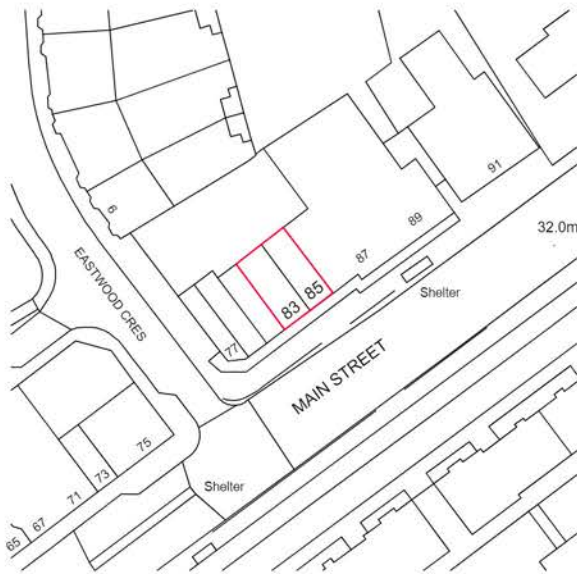
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client _____

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project title _____

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85 Main Street, Thornliebank
Glasgow*

drawing title _____

Location Plan

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scale _____ date _____

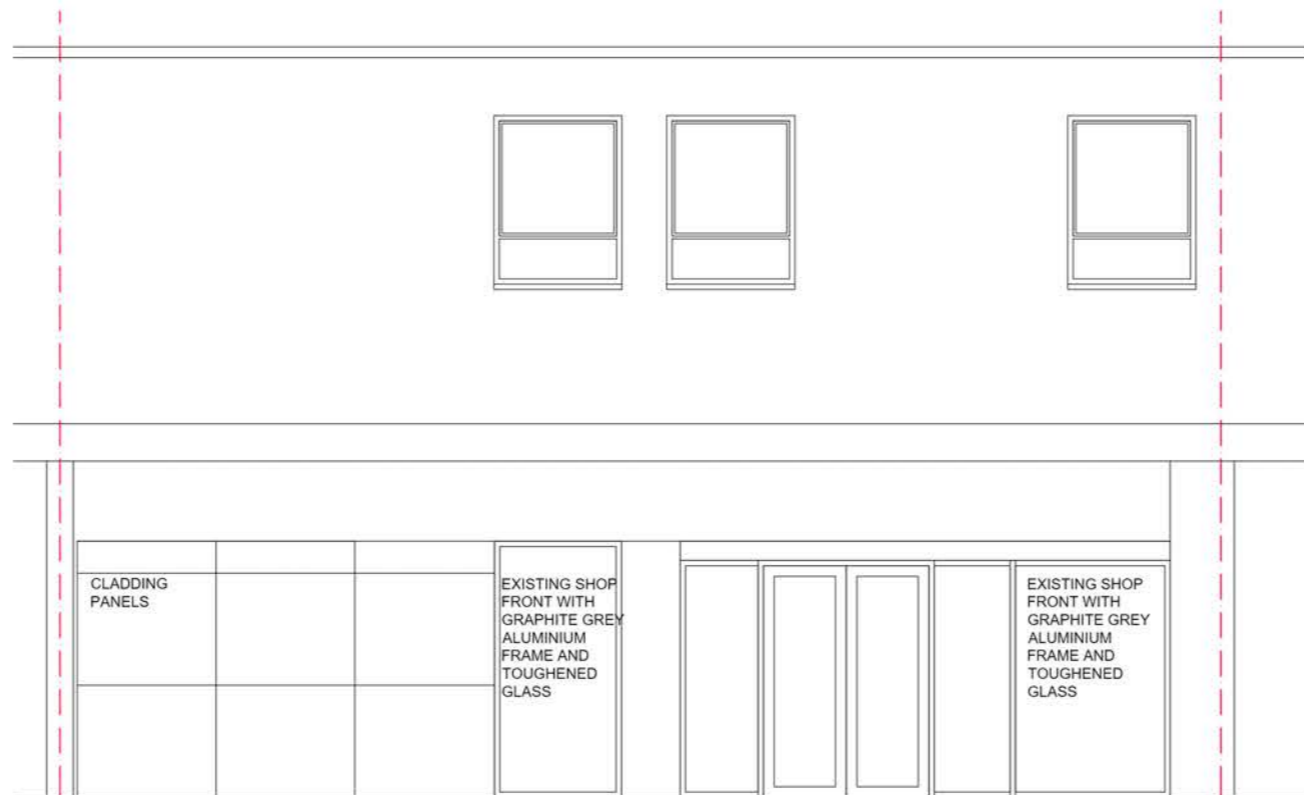
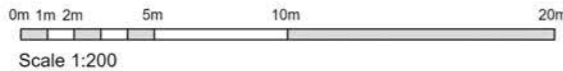
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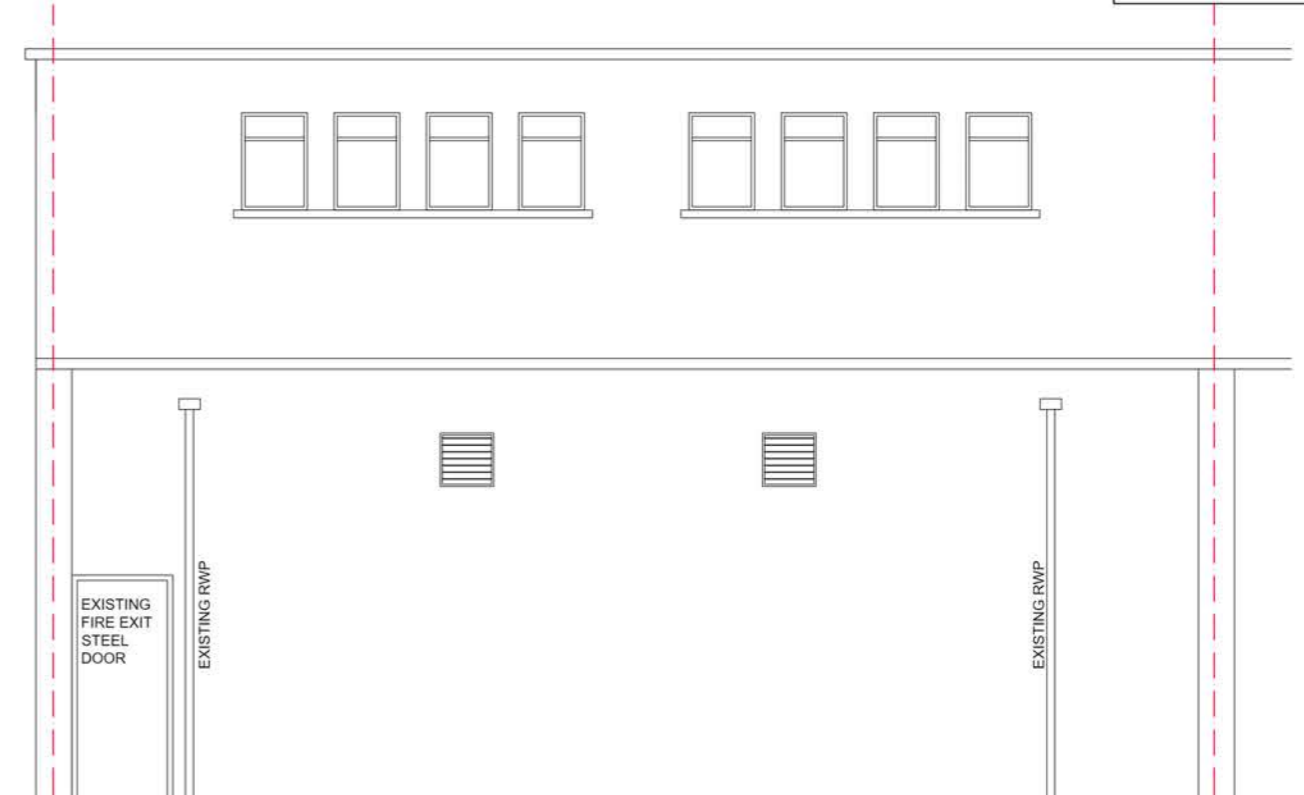
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SITE PLAN
SCALE 1:200



EXISTING FRONT ELEVATION
SCALE 1:50

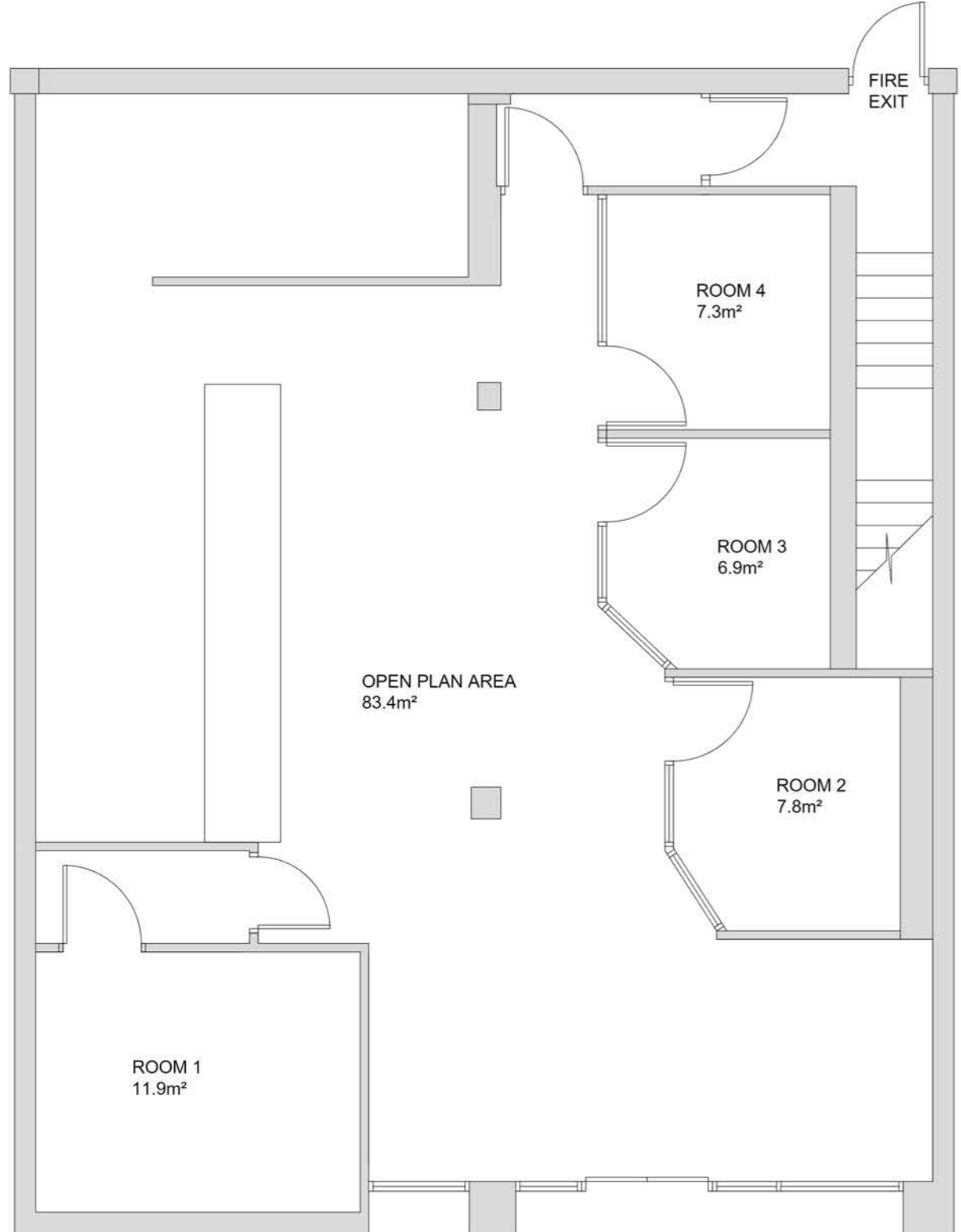


EXISTING REAR ELEVATION
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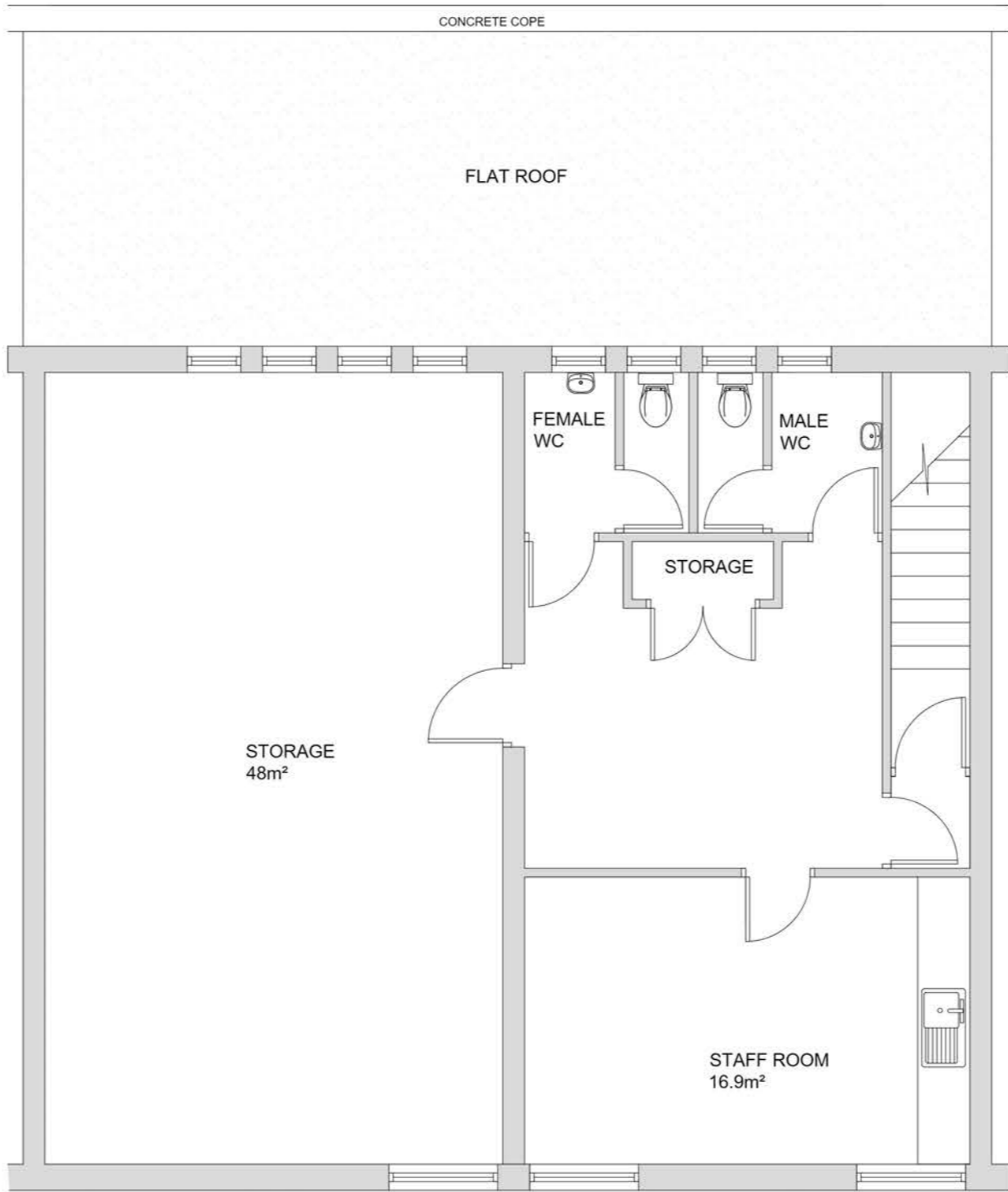
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BOUNDARY LINE - - - - -



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EXISTING GROUND FLOOR LAYOUT
SCALE 1:50



EXISTING FIRST FLOOR LAYOUT
SCALE 1:50



PHOTO OF FRONT ELEVATION



PHOTO OF FRONT ELEVATION



PHOTO OF REAR ELEVATION



rev | description | auth | child | date

31 Byres Road
Glasgow,
G11 5PD

0141 204 7683
0141 204 7683
0141 204 7683

client
Robinbrook Ltd

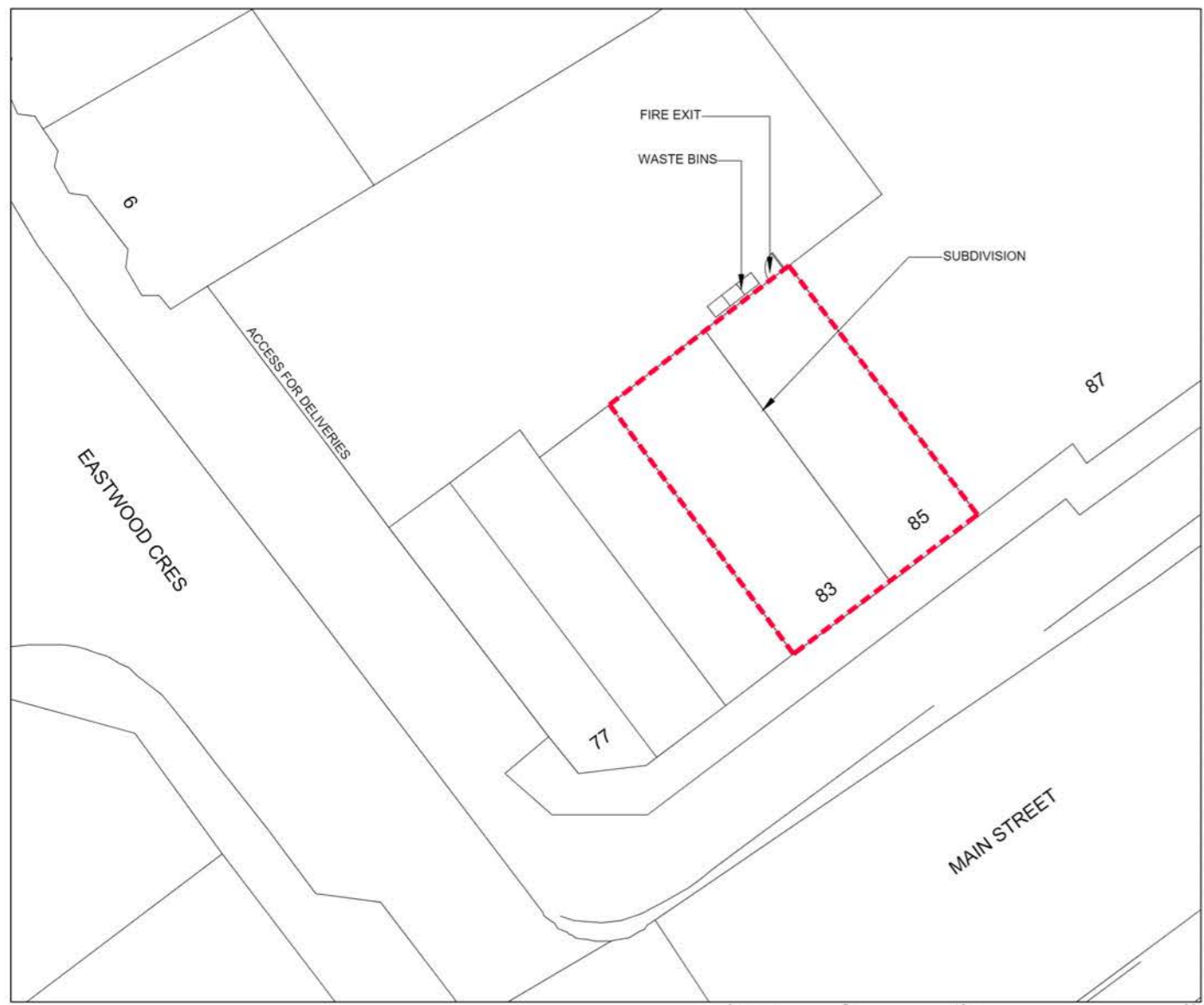
project
**Change of Use - Planning
85 Main Street, Thornliebank, Glasgow**

drawing title
**As Existing
Layouts & Elevations**

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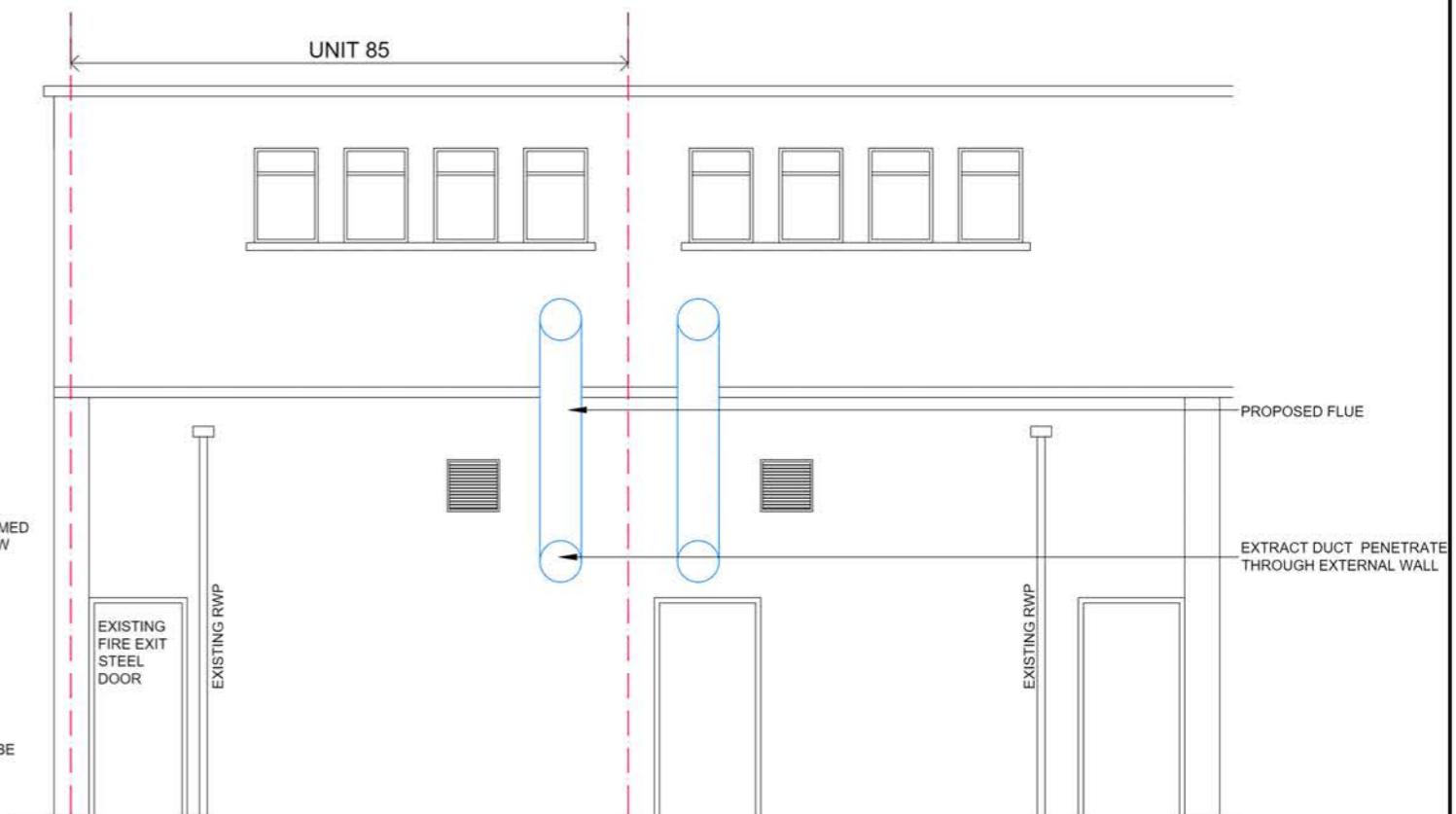
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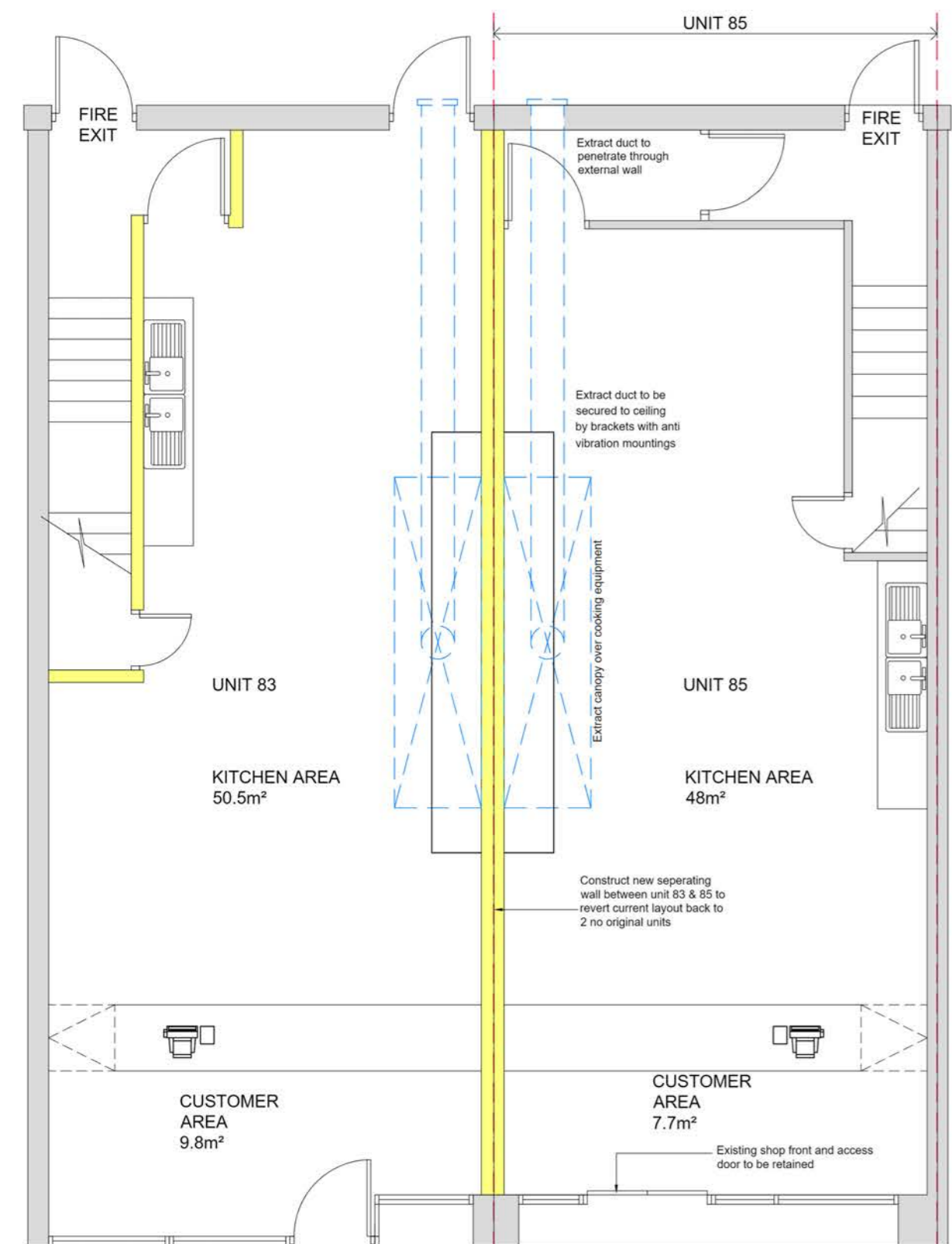
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SCALE 1:200



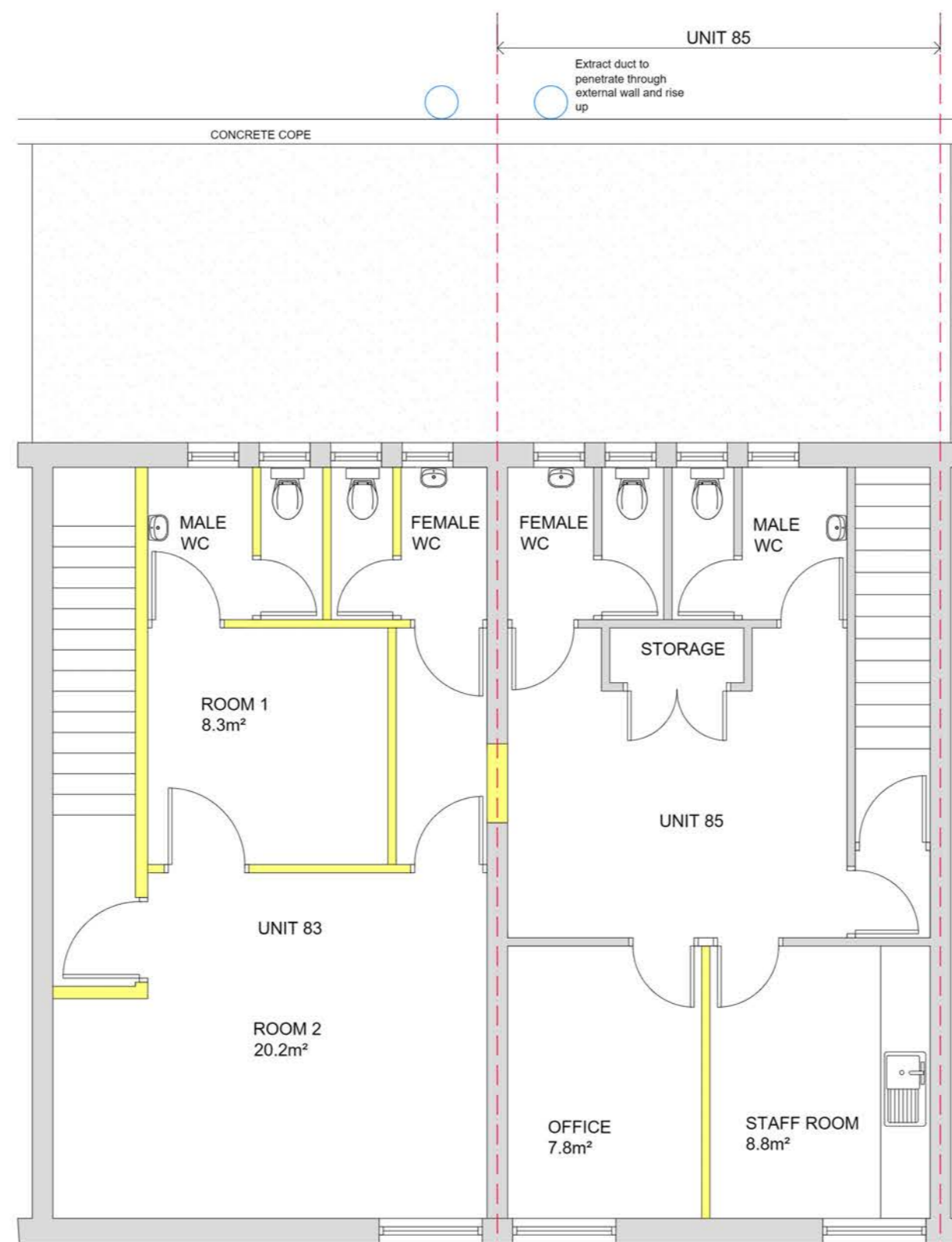
PROPOSED FRONT ELEVATION
SCALE 1:50



PROPOSED REAR ELEVATION
SCALE 1:50



PROPOSED GROUND FLOOR LAYOUT
SCALE 1:50



PROPOSED FIRST FLOOR LAYOUT
SCALE 1:50

- LEGENDS:**
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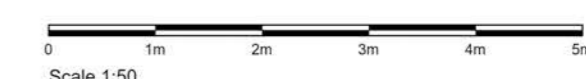
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Revised for site boundary AM AM 17.01.22

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hardies.co.uk
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Glasgow, Perth, St. Andrews

client
Robinbrook Ltd

project
**Change of Use - Planning
85 Main Street, Thornliebank, Glasgow**

drawing title
**Proposed
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job no. drawing no. revision
21-1540 004 A

**REASONING FOR SUBMISSION OF NEW
INFORMATION**

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East Renfrewshire Council
 2 Spiersbridge Way
 Thornliebank
 Glasgow
 G46 8NG

21st July 2022

Dear Sir/Madam,

Ref No: 2021/0973/TP
Location: Lloyds TSB 85 Main Street Thornliebank East Renfrewshire G46 7RY
Proposal: Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear.

East Renfrewshire Council Environmental Health Service and East Renfrewshire Council Roads Service departments have not raised any objections.

We refer to reason number 1 of the refusal letter – over provision and concentration of hot food takeaways.

J&E Shepherd our marketing agency has been actively marketing 85 Main Street Thornliebank for over 6 months. The units have been marketed as available either in whole or in part. Since the beginning of the marketing, the proposed use of all enquiries has been that for the use as a Hot Food Takeaway (Sui Generis) details of the enquiries are attached as proof to this submission.

Since the beginning of J&E Shepherds instruction to market this unit, we have had no enquiries for continued use as a Class 2 premises. The refusal of our application for change of use is therefore actively contributing to the vacancy of these premises and the deterioration of this neighbourhood parade.

Whilst we appreciate and accept that there are other hot food takeaway (sui generis) operators within the parade, we would like to point out that both Greggs and Subway operate under a Class 1 use, therefore we would argue that our application for change of use does not contribute to a concentration of hot food takeaways within the parade.

We also believe it is not the over concentration of hot food takeaways that has eroded the mix and diversity of retail and non-retail uses within the neighbourhood centre. The main cause that has diminished the mix and diversity of retail shops is that of online shopping that has taken over from the high streets and caused the high street to erode.

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We would wish for our application to be reviewed once more on the basis of the above and for consideration to be given to our application for change of use.

Yours Faithfully
Ayesha Munir BSc MSc
Architectural Technician
For and on behalf of
HARDIES LLP

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Elaine Duncan

Subject: FW: 21-1540 - 83 & 85 Main Street, Thornliebank (Arch)

Elaine Duncan
 Secretary
 Hardies Property & Construction Consultants
 T: 01383 731841
 W: www.hardies.co.uk

From: Adam Honeyman <a.honeyman@shepherd.co.uk>
Sent: 06 July 2022 11:17
To: Jennifer Patrick <J.Patrick@shepherd.co.uk>; Ayesha Munir <ayesha.munir@hardies.co.uk>
Cc: Calvin Molinari <c.molinari@shepherd.co.uk>
Subject: RE: 21-1540 - 83 & 85 Main Street, Thornliebank (Arch)

Hi Ayesha,

Each of these interests are for a class 3 takeaway use and we are confident that a deal could have been struck with them providing this use was granted.

Kind regards

Adam Honeyman MA (Hons) MRICS
 Associate

f in

 RICS
 Regulated by RICS

Shepherd Chartered Surveyors
 31 Byres Road
 Glasgow G11 5RD

Tel: 0141 331 2807 Mobile: 07720 466035
 Email: a.honeyman@shepherd.co.uk
 www.shepherd.co.uk

One triangle
 all angles covered

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From: Jennifer Patrick <J.Patrick@shepherd.co.uk>
Sent: 06 July 2022 11:03
To: Ayesha Munir <ayesha.munir@hardies.co.uk>
Cc: Adam Honeyman <a.honeyman@shepherd.co.uk>; Calvin Molinari <c.molinari@shepherd.co.uk>
Subject: 21-1540 - 83 & 85 Main Street, Thornliebank (Arch)

Hi Ayesha,

See below all enquiries in relation to the above.

Thanks

0	APPLICANT	ASSIGNED TO	DATE OF INTEREST
D		jpatrick	13Apr2022
D		jpatrick	14Apr2022
D		jpatrick	14Apr2022
<input type="checkbox"/>		jpatrick	14Apr2022
<input type="checkbox"/>		jpatrick	15 Jun 2022

From: Ayesha Munir <ayesha.munir@hardies.co.uk>
Sent: 05 July 2022 09:32
To: Adam Honeyman <a.honeyman@shepherd.co.uk>
Cc: Neil Smith <neil.smith@hardies.co.uk>
Subject: 21-1540 - 83 & 85 Main Street, Thornliebank (Arch)

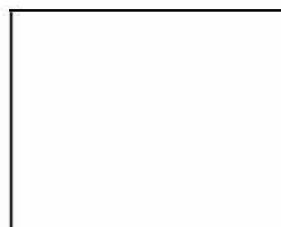
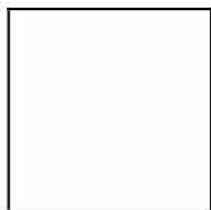
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Morning Adam,

Can you please forward any queries that you have received for hot food takeaway? Any proof for potential tenant for hot food take away? I will submit all this information with my Notice of Review.

Regards
 Ayesha

Ayesha Munir MSc, ACIAT
Architectural Technologist



31 Byres Road
 Glasgow
 G1 15RD

T: 014 1 331 2807
 M: 07776 639 669
www.hardies.co.uk

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From: a.honeyman <a.honeyman@shepherd.co.uk>
Sent: 11 October 2022 16:40
To: Bernard Jackson <bcjackson10@aol.com>; Ayesha Munir <ayesha.munir@hardies.co.uk>
Cc: Neil Smith <neil.smith@hardies.co.uk>
Subject: RE: 21-1540 - 83 & 85 Main Street, Thornliebank (Arch)

Ayesha/all.

I can confirm that to date we have had three further interests in the subject property. All three interests were to utilise the space for Class 3 use and we have had zero interest for any other use since marketing.

Kind regards

	Adam Honeyman MA (Hons) MRICS Associate	Shepherd Chartered Surveyors 2 nd Floor, Afton House, 26 West Nile Street, Glasgow G1 2PF	
	  	Tel: 0141 331 2807 Mobile: 07720 466035 Email: a.honeyman@shepherd.co.uk www.shepherd.co.uk	
	 		
	Regulated by RICS		

One triangle
all angles covered

RESIDENTIAL

COMMERCIAL

PROPERTY & CONSTRUCTION



In accordance with "The Requirements of Writing (Scotland) Act 1995" the terms of this e-mail are not intended to be or have any contractual effect and should not be constructed as such. Any legally binding obligation or liability will be subject to the preparation of formal missives between our respective client's legal representatives. This e-mail is provided without prejudice to any third party proceedings, court actions or similar which may occur hereinafter. Unless expressly stated otherwise, this email does not constitute an offer or acceptance of an offer to contract on any terms nor is it intended to create any legally binding obligations.

From: Bernard Jackson <bcjackson10@aol.com>
Sent: 10 October 2022 16:03
To: Ayesha Munir <ayesha.munir@hardies.co.uk>
Cc: Neil Smith <neil.smith@hardies.co.uk>; Adam Honeyman <a.honeyman@shepherd.co.uk>
Subject: Re: 21-1540 - 83 & 85 Main Street, Thornliebank (Arch)

CAUTION: This email originated from outside of the organisation. Do not click links or open attachments unless you recognise the sender and know the content is safe. If you have any doubts contact Shepherd IT.

Hi Ayesha

Having just received an email from Victoria. I checked my mail and retrieved your email below from my spam box.

Yes I approve and please proceed.

Can Adam confirm if there has been any more interest in the units. Is it feasible for Adam to further confirm the only interest to date has been for class 3 use and send/update a copy to the planning department to demonstrate the only enquiries to date is still only for class 3 use.

Kind regards
Bernard Jackson
pp Robinbrook Ltd

On Wednesday, 28 September 2022, 11:16:44 BST, Ayesha Munir <ayesha.munir@hardies.co.uk> wrote:

Hi Bernard

Attached are building warrant drawings for the units representing the sub-division.

I have not shown the heaters and the AC units on our drawings and this information will only be provided if asked by the Building Control.

The minimum we need is power in the individual unit for lighting and emergency lighting. We are proposing to keep the existing meter for No. 85 and install a new one for No. 83.

In No 83, I have shown a disabled toilet on the ground floor instead of having toilets on the first floor.

After your approval, I can forward these drawings to Structural Engineer for the structural input. I can submit the warrant application tomorrow and structural drawings can be submitted later on. This will speed up our warrant application process.

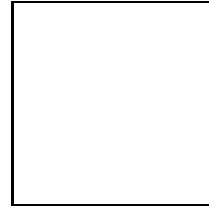
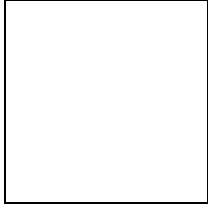
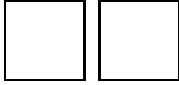
Let me know of your thoughts.

Regards

Ayesha



Ayesha Munir MSc, ACIAT
Architectural Technologist



31 Byres Road
Glasgow
G11 5RD

T: 0141 331 2807
M: 07776 639 669

www.hardies.co.uk

In accordance with "The Requirements of Writing (Scotland) Act 1995" the terms of this e-mail are not intended to be or have any contractual effect and should not be construed as such. Any legally binding obligation or liability will be subject to the preparation of formal missives between our respective client's legal representatives. This e-mail is provided without prejudice to any third party proceedings, court actions or similar which may occur hereinafter. Unless expressly stated otherwise, this email does not constitute an offer or acceptance of an offer to contract on any terms nor is it intended to create any legally binding obligations.

EAST RENFREWSHIRE COUNCILLOCAL REVIEW BODY9 November 2022Report by Director of Business Operations and PartnershipsREVIEW OF CASE - REVIEW/2022/10**CHANGE OF USE FROM CLASS 2 TO HOT FOOD TAKEAWAY (SUI GENERIS),
INCLUDING ERECTION OF FLUE TO REAR AND FORMATION OF NEW SHOP FRONT.****PURPOSE OF REPORT**

1. The purpose of the report is to present the information currently available to allow a review of the decision taken by officers, in terms of the Scheme of Delegation made in terms of Section 43A of the Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 in respect of the application detailed below.

DETAILS OF APPLICATION

2. Application type: Full Planning Permission (Ref No:- 2021/0972/TP).
- Applicant: Robinbrook Ltd
- Proposal: Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear and formation of new shop front.
- Location: Lloyds TSB, 83 Main Street, Thornliebank, East Renfrewshire, G46 7RY.
- Council Area/Ward: Giffnock and Thornliebank (Ward 3).

REASON FOR REQUESTING REVIEW

3. The applicant has requested a review on the grounds that the Council's Appointed Officer refused the application.

RECOMMENDATIONS

4. The Local Review Body is asked to:-
- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
 - (i) it proceeds to determine whether the decision taken in respect of the application under review should be upheld, reversed or varied; and
 - (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed; or
 - (b) that in the event that further procedure is required to allow it to determine the review, consider:-

- (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
- (ii) what procedure or combination of procedures are to be followed in determining the review.

BACKGROUND

5. At the meeting of the Council on 29 April 2009, consideration was given to a report by the Director of Environment seeking the adoption of a new Scheme of Delegation in terms of the new Section 43A of the Town and Country Planning (Scotland) Act 1997, subject to approval of the scheme by Scottish Ministers.

6. The report provided details of the new hierarchy of developments that took effect from 6 April 2009 explaining that the Scheme of Delegation related to those applications within the “local development” category as set out in the Town and Country Planning (Hierarchy of Development) (Scotland) Regulations 2009, but would in future be determined by an “appointed officer”. In the Council’s case this would be either the Director of Environment or the Head of Roads, Planning and Transportation Service now designated the Head of Environment (Operations).

7. The report highlighted that historically appeals against planning decisions were dealt with by Scottish Ministers. However, following the introduction of the new planning provisions which came into effect on 3 August 2009 all appeals against decisions made in respect of local developments under delegated powers would be heard by a Local Review Body. The Local Review Body would also deal with cases where the appointed officer had failed to determine an application within two months from the date it was lodged.

NOTICE OF REVIEW – STATEMENT OF REASONS FOR REQUIRING THE REVIEW

8. The applicant in submitting the review has stated the reasons for requiring the review of the determination of the application. A copy of the applicant’s Notice of Review and Statement of Reasons including appeal statement is attached as Appendix 6.

9. The applicant is entitled to state a preference for the procedure (or combination of procedures) to be followed by the Local Review Body in the determination of the review and has detailed in their opinion that this review can continue to conclusion based on the assessment of the review documents only, with no further procedure.

10. The Local Review Body is not bound to accede to the applicant’s request as to how it will determine the review and will itself decide what procedure will be used in this regard.

11. At the meeting of the Local Review Body on 10 August 2016, it was decided that the Local Review Body would carry out unaccompanied site inspections for every review case it received prior to the cases being given initial consideration at a meeting of the Local Review Body.

12. In accordance with the above decision, the Local Review Body will carry out an unaccompanied site inspection on Wednesday, 9 November 2022 before the meeting of the Local Review Body which begins at 2.30pm.

INFORMATION AVAILABLE TO ALLOW REVIEW OF APPLICATION

13. Section 43B of the Planning etc (Scotland) Act 2006 restricts the ability of parties to introduce new material at the review stage. The Local Review Body is advised that the focus of the review should, therefore, be on the material which was before the officer who dealt with the application under the Scheme of Delegation.

14. However, the applicant has submitted new information which was not available to the Appointed Officer at the time the determination of the application was made. The new information consists of proof of enquiries received to the marketing agency all relating to hot food takeaway use included in Appendix 8.

15. Members are advised that Section 43B of The Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 states that:-

“43B Matters which may be raised in a review under section 43A(8)

- (1) In a review under section 43A(8), a party to the proceedings is not to raise any matter which was not before the appointed person at the time the determination reviewed was made unless that party can demonstrate—
 - (a) that the matter could not have been raised before that time, or
 - (b) that its not being raised before that time was a consequence of exceptional circumstances.
- (2) Nothing in subsection (1) affects any requirement or entitlement to have regard to—
 - (a) the provisions of the development plan, or
 - (b) any other material consideration.”

16. The applicant has advised of the reasoning behind this submission, please find this response attached in Appendix 8.

17. The Local Review Body must decide whether the new information should be considered as part of the review. In the event that it does, it is recommended, in the interests of equality of opportunity to all parties that the Appointed Officer be given the opportunity to comment on the new information.

18. The information detailed below is appended to this report to assist the Local Review Body in carrying out the review of the decision taken by the Appointed Officer:-

- (a) Application for planning permission – Appendix 1 (Pages 161 - 180);
- (b) Report of Handling by the planning officer under the Scheme of Delegation - Appendix 4 (Pages 193 - 202);
- (c) Decision notice and reasons for refusal - Appendix 5 (Pages 203 - 206); and
- (d) A copy of the applicant's Notice of Review and Statement of Reasons including appeal statement - Appendix 6 (Pages 207 - 222).

19. The applicant has also submitted the drawings listed below and these are attached as Appendix 7 (Pages 223 - 230).

- (a) Location Plan 21-1540-005A;
- (b) Existing Layouts and Elevations 21-1540-001-PL;

- (c) Proposed Layouts and Elevations 21-1540-002A-PL;
- (d) Refused – Location Plan 21-1540-005A;
- (e) Refused – Existing Layouts and Elevations 21-1540-001-PL; and
- (f) Refused – Proposed Layouts and Elevations 21-1540-002A-PL.

20. The Local Review Body is advised that initial consultation responses and representations received if any, relating to the application will be listed in the planning officer's Report of Handling and are also included as Appendix 2 and Appendix 3.

21. All the documents referred to in this report can be viewed online on the Council's website at www.eastrenfrewshire.gov.uk.

RECOMMENDATIONS

22. The Local Review Body is asked to:-

- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
 - (i) it proceeds to determine whether the decisions taken in respect of the application under review should be upheld, reversed or varied; and
 - (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed; or
- (b) In the event that further procedure is required to allow it to determine the review, consider:-
 - (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

Report Author: Sharon McIntyre

Director – Louise Pringle, Director of Business Operations and Partnerships

Sharon McIntyre, Committee Services Officer
e-mail: sharon.mcintyre@eastrenfrewshire.gov.uk
Tel: 0141 577 3011

Date:- November 2022

APPLICATION FORM

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100513868-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Type of Application

What is this application for? Please select one of the following: *

- Application for planning permission (including changes of use and surface mineral working).
- Application for planning permission in principle.
- Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- Application for Approval of Matters specified in conditions.

Description of Proposal

Please describe the proposal including any change of use: * (Max 500 characters)

Proposed Change of Use from Class 1 to Class 3 Hot Food (Sui Generis), including erection of flue to rear, reinstatement of existing unit into two separate units and formation of new shop front

Is this a temporary permission? *

Yes No

If a change of use is to be included in the proposal has it already taken place?
(Answer 'No' if there is no change of use.) *

Yes No

Has the work already been started and/or completed? *

No Yes – Started Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	HARDIES PROPERTY & CONSTRUCTION CONSULTANTS		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	AYESHA	Building Name:	<input type="text"/>
Last Name: *	MUNIR	Building Number:	31
Telephone Number: *	0141 3312807	Address 1 (Street): *	Byres Road
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	Glasgow
Fax Number:	<input type="text"/>	Country: *	UNITED KINGDOM
		Postcode: *	G11 5RD
Email Address: *	ayesha.munir@hardies.co.uk		
Is the applicant an individual or an organisation/corporate entity? *			
<input type="checkbox"/> Individual <input checked="" type="checkbox"/> Organisation/Corporate entity			

Applicant Details

Please enter Applicant details

Title:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	Robinbrook Ltd
First Name: *	<input type="text"/>	Building Number:	<input type="text"/>
Last Name: *	<input type="text"/>	Address 1 (Street): *	Larkhill Abridge Road
Company/Organisation	Robinbrook Ltd	Address 2:	Theydon Bois Epping
Telephone Number: *	<input type="text"/>	Town/City: *	Essex
Extension Number:	<input type="text"/>	Country: *	UK
Mobile Number:	<input type="text"/>	Postcode: *	CM16 7NN
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text"/>		

Site Address Details

Planning Authority:

East Renfrewshire Council

Full postal address of the site (including postcode where available):

Address 1:

83-85 MAIN STREET

Address 2:

THORNLIBANK

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

GLASGOW

Post Code:

G46 7RY

Please identify/describe the location of the site or sites

Northing

659584

Easting

254932

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

Yes No

Site Area

Please state the site area:

71.00

Please state the measurement type used:

Hectares (ha) Square Metres (sq.m)

Existing Use

Please describe the current or most recent use: * (Max 500 characters)

Bank - Office

Access and Parking

Are you proposing a new altered vehicle access to or from a public road? *

Yes No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

<p>Are you proposing any change to public paths, public rights of way or affecting any public right of access? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.</p>	
<p>How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?</p>	<input type="text" value="0"/>
<p>How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *</p>	<input type="text" value="0"/>
<p>Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).</p>	
<h3>Water Supply and Drainage Arrangements</h3>	
<p>Will your proposal require new or altered water supply or drainage arrangements? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>Do your proposals make provision for sustainable drainage of surface water?? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (e.g. SUDS arrangements) *</p> <p>Note:- Please include details of SUDS arrangements on your plans Selecting 'No' to the above question means that you could be in breach of Environmental legislation.</p>	
<p>Are you proposing to connect to the public water supply network? *</p> <p><input type="checkbox"/> Yes <input type="checkbox"/> No, using a private water supply <input checked="" type="checkbox"/> No connection required</p> <p>If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).</p>	
<h3>Assessment of Flood Risk</h3>	
<p>Is the site within an area of known risk of flooding? * <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Don't Know</p> <p>If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.</p> <p>Do you think your proposal may increase the flood risk elsewhere? * <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Don't Know</p>	
<h3>Trees</h3>	
<p>Are there any trees on or adjacent to the application site? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.</p>	
<h3>Waste Storage and Collection</h3>	
<p>Do the plans incorporate areas to store and aid the collection of waste (including recycling)? * <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>	

If Yes or No, please provide further details: * (Max 500 characters)

Please refer to drawing 21-1540-002-PL.

Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? *

Yes No

All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? *

Yes No

Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013 *

Yes No Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

Yes No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

Yes No

Is any of the land part of an agricultural holding? *

Yes No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: AYESHA MUNIR

On behalf of: Robinbrook Ltd

Date: 08/12/2021

Please tick here to certify this Certificate. *

Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? *

Yes No Not applicable to this application

b) If this is an application for planning permission or planning permission in principle where there is a crown interest in the land, have you provided a statement to that effect? *

Yes No Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? *

Yes No Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? *

Yes No Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? *

Yes No Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? *

Yes No Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- Site Layout Plan or Block plan.
- Elevations.
- Floor plans.
- Cross sections.
- Roof plan.
- Master Plan/Framework Plan.
- Landscape plan.
- Photographs and/or photomontages.
- Other.

If Other, please specify: * (Max 500 characters)

Provide copies of the following documents if applicable:

- | | |
|--|--|
| A copy of an Environmental Statement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Design Statement or Design and Access Statement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Flood Risk Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Drainage/SUDS layout. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Transport Assessment or Travel Plan | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Contaminated Land Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Habitat Survey. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Processing Agreement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |

Other Statements (please specify). (Max 500 characters)

Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mrs AYESHA MUNIR

Declaration Date: 08/12/2021

Payment Details

Pay Direct

Created: 08/12/2021 18:40

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Model GFBE

Economy Baffle Grease Filters

GENERAL DESCRIPTION

These filters are designed for use in commercial kitchens and ventilation from food preparation areas where their primary function is to prevent flame from travelling from the cooking area up into the extract duct.

Construction

These filters are made from rolled channel frames, with safety edges. Each blade overlaps the opposite one to provide a tortuous path for the grease laden air. The grease drains down the blades and through the drain holes provided into a collection tray provided in the kitchen canopy.

These Filters are available in the finishes below

Stainless Steel



Brushed Stainless Steel



Galvanised Steel



ENVIRONMENT



EMS 81914
BS EN ISO 14001:2004

QUALITY



FM 29257
BS EN ISO 9001:2000

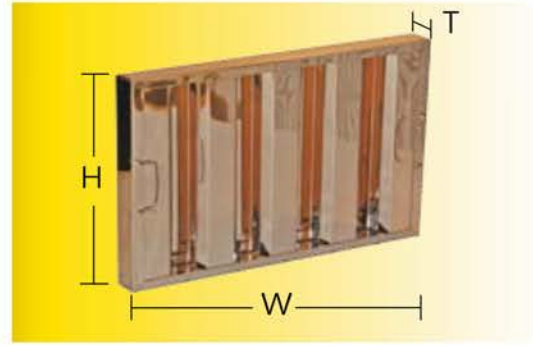
Jasun Filtration Plc
 Riverside House, Parrett Way
 Bridgwater, Somerset.
 TA6 5LB
 United Kingdom

Tel.: +44 (0) 1278 452277
 Fax: +44 (0) 1278 450873
info@jfilters.com
<http://www.jfilters.com>

GFBE Baffle Grease Filters

STANDARD SIZES

Jasun Filtration always specify filters as Height (H) x Width (W)x Thickness (T) This is particularly important with baffle filters because the handles will always go on the H side, the blades will always run along the H side, and the drain holes will always be in the W side

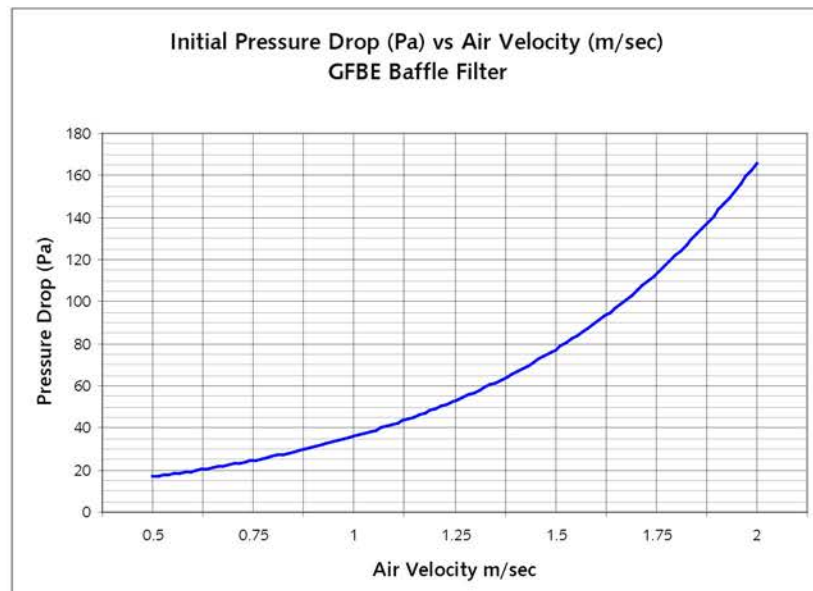


No.	Nominal Size Inches	Height (mm)	Width (mm)	Depth (mm)	Rated Airflow m ³ /hr.
GFBEEx-1020	10 x 20 x 2	241	495	45	644
GFBEEx-1212	12 x 12 x 2	292	292	45	460
GFBEEx-1216	12 x 16 x 2	292	394	45	621
GFBEEx-1224	12 x 24 x 2	292	594	45	937
GFBEEx-1616	16 x 16 x 2	394	394	45	838
GFBEEx-1620	16 x 20 x 2	394	495	45	1053
GFBEEx-1625	16 x 25 x 2	394	622	45	1323
GFBEEx-1818	18 x 18 x 2	445	445	45	1069
GFBEEx-2010	20 x 10 x 2	495	241	45	644
GFBEEx-2016	20 x 16 x 2	495	394	45	1053
GFBEEx-2020	20 x 20 x 2	495	495	45	1323
GFBEEx-2025	20 x 25 x 2	495	622	45	1663
GFBEEx-2424	24 x 24 x 2	597	597	45	1925

To Specify the Grease Filters material

In the Part Numbers above replace the x with

- S for Stainless Steel
- R for Brushed Stainless Steel
- G for Galvanised Steel



CP4 Synthetic Bag Filter

Fire Rated BS5588 Part 9 (CP413)

GENERAL DESCRIPTION

The CP4 is a general use bag filter, suitable for fresh air intakes and heavy loading situations. Manufactured from a deep loft graduated density filter media this provides exceptional dirt loading and long life in even the most testing situations. This bag filters is ideal as a grease eliminator in extraction systems off commercial kitchens, bakerys restauarnts and food preparation areas.

Construction

This product is made by mounting a series of filter pockets on a metal slide channel header frame.

Features

- Rolled safety edge to prevent the material being cut and to prevent injury to the engineers who handle them
- Stiffened filter media to give stability in all air-flows, even VAV systems
- anti-microbial
- Fire retardent certified to BS5588 Part 9 (CP413)
- The media has a Graduated Density for even dirt loading, which gives greater dust holding and longer filter life.
- Has a low pressure drop



Filter Efficiency to BS EN 779		G4
Rating to ASHRAE 52.2 Test Standard		Merv 9
Pocket Depth	Rated Airflow	Initial Pressure Drop
300mm	1.7m/sec	30Pa
350mm	2.46m/sec	30Pa
600mm	3.3m/sec	50Pa
Final Recommended Pressure Drop		250Pa

ENVIRONMENT



EMS 81914
BS EN ISO 14001:2004

QUALITY



FM 29257
BS EN ISO 9001:2000

Jasun Filtration Plc
Riverside House, Parrett Way
Bridgwater, Somerset.
TA6 5LB
United Kingdom

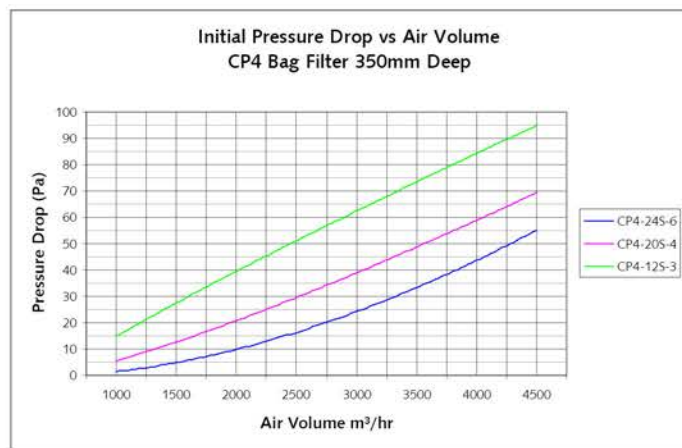
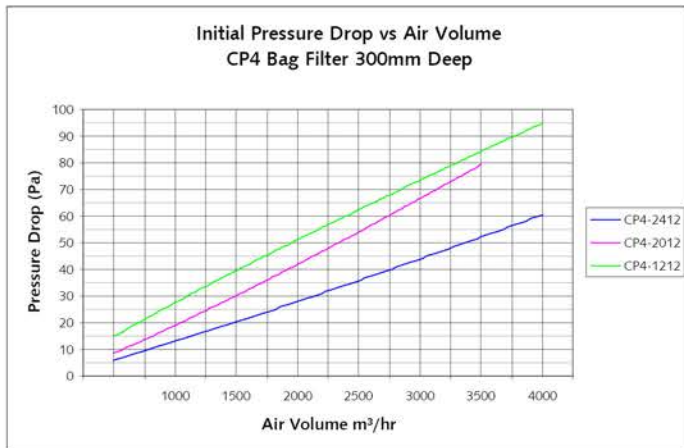
Tel.: +44 (0) 1278 452277
Fax: +44 (0) 1278 450873
info@jfilters.com
<http://www.jfilters.com>

CP4 Synthetic Bag Filter

STANDARD SIZES

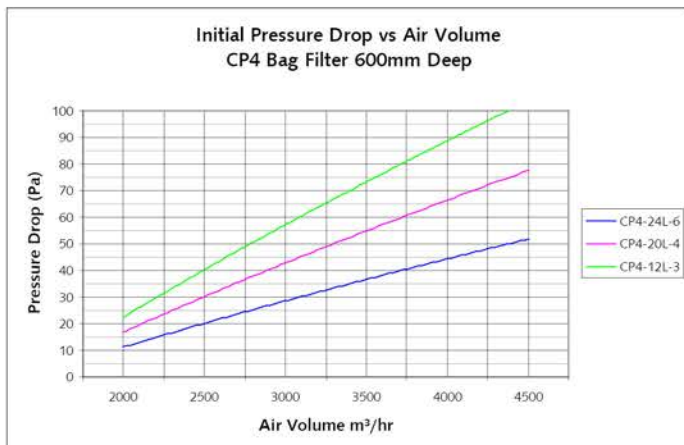
Series 300 - Economy configuration

Part Number	Header Dimensions			Pocket Details		Capacity m ³ /hr
	Height (mm)	Width (mm)	Thickness (mm)	Depth (mm)	No. of Pockets	
CP4-1212	592	287	20	300	2	1000
CP4-2012	592	492	20	300	3	1800
CP4-2412	592	592	20	300	4	2100



Series 350 - Low Initial Pressure Drop Configuration

Part Number	Header Dimensions			Pocket Details		Capacity m ³ /hr
	Height (mm)	Width (mm)	Thickness (mm)	Depth (mm)	No. of Pockets	
CP4-12S-3	592	287	20	350	3	1500
CP4-20S-4	592	492	20	350	4	2500
CP4-24S-6	592	592	20	350	6	3100



Other header thickness available:
12mm, 15mm, 22mm, 25mm, 33mm, 38mm

Other Standard Pocket Depths:
229mm, 500mm, 559mm

ANY other size and pocket configuration
made to specific requirements.

Series 600 - Long Pocket, long Life, High Capacity Configura-

Part Number	Header Dimensions			Pocket Details		Capacity m ³ /hr
	Height (mm)	Width (mm)	Thickness (mm)	Depth (mm)	No. of Pockets	
CP4-12L-3	592	287	20	600	3	2000
CP4-20L-4	592	492	20	600	4	3460
CP4-24L-6	592	592	20	600	6	4200



Manufacturing
Air Filters in
the UK for
Over

40
Years

UltimaPleat RP Compact ¹⁷⁵ HEPA Efficiency Rating

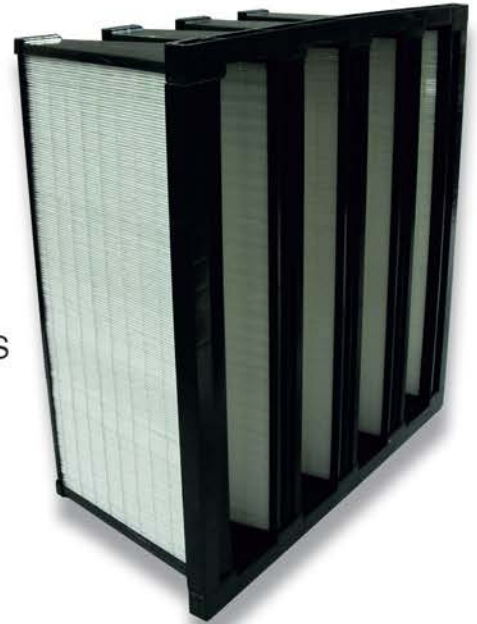


General Description

Ultima Filters are a range of fine mini-pleat filters which range from Grades F6 to H13. This compact configuration can be retrofitted for all bag filters grade F6 to F9 and above offering longer life and LOWER ENERGY COSTS than all bag filters.

Construction

High capacity glass fibre mini-pleat pack is bonded into an ABS moulded plastic case, engineered for maximum strength and optimum airflow characteristics.



Features

- Totally stable media presentation to the air
- Will not collapse during downtime
- will always operate at 100% of capacity
- fully incinerable
- Extended media Area
- Long Life
- Low Pressure Drop
- High Capacity
- Available with 20mm or 25mm Header
- Long life retrofit for any standard bag filter

Filter Media

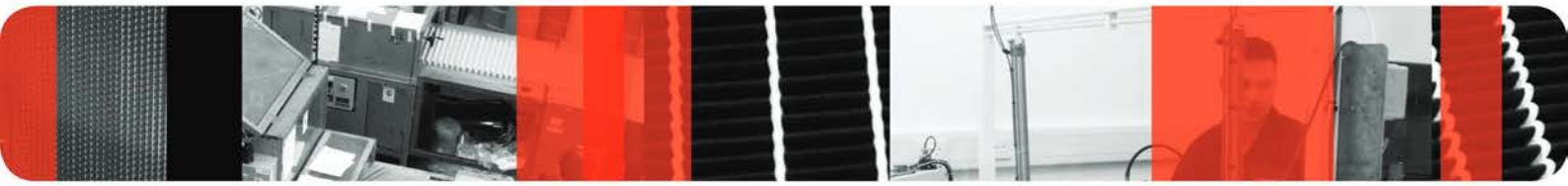
- Is microfine glass fibre
- Totally stable
- Not reliant on electrostatic charge
- Mechanical Filtration



Filter Efficiency to BS EN 779		H10(E10)	H11(E11)	H13
Depth	Rated Airflow	Initial Pressure Drop - Clean Filter		
292mm	2.4m/sec	200Pa	200Pa	300Pa
Maximum Final Recommended Pressure Drop 450Pa				



RP UltimaPleat Compact STANDARD SIZES



Header Dimensions							
Part Number	Height (mm)	Width (mm)	Depth (mm)	Efficiency to EN1822	Number of V's	Media Area m ²	Capacity m ³ /hr
RP10-2412	592	592	292	H10(E10)	4	19	3000
RP10-2012	592	492	292	H10(E10)	4	16	2000
RP10-1212	592	287	292	H10(E10)	4	9.5	1500
RP11-2412	592	592	292	H11(E11)	4	19	3000
RP11-2012	592	492	292	H11(E11)	4	16	2000
RP11-1212	592	592	292	H11(E11)	4	9.5	1500
RP13-2412	592	592	292	H13	4	19	3000
RP13-2012	592	492	292	H13	4	16	2000
RP13-1212	592	287	292	H13	4	9.5	1500

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Manufacturing
Air Filters in
the UK for
Over
40
Years

Sitesafe Discarb Units ¹⁷⁷



General Description

Standard Discarb multipanel carbon units have been in circulation for over 30 years and there are many tens of thousand of units in service today. These filters are very heavy and nearly always installed in situations with very poor access.

With the new appreciation of risk which we have in the 21st Century it has become apparent that these units represent a real danger to health and potentially offer risk in the work place when a filter change is required.

The new Sitesafe Discarb cells provide exactly the same filter performance with a set of filters which will retrofit exactly for an existing full size cell.

We offering a full set of Site Safe discarbs for the same price as a full sized cell so there is no reason not to change to the new style filters and improve workplace safety.

Will require two people plus lifting gear to carry and install



Discarb DC242424

Size 594x594x597
Gross Weight 68.2Kg
Carbon Weight 50kg
Rated Airflow 3800m³/hr*
Pressure Drop 120Pa

Safe for one person to carry, no special lifting gear required.

Sitesafe discarb cells are a no added cost option so its win win.

Same price as a standard full size discarb - set of 3



Sitesafe DCS240824

Size 594x196x597
Gross Weight 17.95Kg
Carbon Weight 16.6kg
Rated Airflow 1266m³/hr*
Pressure Drop 120Pa



Sitesafe 3xDCS240824

Size 594x594x597
Gross Weight 53.85Kg
Carbon Weight 50kg
Rated Airflow 3800m³/hr*
Pressure Drop 120Pa

*Rated Airflow based on a dwell time of 0.1 seconds.
Available in all sizes to retrofit discarb cells

SiteSafe Units Standard Sizes



SiteSafe Reference	SiteSafe Cells Needed	Retrofit Discarb	Nominal Size (Inches)	Height (mm)	Width (mm)	Depth (mm)	Weight of Carbon (Kg)	Cell Weight (Kg)	Capacity m ³ /hr
DCS180912	2	DC181812	18 x 9 x 12	445	220	297	6.5	7.85	495
DCS240612	2	DC241212	24 x 6 x 12	594	146	297	6.5	7.85	990
DCS240812	3	DC242412	24 x 8 x 12	594	196	297	8.4	9.7	633
DCS180918	2	DC181818	18 x 9 x 18	445	220	451	9.5	10.85	722
DCS240618	2	DC241218	24 x 6 x 18	594	146	451	9	10.35	685
DCS240818	3	DC242418	24 x 8 x 18	594	196	451	12	13.35	915
DCS180924	2	DC181824	18 x 9 x 24	445	220	597	12.5	13.85	950
DCS240624	2	DC241224	24 x 6 x 24	594	146	597	12.5	13.85	950
DCS240824	3	DC242424	24 x 8 x 24	594	196	597	16.6	17.95	1266

The above capacities are based on a 0.1 second dwell time. Please refer to the table below for the recommended minimum dwell times required for different applications and scale up accordingly. It should be noted that filtration performance will be improved by increasing the dwell times applied. The appropriate suffix should be added to the part number to specify the required grade e.g. DCS240824-7C

Application	Recommended Dwell Time	Grade	Suffix
Cooking - General Restaurant	0.1 to 0.2 Seconds	General Purpose Activated Carbon	-7C
Cooking - Spicy, Indian	0.2 to 0.4 Seconds	General Purpose Activated Carbon	-7C
Reduction of Kerosene Exhaust fumes	0.1 to 0.2 Seconds	General Purpose Activated Carbon	-7C
Reduction of Ozone	0.1 to 0.2 Seconds	General Purpose Activated Carbon	-7C
Reduction of Diesel Fumes, including H ₂ S, SO ₂ , NOX, HCl	0.2 Seconds	5% Copper Treated Carbon	-9M
Museum and Archives	0.2 Seconds	5% Copper Treated Carbon	-9M
Mortuary / formaldehyde reduction	0.4 Seconds	Mortuary Grade	-MO
Ammonia Neutralisation	0.3 seconds	Ammonia Grade	-AM

Other Applications

We can formulate gas phase filters for most applications, simply contact us with your enquiry.

Filter Manufacture & Air Hygiene Solutions

Production and Filter Sales

Riverside House, Parrett Way, Bridgwater. TA6 5LB
 T 01278 452277 E sales@jfilters.com
 F 01278 450873 www.jfilters.com

Filter Service and Air Hygiene

5 Stratfield Park, Elettia Ave. Waterlooville. PO7 7XN
 T 02392 644700 E service@jfilters.com
 F 02392 644677 www.jasun-envirocare.com

Proposed Ventilation Statement for 83 Main Street Thornliebank Glasgow.

Proposed Requirements and Features of the Ventilation System:

General: The Following Specification is recorded as being the min requirement to design the ventilation. The system will be designed in accordance by the M+E Contractor in the detailed stage of the building warrant.

Odour Control system

The odour assessment for the kitchen extract system has a predicted odour risk of 35 based on the DEFRA guide, which equates to a high level of odour control required. Therefore we would propose to install an odour control system, detailed as follows.

The system would comprise of a purpose made filter housing incorporating the following filter types: -

4no 592x592x350 CP4 Fire Rated Bag Filter

General Description

The CP4, fire rated range of bag filters are used widely in government buildings, hospitals and other sensitive areas. This grade of filter would capture 90% of the grease left within the system after the canopy baffle filters.

Meets NHS HTM03 Filter Specification, Filter Class EN779:2012 G4

4no 592x592x300 RP Compact Medium/Fine Ridgid HEPA Bag filters

General Description

The F9 grade ridgid bag filter are used within this system to capture the heavy particles of smoke from the cooking process and are 80% efficient.

4no-995x995x995 Discarb Activated Carbon Units

General Description

These filters are manufactured for ease of installation and incorporation into ducted air systems. They can be used on both supply for purifying incoming air, and can be used on the extract to remove toxic gasses and odours generated within a process.

Construction

These modules are manufactured by mounting a series on carbon panel filters within a sealed case. The airflow is epitomize by presenting the filtering surfaces in a "V" formation.

Each carbon panel is sealed into the filter case so as to ensure no air can bypass the carbon granules.

The panels are manufactured using long established bonding techniques which hold the activated carbon granules in a rigid biscuit. The biscuit is encapsulated in a carbon impregnated cloth which prevents any leakage of granules or powder.

The carbon filters would remove 90% of any residual odours.

The final exhaust position of the extract system terminal would be at high level and would exhaust through a louver grille.

Noise

General: The System Shall Not exceed the Noise Curve Rating of 25 At any given time.

Maintenance:

The System Is to be designed to provide the least Down time and ease of maintenance. The Tennant will Follow the Maintenance Requirement Imposed by the Manufacturer of a Proprietary System. Most Likely in the form of a rolling Maintenance contract.

CONSULTATION RESPONSES

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Internal Memo

Our Ref: EN: HMcD
Your Ref: 2021/0972/TP
Date: 01/02/2022
From: Environmental Health
To: Development Management

PROPOSAL: Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear and formation of new shop front.

LOCATION: 83 Main Street Thornliebank G46 7RY

I have reviewed the plans for the above development and would comment as follows:

1. There shall be no construction work or offloading of delivered materials at the development site outwith the hours of 0800 to 1900 Monday to Friday and 0800 to 1300 on Saturday with no working on Sunday or local or national public holidays unless minor and temporary amendments have been otherwise agreed in advance in writing by the planning authority.
2. Noise from the proposed development and any associated equipment shall not exceed residential Noise Rating Curve 25 (as described in BS 8233 2014) between the hours of 2300 and 0700 and NR Curve 35 between 0700 and 2300 hrs, as measured from any neighbouring residential property. (applies to food air handling units)
3. Between the hours of 0800 and 2000 the measured noise level emitted from the premises (L_{Aeq} (1hour)) shall not exceed the pre-existing background noise level (L_{A90} (1/2hour)) by more than 4dB (A) when measured in accordance with BS4142:2014 at buildings where people are likely to be affected. Between the hours of 2000 and 0800 the noise emitted from the premises (L_{Aeq} (5mins)) shall not exceed the pre-existing background noise level (L_{A90} (1/2hour)) by more than 4dB(A) when measured in accordance with BS4142:2014 at buildings where people are likely to be affected.
4. All waste arising from construction or demolition activities must be removed by a licensed waste carrier. There must be no burning on site, other than that permitted by Scottish Environmental Protection Agency by prior agreement; any such burning must not cause

nuisance. Adequate precautions must be taken to prevent nuisance from dust from the demolition or construction activities.

5. The premises require to comply with –
 - a) The Food Safety Act 1990 and any subordinate legislation made thereunder
 - b) The Food Hygiene (Scotland) Regulations 2006.
 - c) The Health and Safety at Work Etc Act 1974 and any subordinate legislation made thereunder.
 - d) The business operations and any activities in relation to alterations require to comply with The Health and Safety at Work Etc Act 1974 and any subordinate legislation made thereunder.
6. The food business requires to register with the Environmental Health Section 28 days prior to commencing business. A Food Safety Registration form may be accessed online or requested directly from the Section, by contacting 0141 577 8487 or emailing environmentalhealth@eastrenfrewshire.gov.uk .
7. It is strongly advised that a grease trap of suitable capacity is installed for the collection of grease before it accesses the waste drainage system. For further information, please contact 0800 0778 778 to speak to Scottish Water Trade Effluent Quality Team.
<https://www.scottishwater.co.uk/en/Business-and-Developers/Byelaws-and-Trade-Effluent/Trade-Effluent>
8. It is recommended that the wash hand basin in the kitchen is fitted with non-hand operable taps. I also require details of the location of the wash hand based within the food preparation area
9. It is recommended that applicants consider the food preparation activities they are proposing and ensure that facilities within their business can accommodate their proposals.
10. A suitable ventilation system, which meets the approval of the Environmental Health Section requires to be installed.
11. A suitable ventilation and extraction system, which meets the approval of the Environmental Health Section requires to be installed. The ventilation system should not cause nuisance to the occupiers of nearby properties arising from cooking odours/noise. Consideration should be made to the installation of an extraction flue that extends at least **1 metre** above the eaves of the building.
12. The light emanating from the proposed fascia/sign must not cause disturbance to the occupiers of neighbouring dwellinghouses, therefore consideration must be given to the hours of operation and to the intensity and direction of said light. Guidance regarding lighting nuisance is available at www.scotland.gov.uk/Publications/2009/01/23142152/39
13. Suitable arrangements should be made for the safe storage and disposal of **waste** arising from the business activities.
14. I would also recommend that the operating times of the business should be restricted to reduce the likelihood of noise nuisance to nearby residents.

I trust that this information is of use. If you wish to discuss any of the matters raised in this memo, please do not hesitate to contact me.

Helen McDonald
SENIOR ENVIRONMENTAL HEALTH OFFICER

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**Roads Service
OBSERVATIONS ON
PLANNING APPLICATION**

Our Ref: 2021/0972/TP
D.C Ref Margaret McGleish
Contact: Allan Telfer

Planning Application No: 2021/0972/TP **Dated:** 27/01/2022 **Received:** 27/01/22
Applicant: Robinbrook Ltd
Proposed Development: Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear and formation of new shop front.
Location: 83 Main Street, Thornliebank
Type of Consent: Full Planning Permission

RECOMMENDATION

No Objections

Proposals Acceptable Y/N or N/A

Proposals Acceptable Y/N or N/A

Proposals Acceptable Y/N or N/A

1. General

(a) General principle of development	Y
(b) Safety Audit Required	N
(c) Traffic Impact Analysis Required	N

2. Existing Roads

(a) Type of Connection (junction / footway crossing)	N/A
(b) Location(s) of Connection(s)	N/A
(c) Pedestrian Provision	N/A
(d) Sightlines	N/A

3. New Roads

(a) Widths	N/A
(b) Pedestrian Provision	N/A
(c) Layout (horizontal/vertical alignment)	N/A
(d) Turning Facilities (Circles / hammerhead)	N/A
(e) Junction Details (locations / radii / sightlines)	N/A
(f) Provision for P.U. services	N/A

4. Servicing & Car Parking

(a) Drainage	N/A
(b) Car Parking Provision	N/A
(c) Layout of parking bays / Garages	N/A
(d) Servicing Arrangements	N/A

5. Signing

(a) Location	N/A
(b) Illumination	N/A

Ref.	COMMENTS
	<p><u>General</u> The proposed development is located within an established Neighbourhood Centre and is fronted by the B769 Main Street.</p> <p>Loading and parking restrictions apply on adjacent roads.</p> <p><u>Parking / Servicing</u> As the proposed development lies within an established neighbourhood centre location, the parking, access and servicing arrangements can be assumed to be part of the town centre supply.</p> <p>Service vehicles for this development, like all traffic, will be subject to national and local traffic restrictions and regulations.</p> <p>As such, the Roads Service has no objection to this application.</p> <p>While the Roads Service has no objections to this application, it should be noted that any bins associated with the proposed development must not be permanently located on the adjacent public footways.</p> <p><u>Miscellaneous</u></p> <p>Before construction takes place, the Applicants' contractor will be required to contact the Roads Service to discuss among other things, how disruption to public roads can be minimised, what temporary traffic management will be required and what remedial measures may be required on public roads adjacent to the application site.</p> <p>A Section 58 Road Occupation Permit will be required in order to deposit building materials on a road.</p> <p>A skip shall not be deposited on a road without the written permission of this Service.</p> <p>When any works are taking place within the site, the adjacent public road network must be kept free from deleterious materials at all times.</p>

Notes for Intimation to Applicant:

(i) Construction Consent (S21)*	Not Required
(ii) Road Bond (S17)*	Not Required
(iii) Road Opening Permit (S56)*	Not Required

* Relevant Section of the Roads (Scotland) Act 1984

Comments Authorised By: John Marley
Principal Traffic Officer

16/03/22

COPIES OF OBJECTIONS/REPRESENTATIONS

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Comments for Planning Application 2021/0972/TP

Application Summary

Application Number: 2021/0972/TP

Address: Lloyds TSB 83 Main Street Thornliebank East Renfrewshire G46 7RY

Proposal: Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear and formation of new shop front.

Case Officer: Ms Margaret McGleish

Customer Details

Name: Mr Albert Peti

Address: Fish And Chips, 89A Main Street, Thornliebank, East Renfrewshire G46 7RY

Comment Details

Commenter Type: Rec'd NeighbourNotification from Council

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: On this street there are already a significant number of food premises. Allowing an additional food premise on this street will just add to an already over saturated market. Negatively impacted and affecting the business of existing food shops in the area.

In a period of instability and rapidly fluctuating prices hampering and straining existing businesses, the addition of another food premise to the street will produce yet another blow the issues faced by many of the businesses on the street.

I would also like to add that as per requirements as a neighbouring business, i was to be informed within 21 days in writing of the proposed changes, allowing an opportunity to dispute this planning, as of now i'm yet still to receive any letter of these intentions which i find unacceptable. To find out through third parties of a planning permission of a neighbouring property is not good.

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REPORT OF HANDLING

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REPORT OF HANDLING

Reference: 2021/0972/TP

Date Registered: 17th January 2022

Application Type: Full Planning Permission

This application is a Local Development

Ward: 3 -Giffnock And Thornliebank

Co-ordinates: 254932/:659584

Applicant/Agent:

Applicant:
Robinbrook Ltd
Robinbrook Ltd
Larkhill Abridge Road
Theydon Bois Epping
Essex
UK
CM16 7NN

Agent:

AYESHA MUNIR
31 Byres Road
Glasgow
UNITED KINGDOM
G11 5RD

Proposal: Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear and formation of new shop front.

Location: Lloyds TSB
83 Main Street
Thornliebank
East Renfrewshire
G46 7RY

CONSULTATIONS/COMMENTS:

East Renfrewshire Council Environmental
Health Service

No objections

East Renfrewshire Council Roads Service

No objections

PUBLICITY:

04.02.2022

Evening Times

Expiry date 18.02.2022

SITE NOTICES:

None.

SITE HISTORY:

2002/0295/TP

Installation of satellite dish

30.04.2002

1999/0050/TP

Alterations to cashpoint
machine

Granted

19.02.1999

2003/0011/AD

Erection of internally
illuminated signboardApproved Subject
to Conditions

06.05.2003

around ATM

2006/0024/AD	Erection of internally illuminated projecting sign and replacement of fascia	Approved Subject to Conditions	26.01.2007
2008/0023/AD	Display of internally illuminated fascia and projecting sign and ATM collar.	Approved Subject to Conditions	15.09.2008
2012/0577/ADV	Display of internally illuminated fascia and projecting signs	Approved Subject to Conditions	12.11.2012

REPRESENTATIONS: 1 representation has been received and can be summarised as follows:

- Over saturated market
- Not neighbour notified

DEVELOPMENT PLAN & GOVERNMENT GUIDANCE: See Appendix 1

SUPPORTING REPORTS:

Other: Details of the proposed ventilation system were submitted.

ASSESSMENT:

The application site (No. 83 Main Street) is situated on the north-west side of Main Street and comprises a double commercial unit with office space above within a row of 10 units on the north side of Eastwood Crescent. The unit is currently vacant and was last in use as a bank (Class 2). There is a service yard to the rear of the first 7 units (77-89 Main Street) with residential flats opposite the application site on the south side of Main Street. The properties in the row of units from south to north are: Sandwich shop (Class 1), Sandwich shop (Class 1), hot food takeaway (sui generis), application site (Class 2), convenience shop (Class 1), hot food takeaway (sui generis), hot food takeaway (sui generis), betting shop (Class 2), hot food takeaway (sui generis) and a butcher (Class 1).

Planning permission is sought for the sub-division of the former bank into two separate commercial units (Nos 83 & 85 Main Street). The second unit, no.85, is subject to a separate planning application reference no. 2021/0973/TP. Both applications propose a change of use to a hot food takeaway. The proposal for this unit is a change of use to a hot food takeaway with two offices and staff toilets above at first floor level, the formation of a new shopfront and the erection of a flue to the rear. Internally the ground floor proposals include a takeaway counter and kitchen area. It should be noted that no prospective tenant has been identified for the proposed development and internal layouts, shop signage and opening hours would need to be confirmed.

The application requires to be assessed against Policies D1 and SG10 of the Adopted East Renfrewshire Local Development Plan 2. Policy D1 requires that the development should not result in a significant loss of character or amenity to the surrounding area and Policy SG10 states that the network of town and neighbourhood centres are the preferred location for significant footfall generating uses, including retail, leisure, entertainment, office, residential and community and cultural facilities. It also states that proposals for hot food takeaways within the town and neighbourhood centres will be required to avoid the concentration, including cumulatively, with other existing hot food takeaways in the area and will not result in a detrimental impact on the overall character and amenity of the area.

With regards to Policy SG10, although there is a strong presumption against hot food takeaways out-with the neighbourhood centres and the preference is for significant footfall generating uses, such as hot food takeaways, to be located within the neighbourhood centres, regard must be had for the role of town and neighbourhood centres as active, attractive and accessible places, support for their vitality and viability and to offer choice for the benefit of local communities.

This 10 unit row currently already has 4 hot food takeaways, an additional 2 sandwich takeaway shops and although technically Class 1 also a betting shop, a convenience shop and a butchers. The provision of even one further hot food takeaway in this row would therefore create an over-concentration of such uses in a relatively short section of street, taking the concentration of hot food takeaways to 50%. The addition of a second hot food takeaway at no.85 would further exacerbate this over-concentration. Taking into account the larger neighbourhood centre the cumulative effect would equate to around 25% being hot food takeaways with over 53% being non-retail. This concentration would be to the detriment of the character and amenity of the area and would be contrary to both Policy D1 and Policy SG10.

Although not a policy requirement under SG10, as the application site is a current Class 2 use, marketing information was provided to the planning service after a request from the case officer, which indicated that there have been no interested parties for the vacant unit. However, it is not clear which use classes the property had been marketed for, other than Class 3 as indicated from the agent. Despite the unit being vacant for some time, Policy SG10 requires that it must be demonstrated that the proposal will not significantly impact on the role and function of the centre, adjacent uses or the character and amenity of the surrounding area and demonstrate that it will help to meet proven qualitative and quantitative deficiencies. As mentioned above this proposal would create an over concentration of hot food takeaways therefore the area cannot be seen as deficient in such a use and consequently is contrary to Policy SG10.

One representation was received objecting to the proposed development on the grounds that there is already a saturated market which has been addressed above. This same representation also stated that no 89A Main Street had not been neighbour notified as part of the statutory process. The planning service did include this address on the neighbour notification list to be distributed by Royal Mail, unfortunately the delivery of such letters is outwith the control of the planning service.

The Roads service have not raised any objections however, if the proposal was considered to have been acceptable, it would have been conditional that the provision of bins associated with the development are not permanently located on the public footways.

The Environmental Health service raised no objections however, if the proposal was considered to have been acceptable, the ventilation and extraction system, disposal of waste and any potential signage with lighting would have been required to meet the approval of the environmental health service. Any such lighting would also be subject to a separate advertisement consent and opening hours could be secured by condition if necessary to reduce the likelihood of noise nuisance to nearby residents.

Taking the above into account it is considered that the proposal is contrary to Policies D1 and SG10 of the Adopted East Renfrewshire Local Development Plan 2. There are no material considerations that indicate the application should not be refused. It is therefore recommended that the application is refused.

RECOMMENDATION: Refuse

PLANNING OBLIGATIONS: None.

REASON(S):

- 1 The proposal is contrary to Policy D1 and Policy SG10 of the adopted East Renfrewshire Local Development Plan 2 as the proposed use would give rise to an over-provision and concentration of similar uses that would further erode the mix and diversity of retail and non-retail uses within the neighbourhood centre and would result in a detrimental impact on the overall character and amenity of the centre.

ADDITIONAL NOTES: None.

ADDED VALUE: None

BACKGROUND PAPERS:

Further information on background papers can be obtained from Ms Margaret McGleish on 0141 577 3861.

Ref. No.: 2021/0972/TP
(MAMC)

DATE: 7th June 2022

DIRECTOR OF ENVIRONMENT

Reference: 2021/0972/TP - Appendix 1

DEVELOPMENT PLAN:

Strategic Development Plan

This proposal raises no strategic issues in terms of the Glasgow and the Clyde Valley Strategic Development Plan and therefore the East Renfrewshire Local Plan is the relevant policy document

Adopted East Renfrewshire Local Development Plan 2

Policy D1

Placemaking and Design

Proposals for development within the urban and rural areas should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. Proposals will be assessed against the 6 qualities of a successful place as outlined in SPP, Designing Streets and the Placemaking and Design Supplementary Guidance.

1. The development should not result in a significant loss of character or amenity to the surrounding area;

2. The proposal should be appropriate to its location, be high quality and of a size, scale, height, massing and density and layout that is in keeping with the buildings in the locality or appropriate to the existing building and should respect local architecture, building form and design;
3. Respect existing building lines and heights of the locality;
4. Create a well-defined structure of streets, public spaces and buildings;
5. Ensure the use of high quality sustainable and durable materials, colours and finishes that complement existing development and buildings in the locality;
6. Respond to and complement site topography and not impact adversely upon the green belt and landscape character and setting, green networks, features of historic interest, landmarks, vistas, skylines and key gateways. Existing buildings and natural features of suitable quality, should be retained and sensitively integrated into proposals including greenspace, trees and hedgerows;
7. Boundary treatment and landscaping should create a distinctive edge and gateway to the development and reflect local character;
8. Promote permeable and legible places through a clear sustainable movement hierarchy favouring walking, then cycling, public transport, then the private car as forms of movement;
9. Demonstrate connectivity through the site and to surrounding spaces via a network of safe, direct, attractive and coherent walking and cycling routes. These must be suitable for all age groups, and levels of agility and mobility to allow for ease of movement from place to place;
10. Demonstrate that safe and functional pedestrian, cycle and vehicular access, and parking facilities and infrastructure, including for disabled and visitor parking, is provided in accordance with the Council's Roads Development Guide. Where appropriate, proposals will be required to provide secure and accessible shelters, lockers, showers and seating and be designed to meet the needs of all users. Cycle parking and facilities should be located in close proximity to the entrances of all buildings to provide convenience and choice for users;
11. Incorporate integrated and enhance existing green infrastructure assets, such as landscaping, trees and greenspace, water management and SUDs including access and prioritise links to the wider green network as an integral part of the design process from the outset, in accordance with Policies D4 - D6. New green infrastructure must be designed to protect and enhance the habitat and biodiversity of the area and demonstrate a net gain;
12. Unless justified, there will be a general presumption against landraising. Where there is a justifiable reason for landraising, proposals must have regard to the scale and visual impact of the resultant changes to the local landscape and amenity. Proposals that adversely impact upon the visual and physical connections through the site and to the surrounding areas will be resisted;
13. Backland development should be avoided;
14. Provide safe, secure and welcoming places with buildings and spaces, including open spaces, play areas and landscaping, designed and positioned to reduce the scope for anti-social behaviour and fear of crime, improve natural surveillance, passive overlooking, security and street activity;
15. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by unreasonably restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design

Guide Supplementary Guidance;

16. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the proposal;
17. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by noise, dust, pollution and smell or poor air quality;
18. Ensure buildings and spaces are future proof designed to be easily adaptable and flexible to respond to changing social, environmental, technological, digital and economic conditions;
19. Incorporate provision for the recycling, storage, collection and composting of waste materials; and
20. Incorporate the use of sustainable design and construction methods and materials in the layout and design to support a low carbon economy.

Proposals must meet the requirements of any development brief prepared by the Council for an allocated site.

Further detailed guidance and information will be set out in the Placemaking and Design Supplementary Guidance, Householder Design Supplementary Guidance and the Daylight and Sunlight Design Supplementary Guidance.

Policy SG10

Town and Neighbourhood Centre Uses

1. The network of town and neighbourhood centres, shown on the Proposals Map and listed in Schedule 19 are the preferred locations for significant footfall generating uses, including retail, leisure, entertainment, office, residential and community and cultural facilities.
2. A sequential 'town centre first' approach will be applied to proposals that would attract significant footfall. Proposals will be assessed against the following criteria:
 - a. Demonstrate a sequential approach has been undertaken to site selection in the following order of preference, as set out in SPP, and why more sequentially preferable options have been discounted as unsuitable or unavailable:
 - i. Town centres (including neighbourhood centres);
 - ii. Edge of town centre;
 - iii. Commercial centres;
 - iv. Out of centre locations that are, or can be, made easily accessible by a choice of transport modes.
 - b. Demonstrate that the proposal is of an appropriate scale and does not significantly impact upon the role and function of the centre, adjacent uses or the character and amenity of the surrounding area;
 - c. Demonstrate that the proposal will help to meet proven qualitative and quantitative deficiencies;
 - d. Demonstrate that there will be no significant adverse effect on the vitality and viability of existing town centres; and
 - e. Demonstrate that the proposal is accessible by a choice of sustainable transport modes.
3. Proposals over 2,500m² (gross) floorspace out-with a town centre will require a retail impact assessment to be carried out. This should include a quantitative assessment of

retail impact and capacity, and the qualitative impacts of the proposal. The cumulative effect of recently implemented or consented retail developments in nearby locations should also be taken into account.

4. Residential developments on the upper floors of existing buildings within the town and neighbourhood will be supported subject to compliance with other relevant policies of the LDP.
5. Proposals for changes of use at street level away from Class 1 retail use within the town and neighbourhood centres will be required to:
 - a. Demonstrate that there is no current or likely future demand for Class 1 retail use. Proposals will be required to demonstrate that the unit has been actively marketed for solely Class 1 retail use for a minimum of 6 months; and
 - b. Should not have an adverse impact on the mix and diversity of uses in the centre.
6. Proposals for hot food takeaways within the town and neighbourhood centres will be required to meet the following criteria:
 - a. Meet the requirements of criteria 5 where the proposal is for change of use away from Class 1 retail;
 - b. Avoid the concentration, including cumulatively, with other existing hot food takeaways in the area; and
 - c. Not result in a detrimental impact on the overall character and amenity of the centre, including the amenity of residential properties situated adjacent to or above existing premises, by virtue of noise, disturbance or odour.
7. There will be a strong presumption against hot food takeaways out-with the town and neighbourhood centres. Proposals out-with the town and neighbourhood centres should not result in a detrimental impact on the overall character and amenity of the area and will be assessed against the criteria of Policy D1.

Policy SG11

Town and Neighbourhood Centre Proposals

The Council will support the implementation of proposals at the locations listed in Schedule 20 and shown on the Proposals Map.

GOVERNMENT GUIDANCE: None.

Finalised 07/06/2022.AC

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**DECISION NOTICE
AND
REASONS FOR REFUSAL**

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**TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
(AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(SCOTLAND) REGULATIONS 2013**

REFUSAL OF PLANNING PERMISSION

Ref. No. **2021/0972/TP**

Applicant:

Robinbrook Ltd
Robinbrook Ltd
Larkhill Abridge Road
Theydon Bois Epping
Essex
UK
CM16 7NN

Agent:

AYESHA MUNIR
31 Byres Road
Glasgow
UNITED KINGDOM
G11 5RD

With reference to your application which was registered on 17th January 2022 for planning permission under the abovementioned Act and Regulations for the following development, viz:-

Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear and formation of new shop front.

at: Lloyds TSB 83 Main Street Thornliebank East Renfrewshire G46 7RY

the Council in exercise of their powers under the abovementioned Act and Regulations hereby refuse planning permission for the said development.

The reason(s) for the Council's decision are:-

1. The proposal is contrary to Policy D1 and Policy SG10 of the adopted East Renfrewshire Local Development Plan 2 as the proposed use would give rise to an over-provision and concentration of similar uses that would further erode the mix and diversity of retail and non-retail uses within the neighbourhood centre and would result in a detrimental impact on the overall character and amenity of the centre.

Dated 7th June 2022



Director of Environment
East Renfrewshire Council
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG
Tel. No. 0141 577 3001

The following drawings/plans have been refused

Plan Description	Drawing Number	Drawing Version	Date on Plan
Location Plan	005	A	
Plans and Elevations Proposed	002	A	

GUIDANCE NOTE FOR REFUSAL OF LOCAL DEVELOPMENTS DETERMINED UNDER DELEGATED POWERS

REVIEW BY EAST RENFREWSHIRE COUNCIL'S LOCAL REVIEW BODY

1. If the applicant is aggrieved by a decision to refuse permission (or by an approval subject to conditions), the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. A Notice of Review can be submitted online at www.eplanning.scotland.gov.uk. Please note that beyond the content of the appeal or review forms, **you cannot normally raise new matters** in support of an appeal or review, unless you can demonstrate that the matter could not have been raised before, or that its not being raised before is a consequence of exceptional circumstances. Following submission of the notice, you will receive an acknowledgement letter informing you of the date of the Local Review Body meeting or whether further information is required.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

CONTACT DETAILS

**East Renfrewshire Council
Development Management Service
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG**

**General Inquiry lines 0141 577 3001
Email planning@eastrenfrewshire.gov.uk**

**NOTICE OF REVIEW
AND
SUPPORTING STATEMENT**

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100513868-003

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	HARDIES PROPERTY & CONSTRUCTION CONSULTANTS		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	AYESHA	Building Name:	<input type="text"/>
Last Name: *	MUNIR	Building Number:	31
Telephone Number: *	0141 3312807	Address 1 (Street): *	Byres Road
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	Glasgow
Fax Number:	<input type="text"/>	Country: *	UNITED KINGDOM
		Postcode: *	G11 5RD
Email Address: *	ayesha.munir@hardies.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text" value="Robinbrook Ltd"/>
First Name: *	<input type="text"/>	Building Number:	<input type="text"/>
Last Name: *	<input type="text"/>	Address 1 (Street): *	<input type="text" value="Larkhill Abridge Road"/>
Company/Organisation	<input type="text" value="Robinbrook Ltd"/>	Address 2:	<input type="text" value="Theydon Bois Epping"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Essex"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="UK"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="CM16 7NN"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="REDACTED"/>		

Site Address Details

Planning Authority:	<input type="text" value="East Renfrewshire Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="83-85 MAIN STREET"/>
Address 2:	<input type="text" value="THORNIEBANK"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="GLASGOW"/>
Post Code:	<input type="text" value="G46 7RY"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="659584"/>	Easting	<input type="text" value="254932"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Proposed Change of Use from Class 1 to Class 3 Hot Food (Sui Generis), including erection of flue to rear, reinstatement of the existing unit into two separate units and formation of new shop front. at: Lloyds TSB 83 Main Street Thornliebank East Renfrewshire G46 7RY

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Please refer to attached supporting statement and proof of enquiries.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

The marketing agency has recently received enquiries for the unit and they are all related to hot food takeaway use. Proof of enquiries has been attached.

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Supporting statement Proof enquiries for hot food takeaway use.

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

2021/0972/TP

What date was the application submitted to the planning authority? *

09/12/2021

What date was the decision issued by the planning authority? *

09/06/2022

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mrs AYESHA MUNIR

Declaration Date: 21/07/2022

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East Renfrewshire Council
2 Spiersbridge Way
Thornliebank
Glasgow
G46 8NG

21st July 2022

Dear Sir/Madam,

Ref No: 2021/0972/TP
Location: Lloyds TSB 83 Main Street Thornliebank East Renfrewshire G46 7RY
Proposal: Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear and formation of new shop front.

East Renfrewshire Council Environmental Health Service and East Renfrewshire Council Roads Service departments have not raised any objections.

We refer to reason number 1 of the refusal letter – over provision and concentration of hot food takeaways.

J&E Shepherd our marketing agency have been actively marketing 83 Main Street Thornliebank for over 6 months. The units have been marketed as available either in whole or in part. Since the beginning of the marketing, the proposed use of all enquiries has been that for the use as a Hot Food Takeaway (Sui Generis) details of the enquiries are attached as proof to this submission.

Since the beginning of J&E Shepherds instruction to market this unit, we have had no enquiries for continued use as a Class 2 premises. The refusal of our application for change of use is therefore actively contributing to the vacancy of this premises and the deterioration of this neighbourhood parade.

Whilst we appreciate and accept that there are other hot food takeaway (sui generis) operators within the parade, we would like to point out that both Greggs and Subway operate under a Class 1 use, therefore we would argue that our application for change of use does not contribute to a concentration of hot food takeaways within the parade.

We also believe it is not the over concentration of hot food takeaways that have eroded the mix and diversity of retail and non-retail uses within the neighbourhood centre. The main cause that has diminished the mix and diversity of retail shops is that of online shopping that has taken over from the high streets and caused the high street to erode.



We would wish for our application to be reviewed once more on the basis of the above and for consideration to be given to our application for change of use.

Yours Faithfully
Ayesha Munir BSc MSc
Architectural Technician
For and on behalf of
HARDIES LLP

31 Byres Road, Glasgow, G11 5RD T: 0141 331 2807 E: glasgow@hardies.co.uk
www.hardies.co.uk



△ Aberdeen △ Dumfries △ Dundee △ Dunfermline △ Edinburgh
△ Glasgow △ Inverness △ Perth △ St Andrews △ Stirling

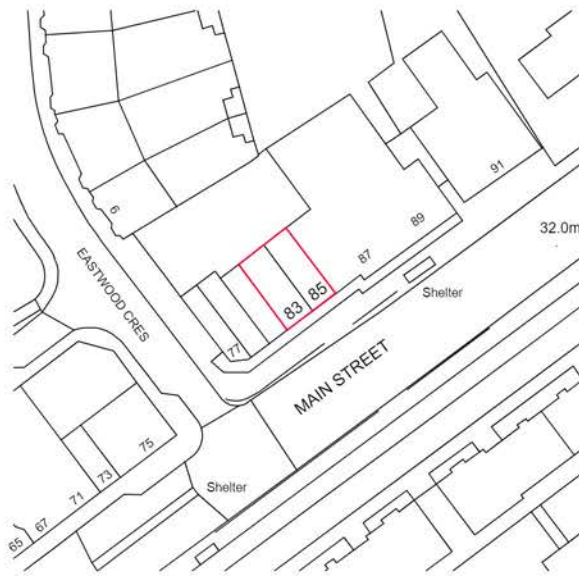
Notes

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SITE BOUNDARY



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LOCATION PLAN - 1:1250



Scale 1:1250

31
Byres Road
Glasgow
G11 5RD



Tel: 0141 331 2807
email: glasgow@hardies.co.uk
web: hardies.co.uk

Offices at: Aberdeen, Inverness, Dumfries,
Dundee, Dunfermline, Edinburgh, Glasgow,
Stirling, Perth, St. Andrews

client _____

Robinbrook Ltd

project title _____

*Change of Use - Planning
83 Main Street, Thornliebank
Glasgow*

drawing title _____

Location Plan

job no. _____ drawing no. _____ revision _____

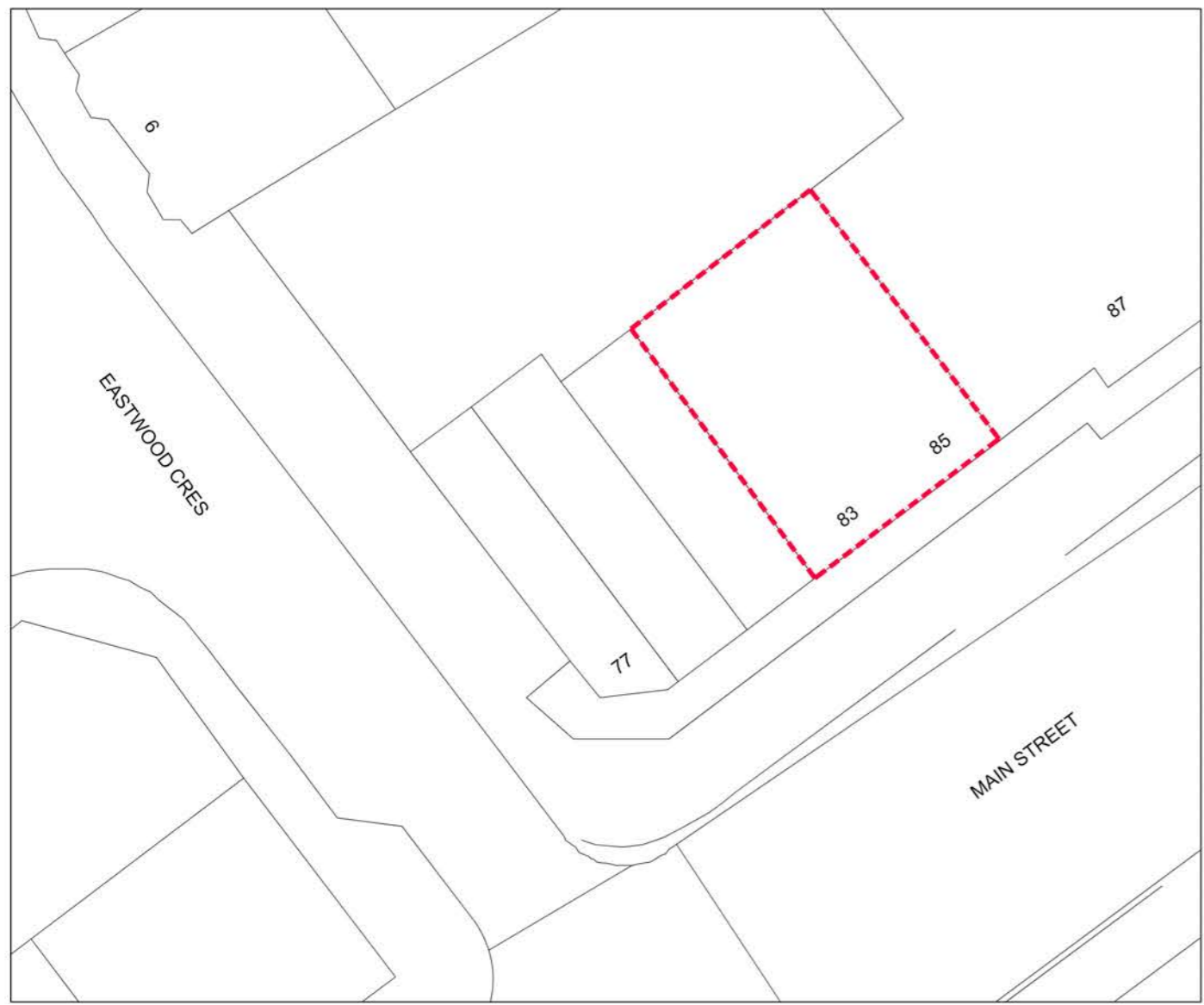
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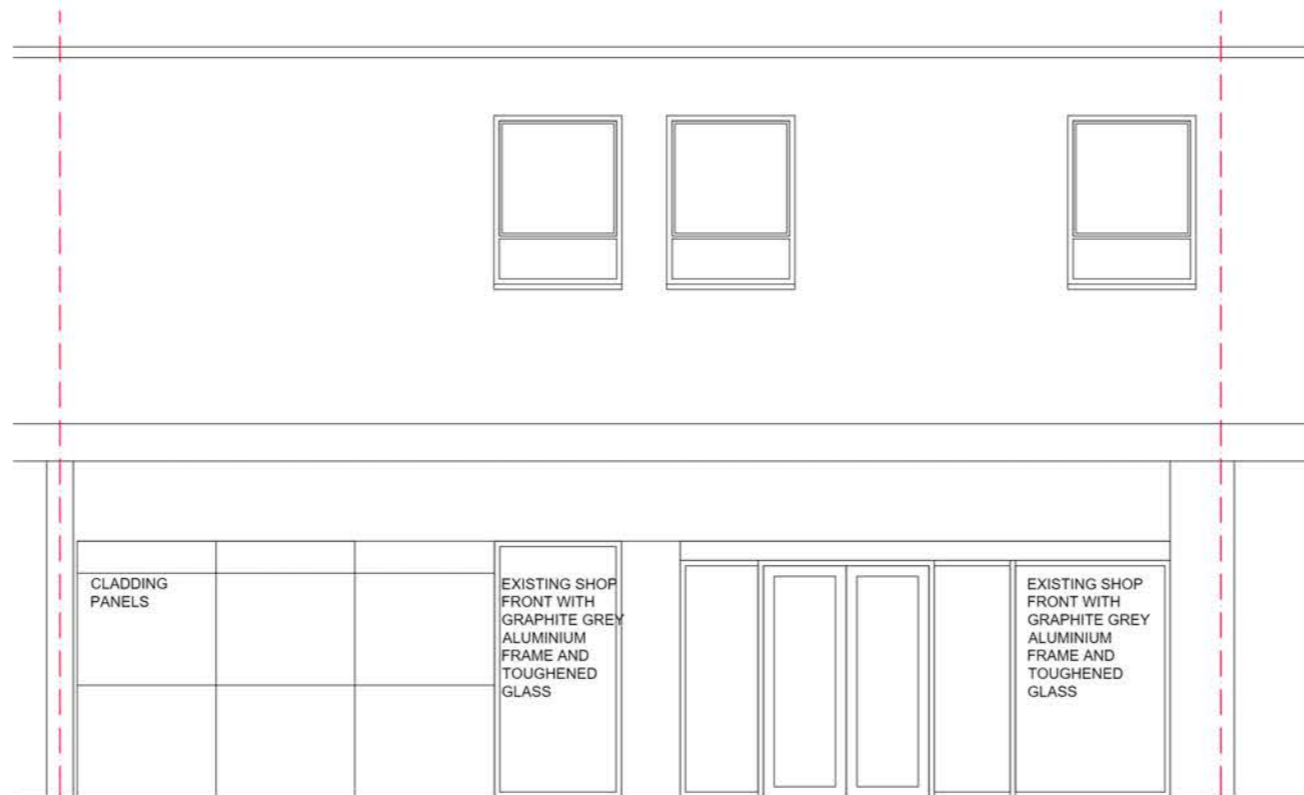
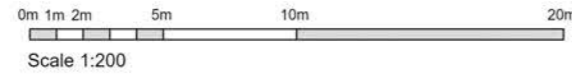
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drawn _____ checked _____

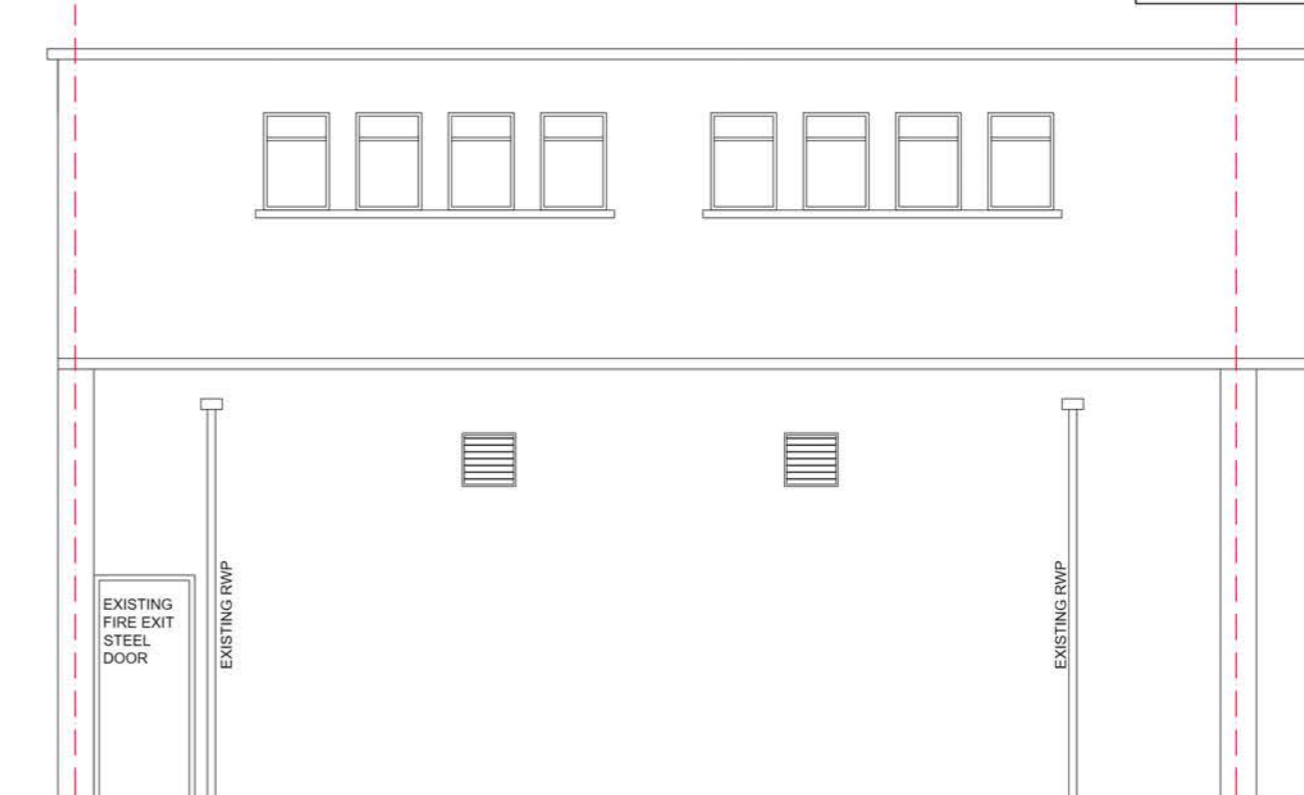
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SITE PLAN
SCALE 1:200



EXISTING FRONT ELEVATION
SCALE 1:50

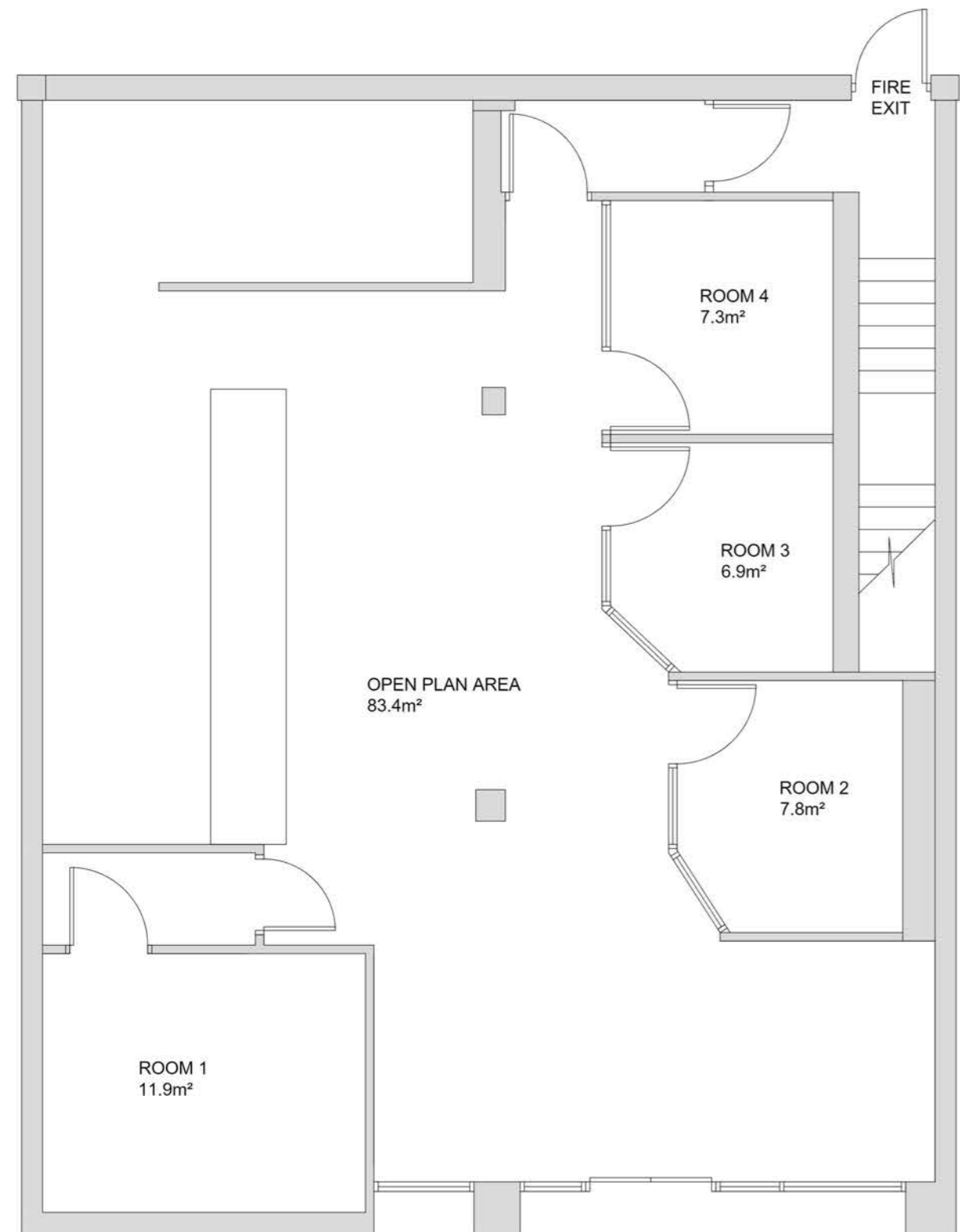


EXISTING REAR ELEVATION
SCALE 1:50

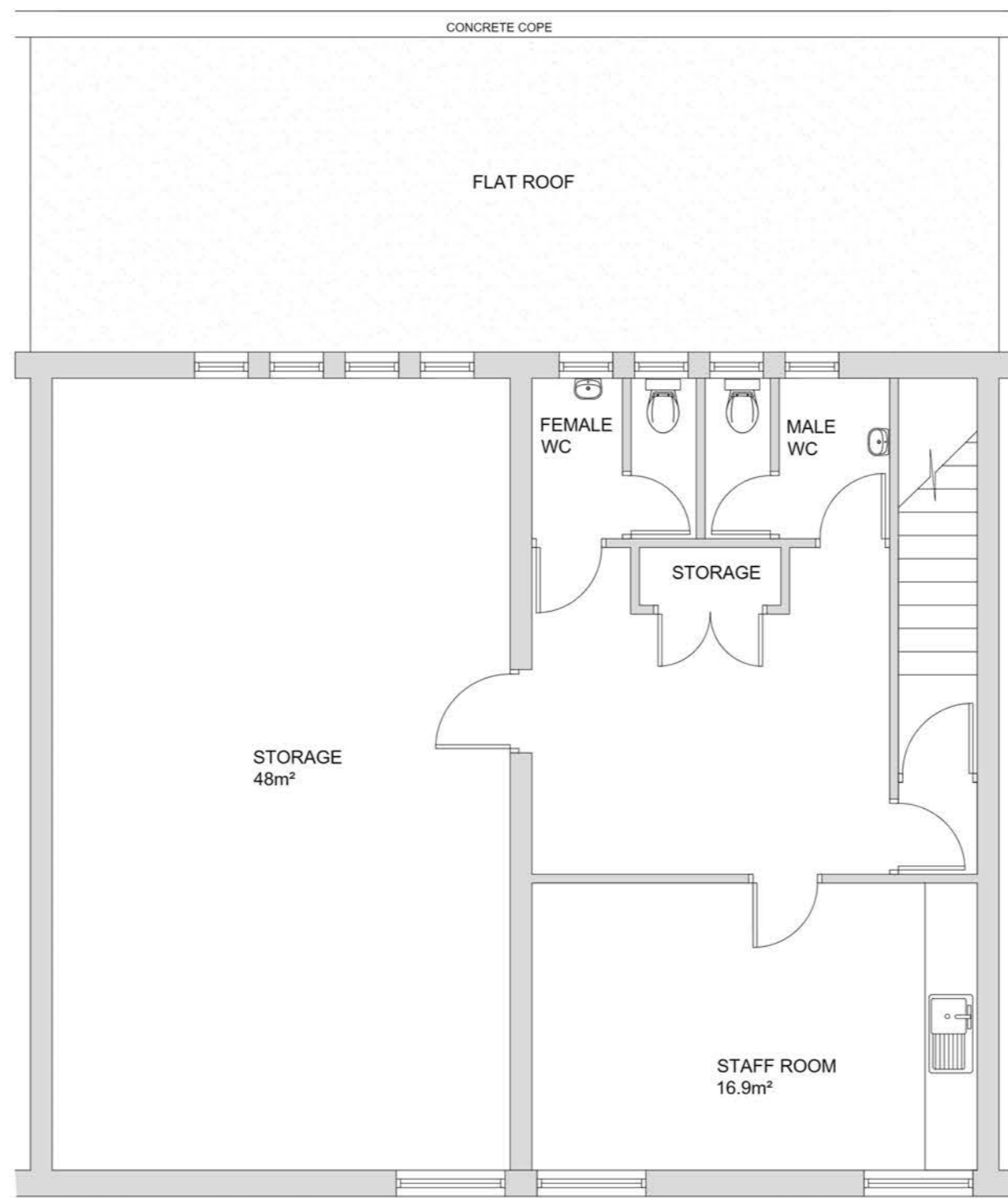
LEGENDS:
EXISTING WALLS ———
BOUNDARY LINE - - - - -



Notes:
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CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2015
The designs on this drawing are prepared with the consideration of the need to identify hazards and give regard to the hierarchy of risk control.
This drawing is to be read in conjunction with project specific standard hazard and risk assessment, where relevant
Works to be carried out in accordance with the Construction Phase Health & Safety plan prepared by the Principal Contractor



EXISTING GROUND FLOOR LAYOUT
SCALE 1:50



EXISTING FIRST FLOOR LAYOUT
SCALE 1:50



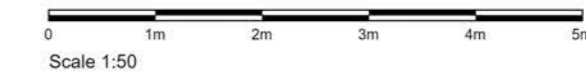
PHOTO OF FRONT ELEVATION



PHOTO OF FRONT ELEVATION



PHOTO OF REAR ELEVATION



<p>Hardies PROPERTY & CONSTRUCTION CONSULTANTS</p>	
<p>31 Byres Road Glasgow, G11 5PD</p>	
<p>client Robinbrook Ltd</p>	
<p>project Change of Use - Planning 83 Main Street, Thornliebank, Glasgow</p>	
<p>drawing title As Existing Layouts & Elevations</p>	
<p>PLANNING</p>	
<p>date scale drawn by checked by 06.12.21 1:50 @ A1 AM AM</p>	
<p>job no. drawing no. revision 21-1540 001 -</p>	

- LEGENDS:**
- EXISTING WALLS
 - NEW WALLS
 - BOUNDARY LINE



Notes:

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2. All dimensions to be checked on site prior to construction and manufacture, and any discrepancies to be reported to Hardies LLP prior to ordering of materials and prior to carrying out any construction work

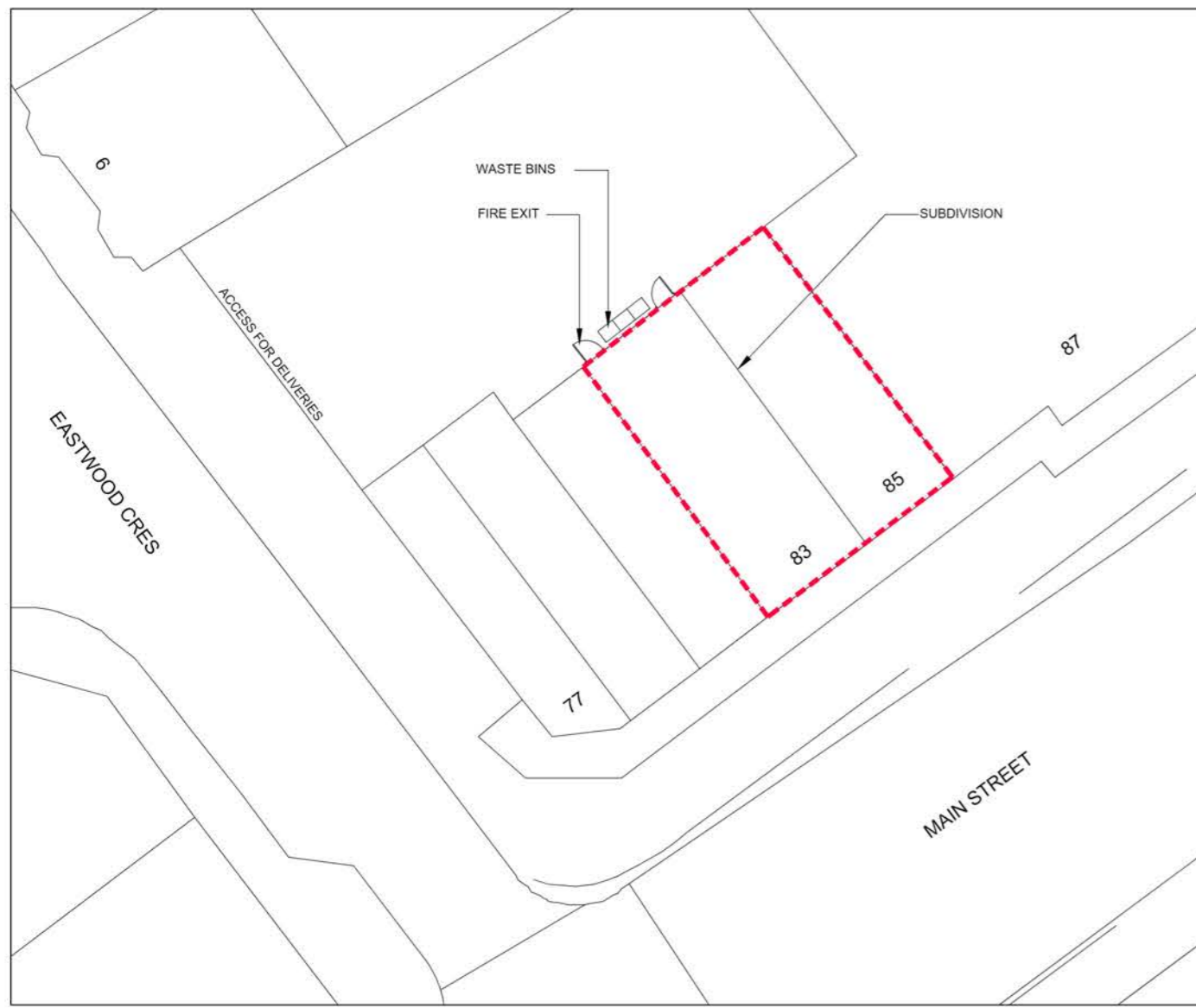
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CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2015

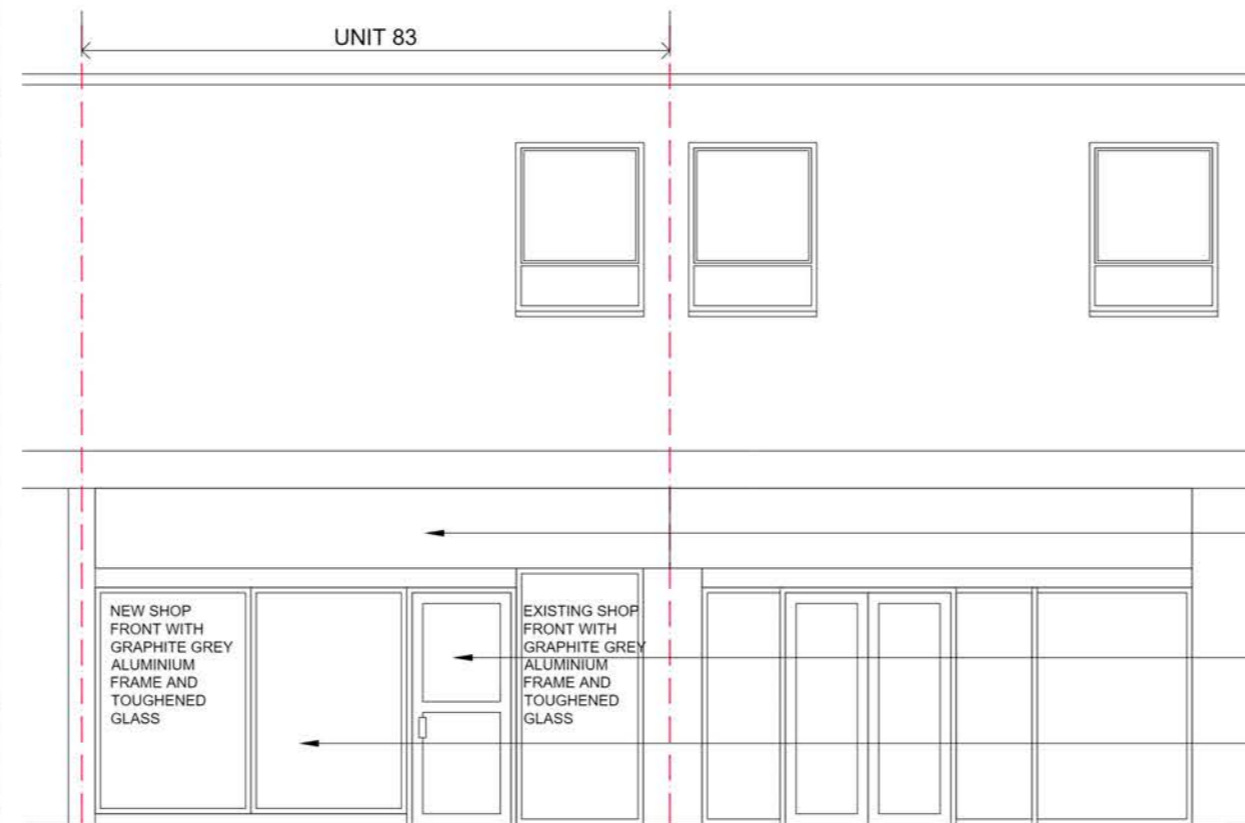
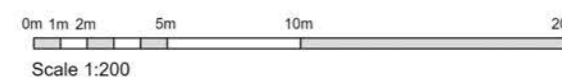
The designs on this drawing are prepared with the consideration of the need to identify hazards and give regard to the hierarchy of risk control.

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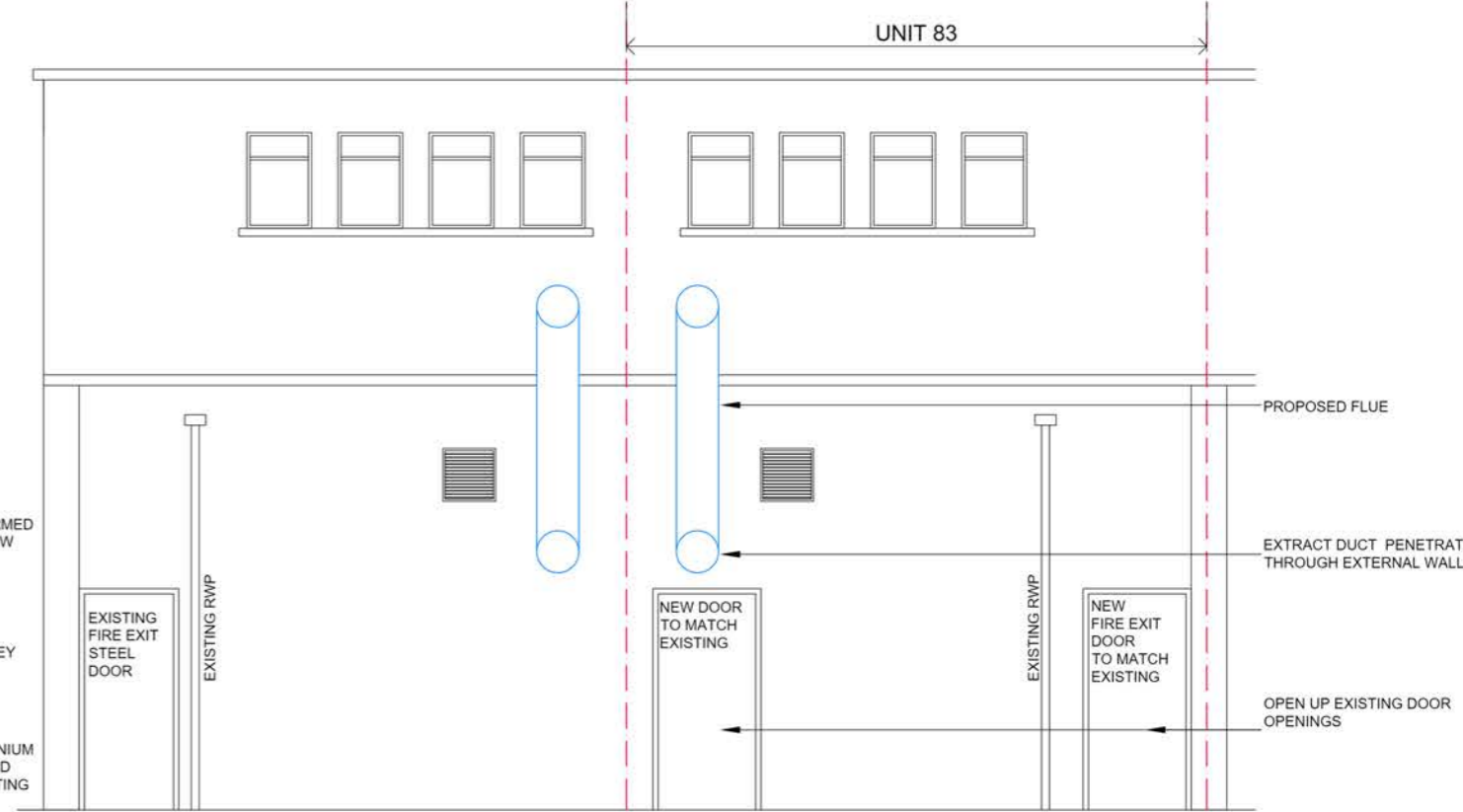
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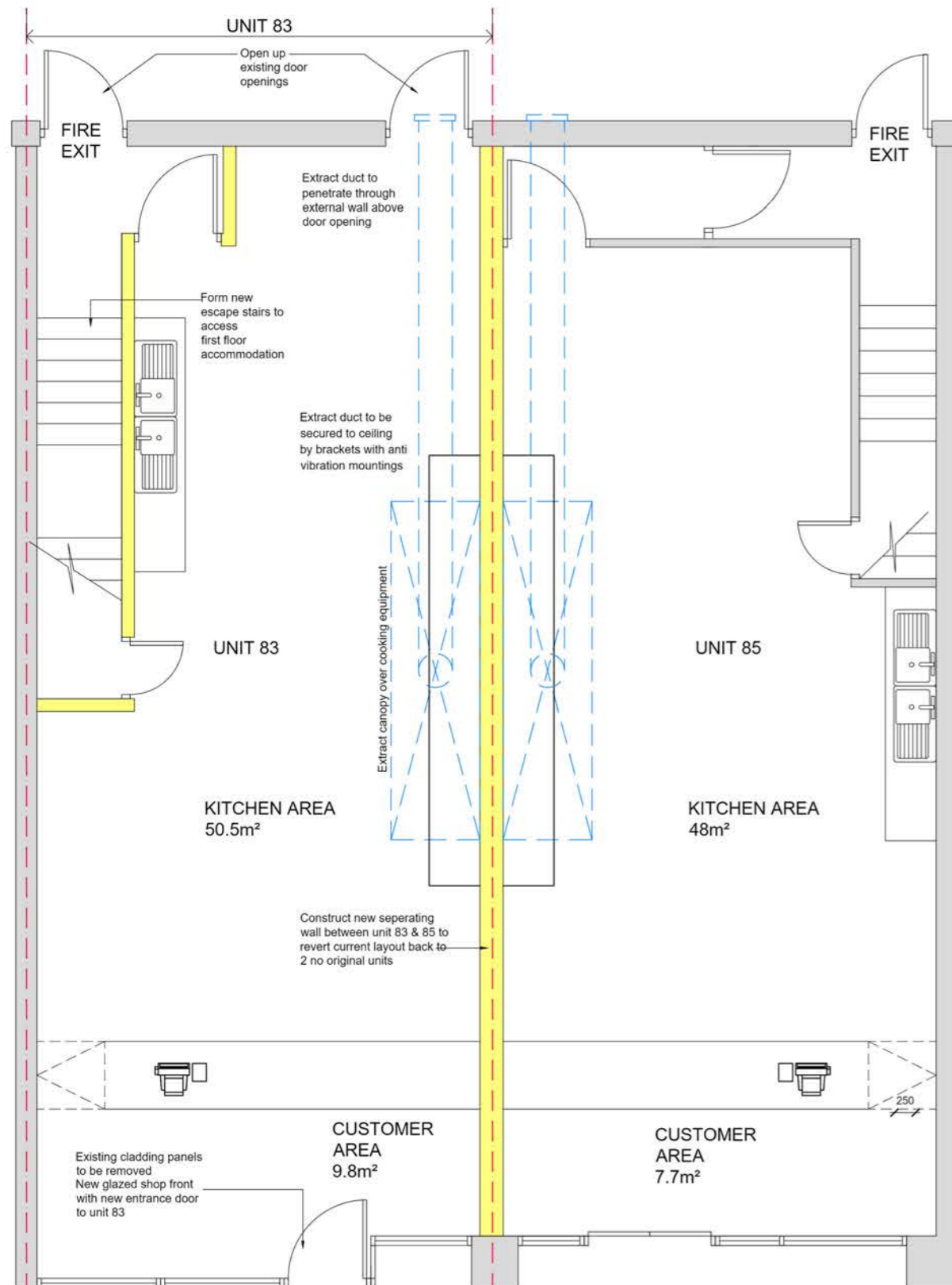
PROPOSED SITE PLAN
SCALE 1:200



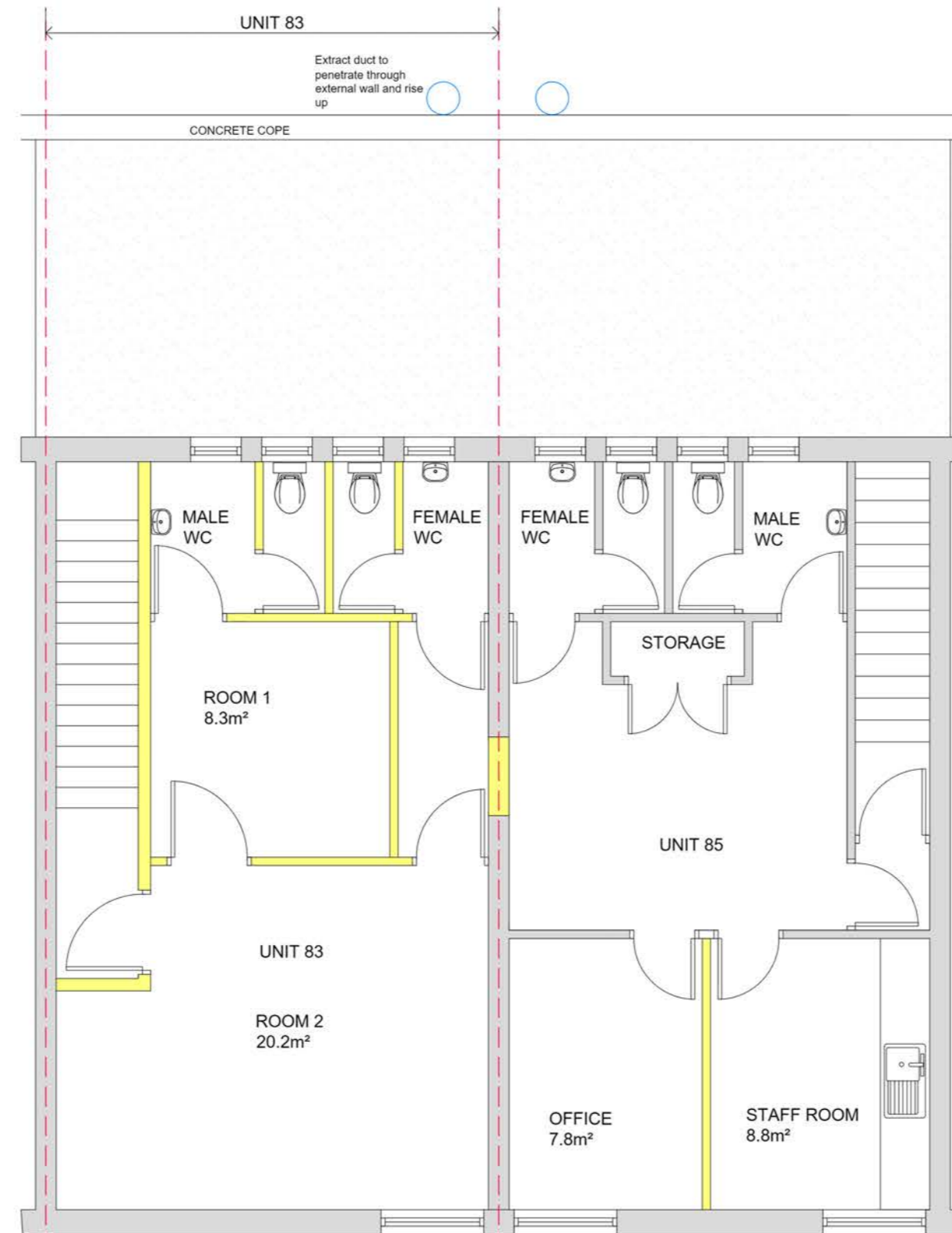
PROPOSED FRONT ELEVATION
SCALE 1:50



PROPOSED REAR ELEVATION
SCALE 1:50



PROPOSED GROUND FLOOR LAYOUT
SCALE 1:50



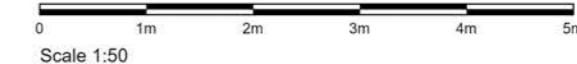
PROPOSED FIRST FLOOR LAYOUT
SCALE 1:50

Notes:
Operating Hours: Proposed operating hours to be from 14:00 pm - 11:00pm, exact hours to be confirmed by new potential tenant.

Type of Food: Proposed change of use to include hot food including fried food.

Internal Layout: Proposed internal layout is indicative only, exact layouts to be confirmed by future tenant.

Noise associated with development to not give rise to a noise level assessed with the windows open, within any building in excess of the equivalent to Noise Rating Curve (NRC) 25 between 7am and 11pm and NRC 25 at all other times.



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<p>31 Byres Road Glasgow, G11 5PD</p>	
<p>client Robinbrook Ltd</p>	
<p>project Change of Use - Planning 83 Main Street, Thornliebank, Glasgow</p>	
<p>drawing title Proposed Layouts & Elevations</p>	
<p>status PLANNING</p>	
date	scale
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drawn by	checked by
AM	AM
job no.	drawing no.
21-1540	002
revision	
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Proposed Ventilation Statement for 83 Main Street Thornliebank Glasgow.

Proposed Requirements and Features of the Ventilation System:

General: The Following Specification is recorded as being the min requirement to design the ventilation. The system will be designed in accordance by the M+E Contractor in the detailed stage of the building warrant.

Odour Control system

The odour assessment for the kitchen extract system has a predicted odour risk of 35 based on the DEFRA guide, which equates to a high level of odour control required. Therefore we would propose to install an odour control system, detailed as follows.

The system would comprise of a purpose made filter housing incorporating the following filter types: -

4no 592x592x350 CP4 Fire Rated Bag Filter

General Description

The CP4, fire rated range of bag filters are used widely in government buildings, hospitals and other sensitive areas. This grade of filter would capture 90% of the grease left within the system after the canopy baffle filters.

Meets NHS HTM03 Filter Specification, Filter Class EN779:2012 G4

4no 592x592x300 RP Compact Medium/Fine Ridgid HEPA Bag filters

General Description

The F9 grade ridgid bag filter are used within this system to capture the heavy particles of smoke from the cooking process and are 80% efficient.

4no-995x995x995 Discarb Activated Carbon Units

General Description

These filters are manufactured for ease of installation and incorporation into ducted air systems. They can be used on both supply for purifying incoming air, and can be used on the extract to remove toxic gasses and odours generated within a process.

Construction

These modules are manufactured by mounting a series on carbon panel filters within a sealed case. The airflow is epitomize by presenting the filtering surfaces in a "V" formation.

Each carbon panel is sealed into the filter case so as to ensure no air can bypass the carbon granules.

The panels are manufactured using long established bonding techniques which hold the activated carbon granules in a rigid biscuit. The biscuit is encapsulated in a carbon impregnated cloth which prevents any leakage of granules or powder.

The carbon filters would remove 90% of any residual odours.

The final exhaust position of the extract system terminal would be at high level and would exhaust through a louver grille.

Noise

General: The System Shall Not exceed the Noise Curve Rating of 25 At any given time.

Maintenance:

The System Is to be designed to provide the least Down time and ease of maintenance. The Tennant will Follow the Maintenance Requirement Imposed by the Manufacturer of a Proprietary System. Most Likely in the form of a rolling Maintenance contract.

PLANS/DRAWINGS

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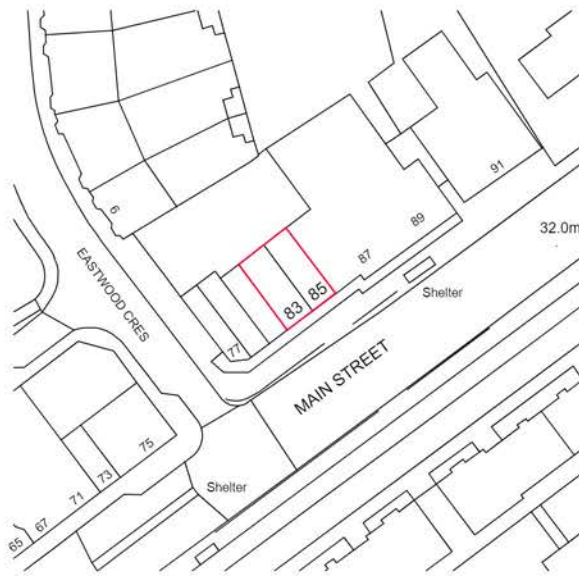
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LOCATION PLAN - 1:1250



Scale 1:1250

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Byres Road
Glasgow
G11 5RD



Tel: 0141 331 2807
email: glasgow@hardies.co.uk
web: hardies.co.uk

Offices at: Aberdeen, Inverness, Dumfries,
Dundee, Dunfermline, Edinburgh, Glasgow,
Stirling, Perth, St. Andrews

client _____

Robinbrook Ltd

project title _____

*Change of Use - Planning
83 Main Street, Thornliebank
Glasgow*

drawing title _____

Location Plan

job no. _____ drawing no. _____ revision _____

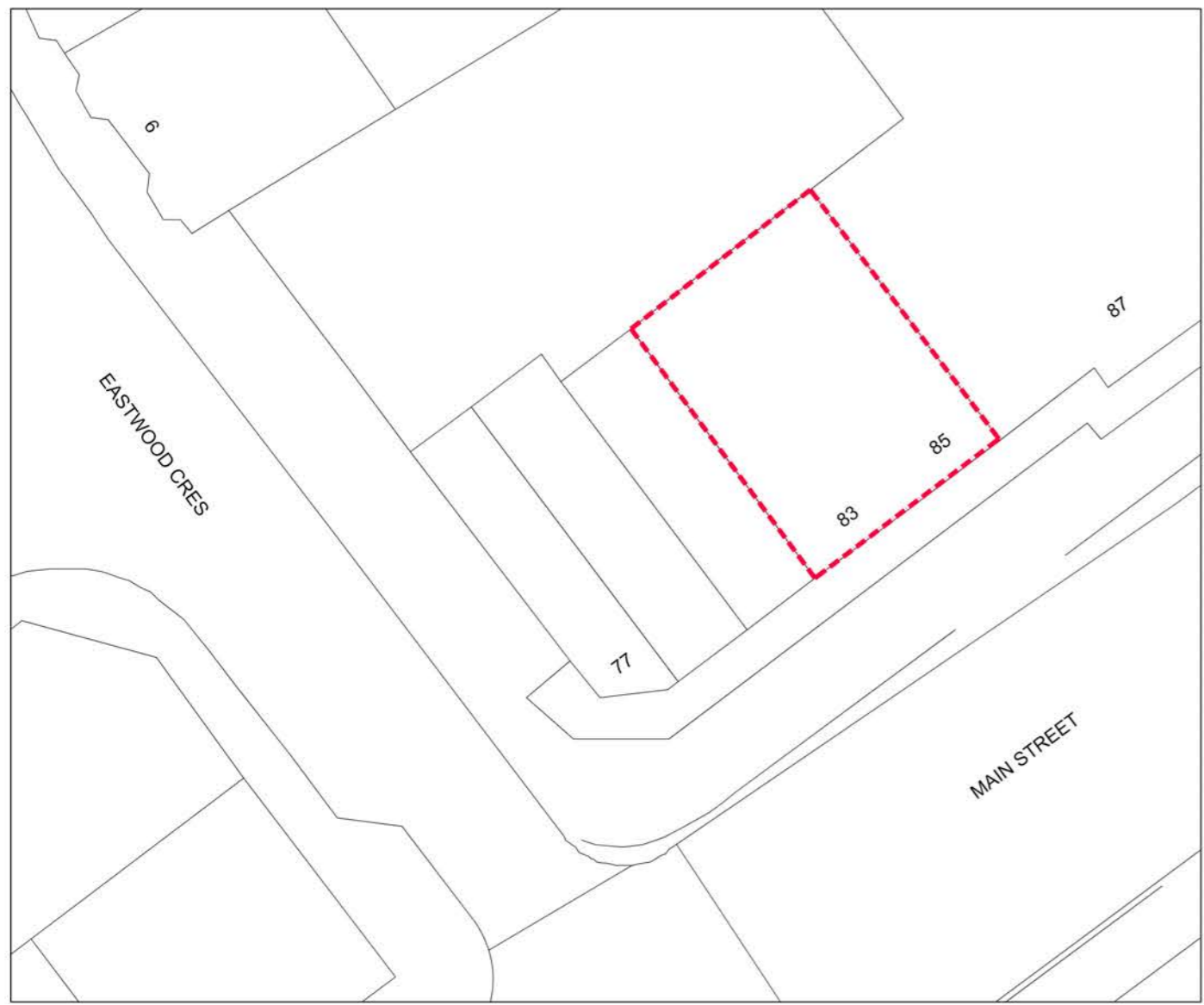
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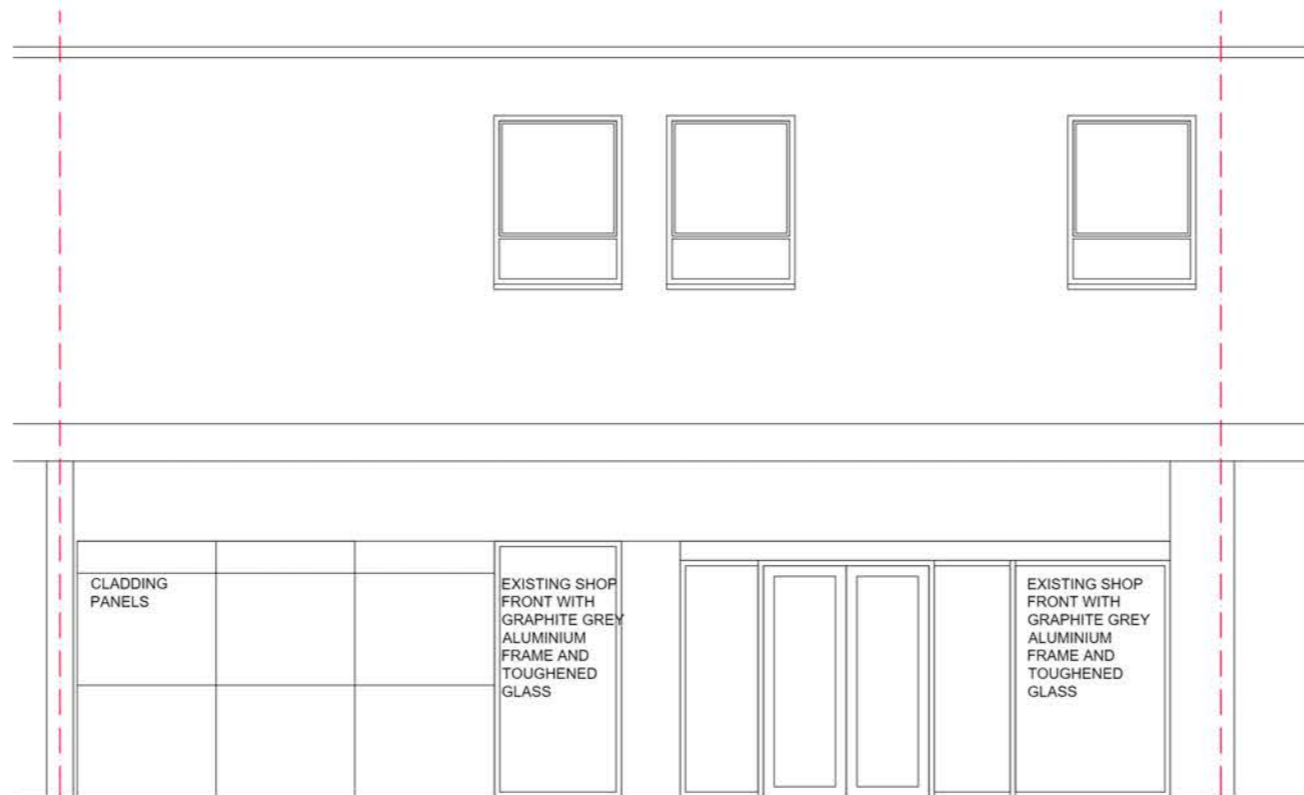
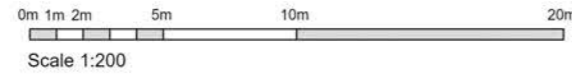
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drawn _____ checked _____

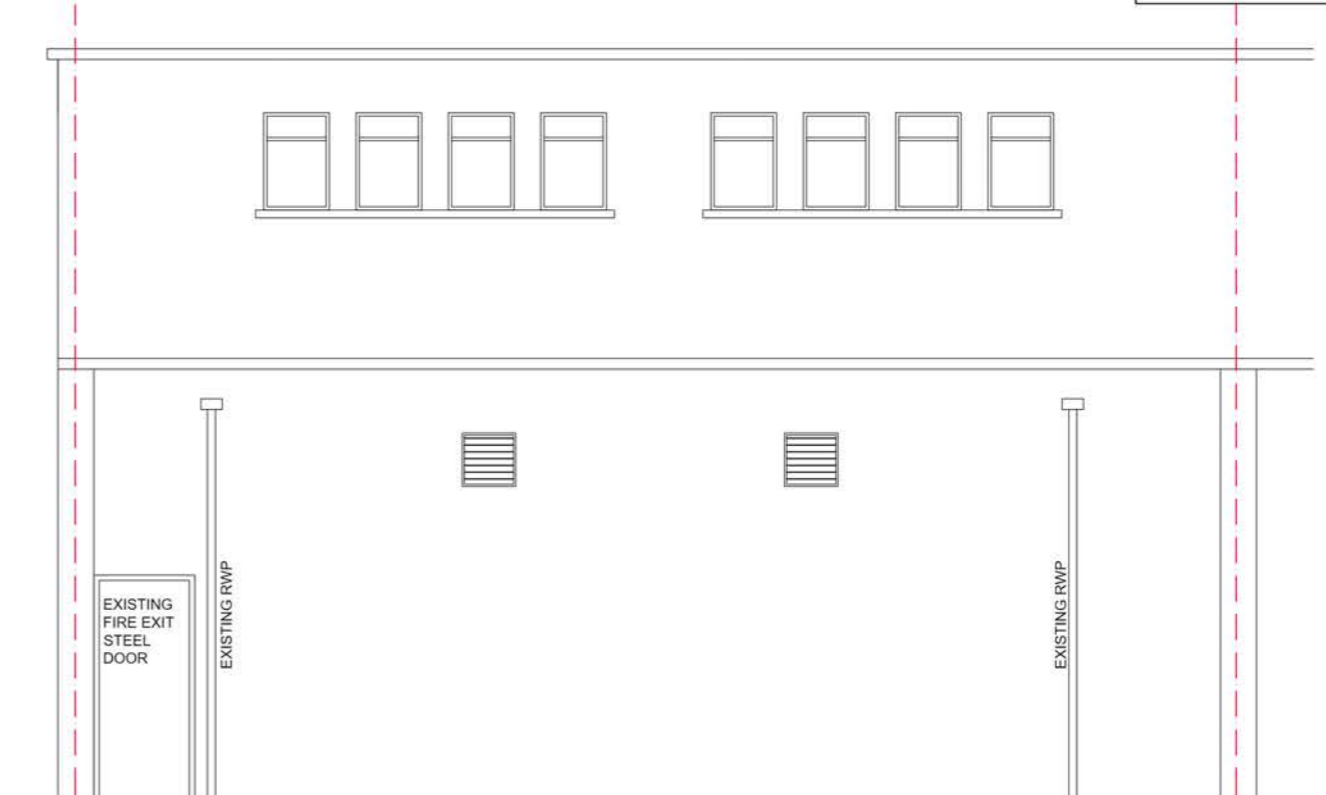
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SITE PLAN
SCALE 1:200



EXISTING FRONT ELEVATION
SCALE 1:50

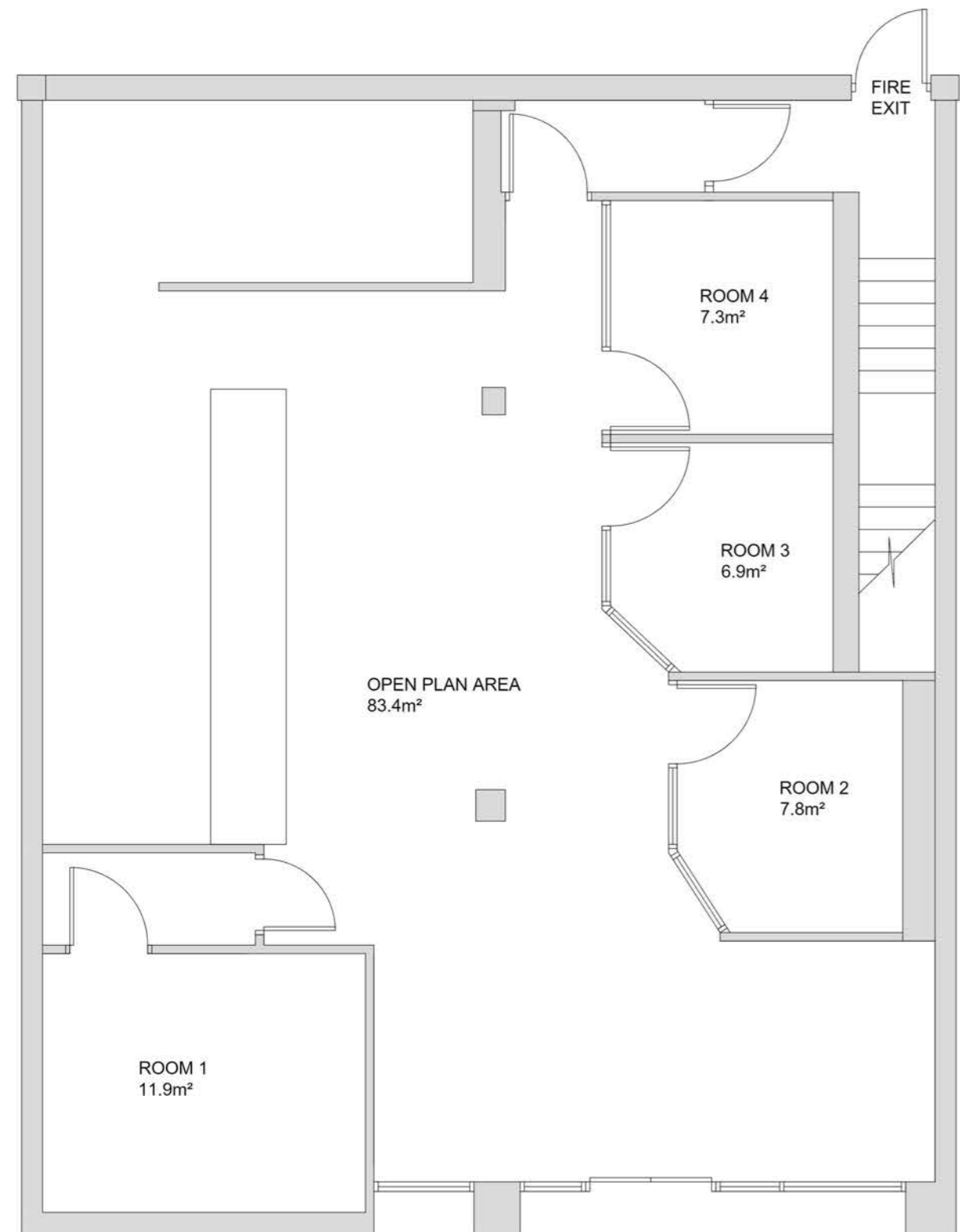


EXISTING REAR ELEVATION
SCALE 1:50

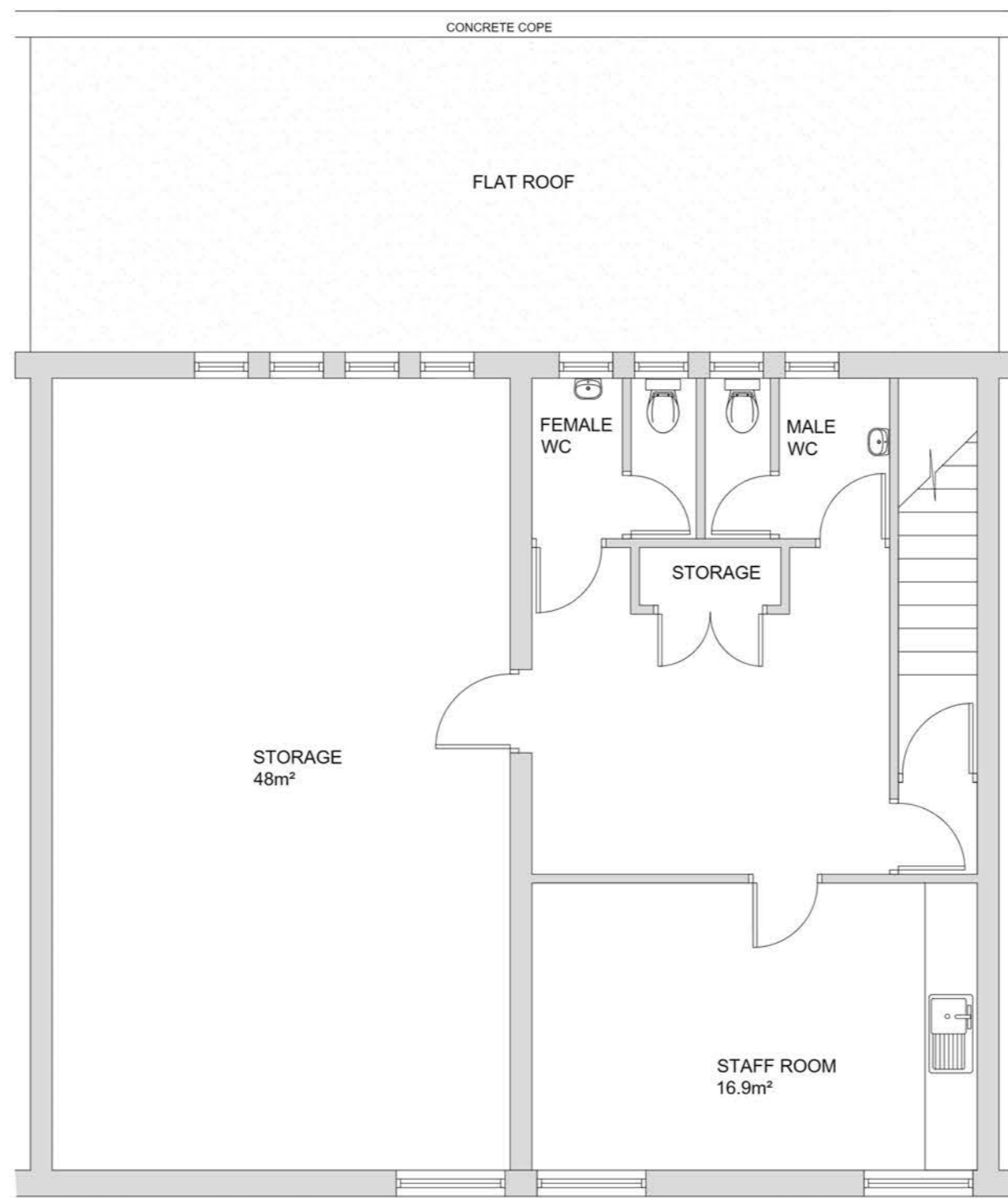
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EXISTING WALLS ———
BOUNDARY LINE - - - - -



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Works to be carried out in accordance with the Construction Phase Health & Safety plan prepared by the Principal Contractor.



EXISTING GROUND FLOOR LAYOUT
SCALE 1:50



EXISTING FIRST FLOOR LAYOUT
SCALE 1:50



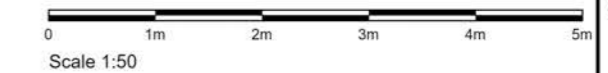
PHOTO OF FRONT ELEVATION



PHOTO OF FRONT ELEVATION



PHOTO OF REAR ELEVATION



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<small>31 Byres Road Glasgow, G11 5PD</small>	
<small>tel: 0141 221 2227 email: info@hardies.co.uk web: www.hardies.co.uk branches: Glasgow, Dundee, Aberdeen, Edinburgh, Perth, Inverness, Dundee, Stirling, Perth, St. Andrews</small>	
client	Robinbrook Ltd
project	Change of Use - Planning 83 Main Street, Thornliebank, Glasgow
drawing title	As Existing Layouts & Elevations
status	PLANNING
date	06.12.21
scale	1:50 @ A1
drawn by	AM
checked by	AM
job no.	21-1540
drawing no.	001
revision	-

- LEGENDS:**
- EXISTING WALLS
 - NEW WALLS
 - BOUNDARY LINE



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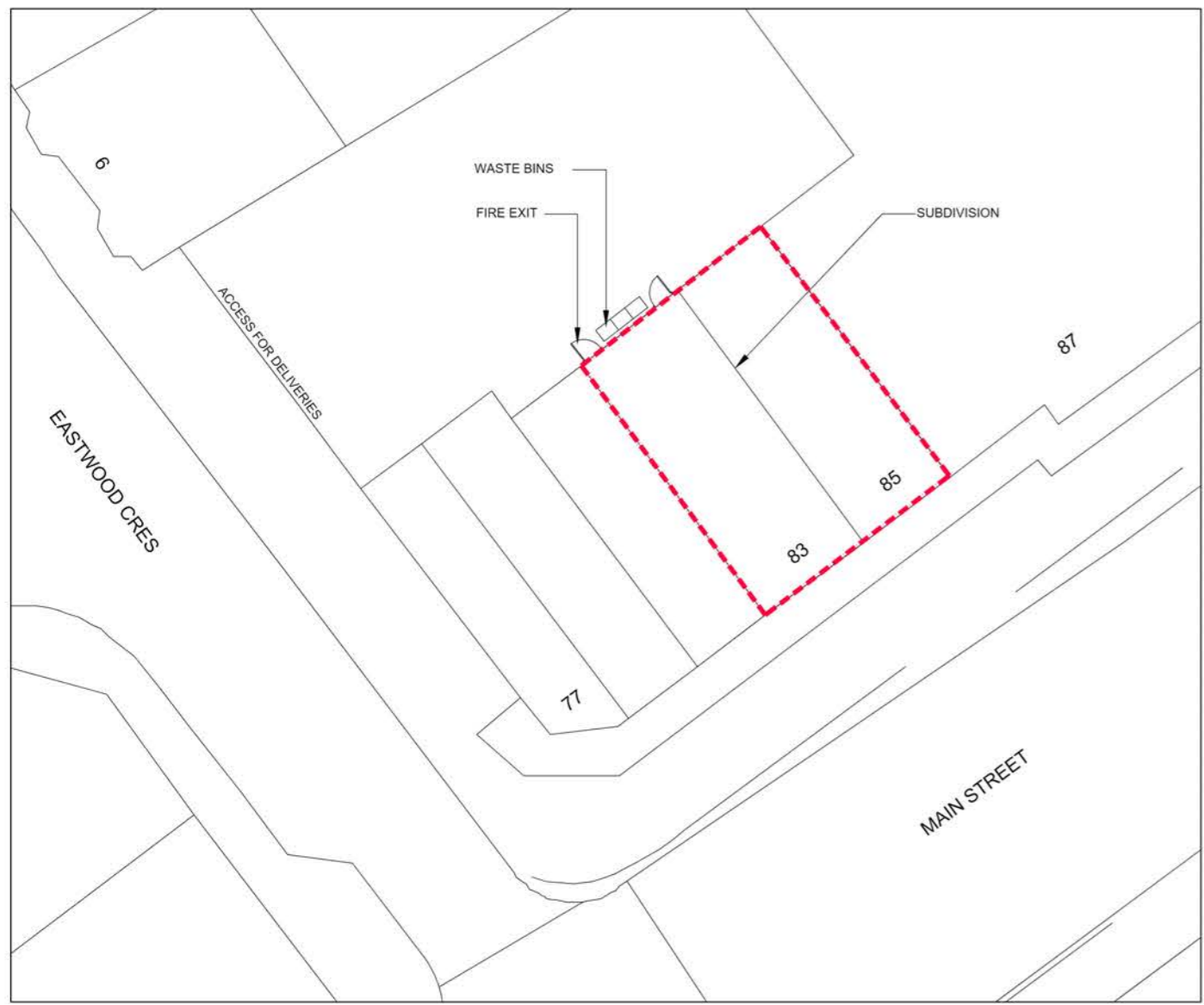
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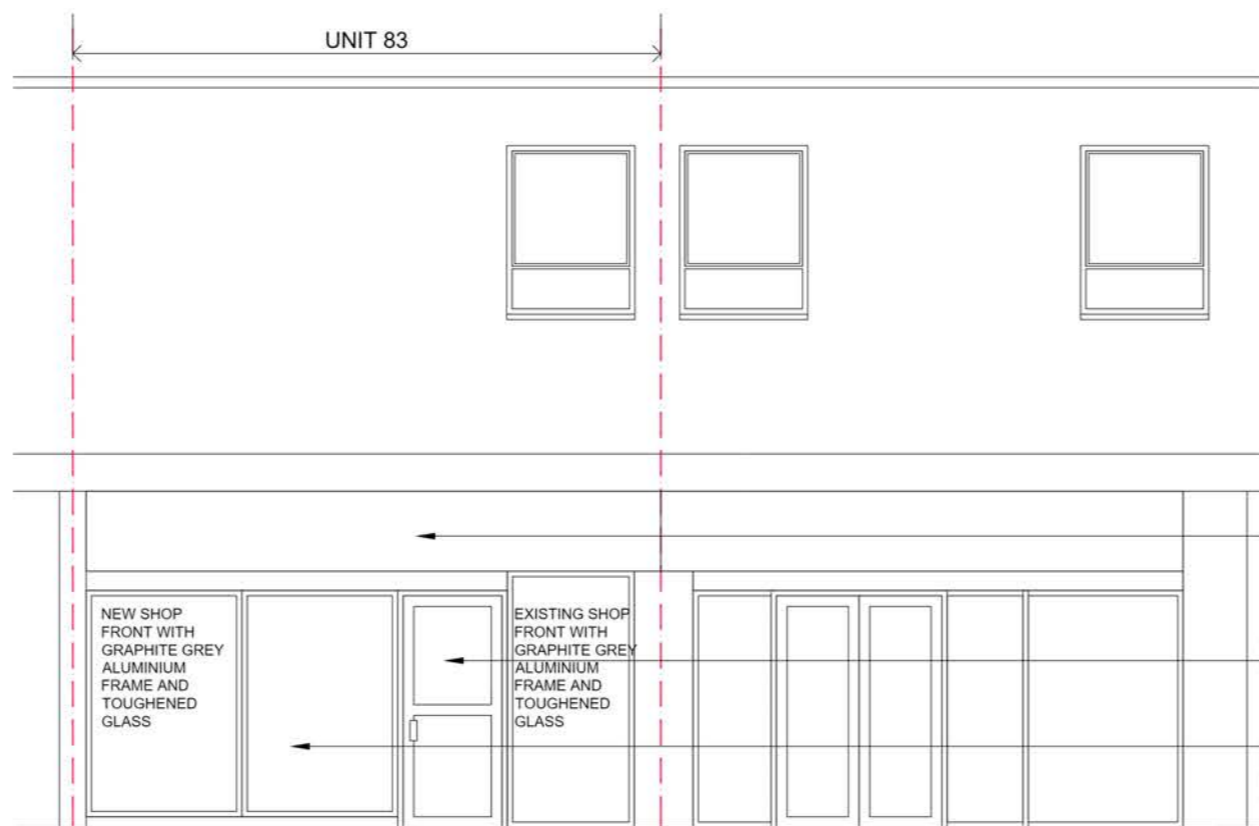
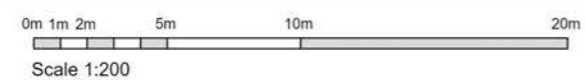
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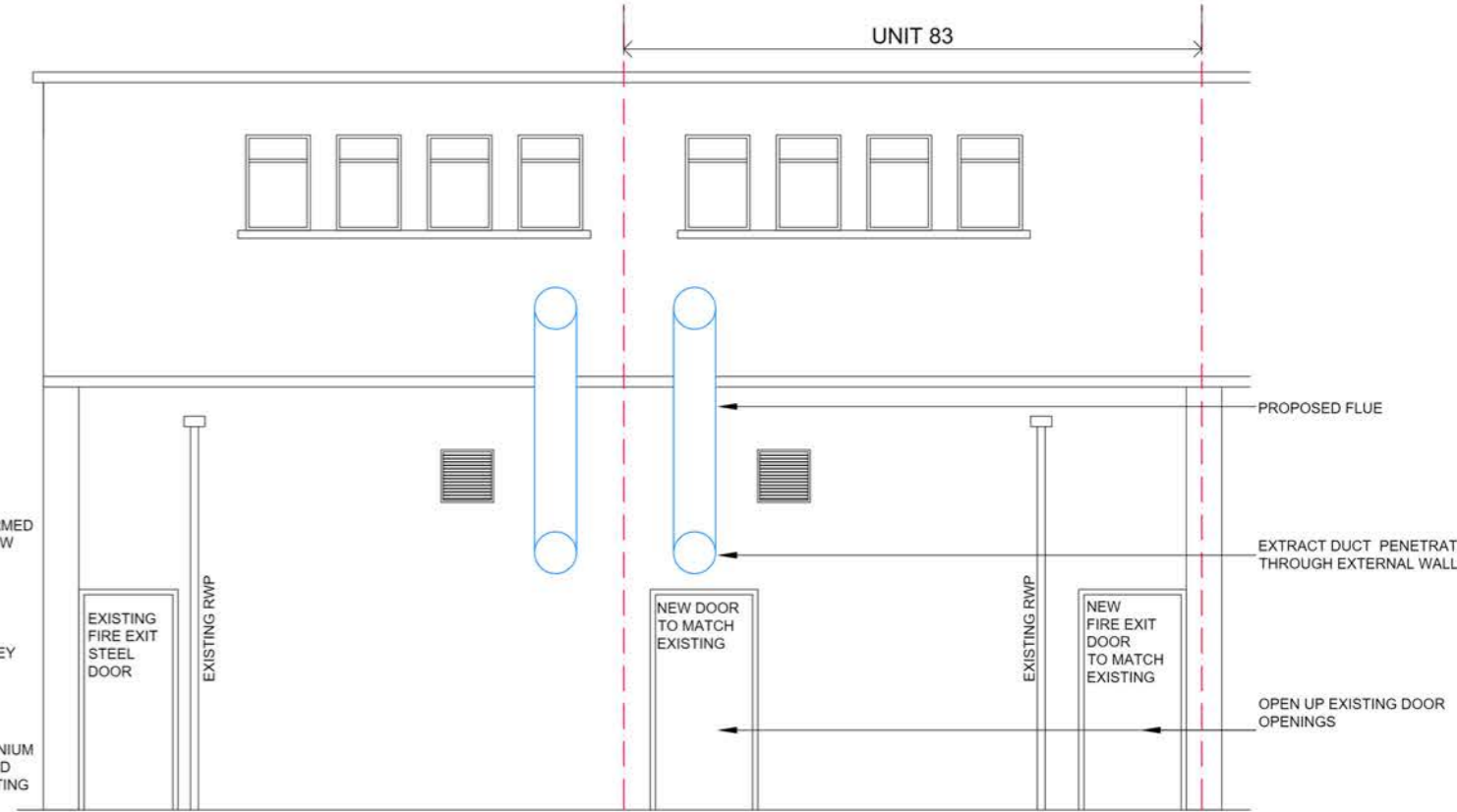
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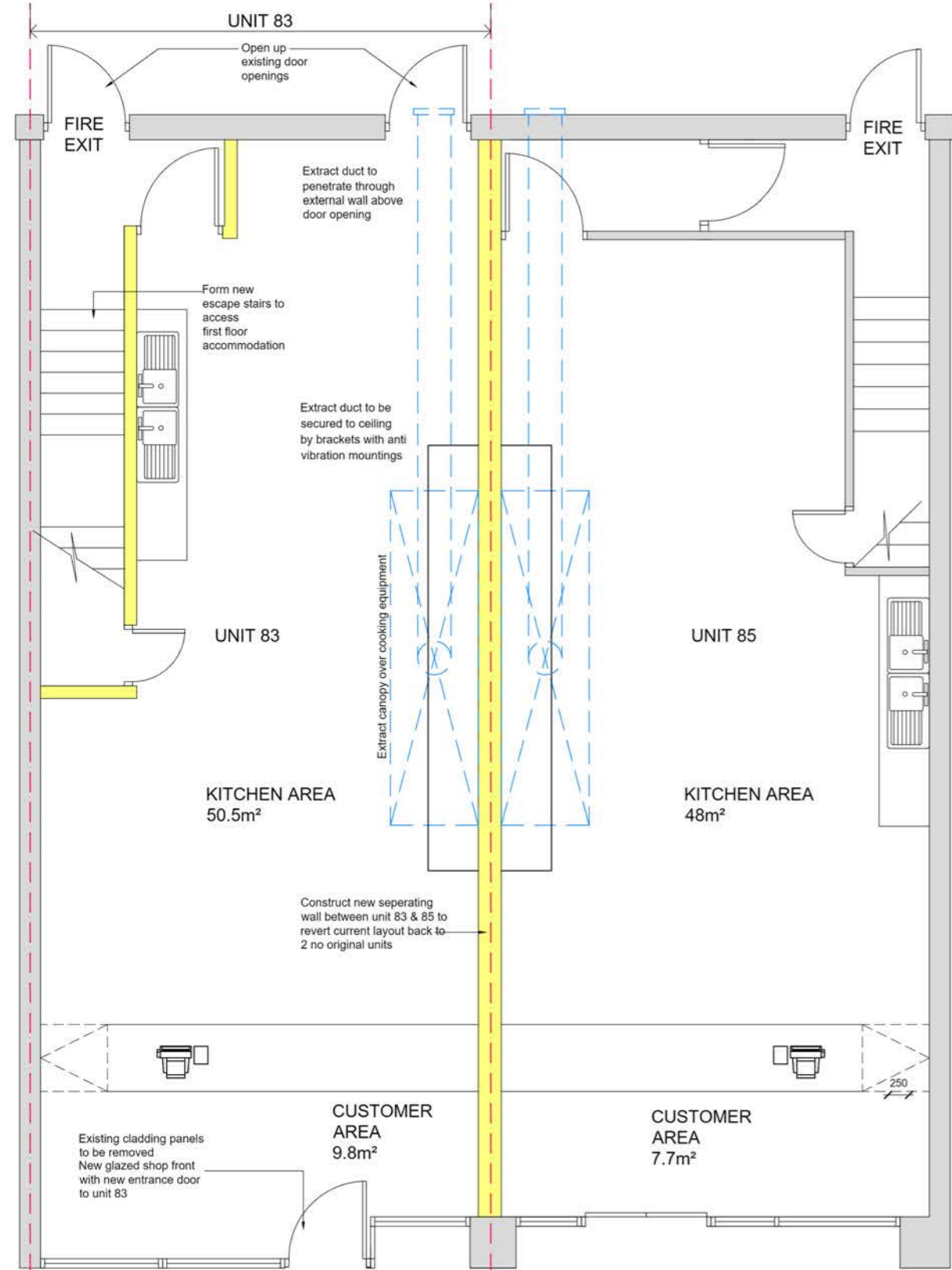
PROPOSED SITE PLAN
SCALE 1:200



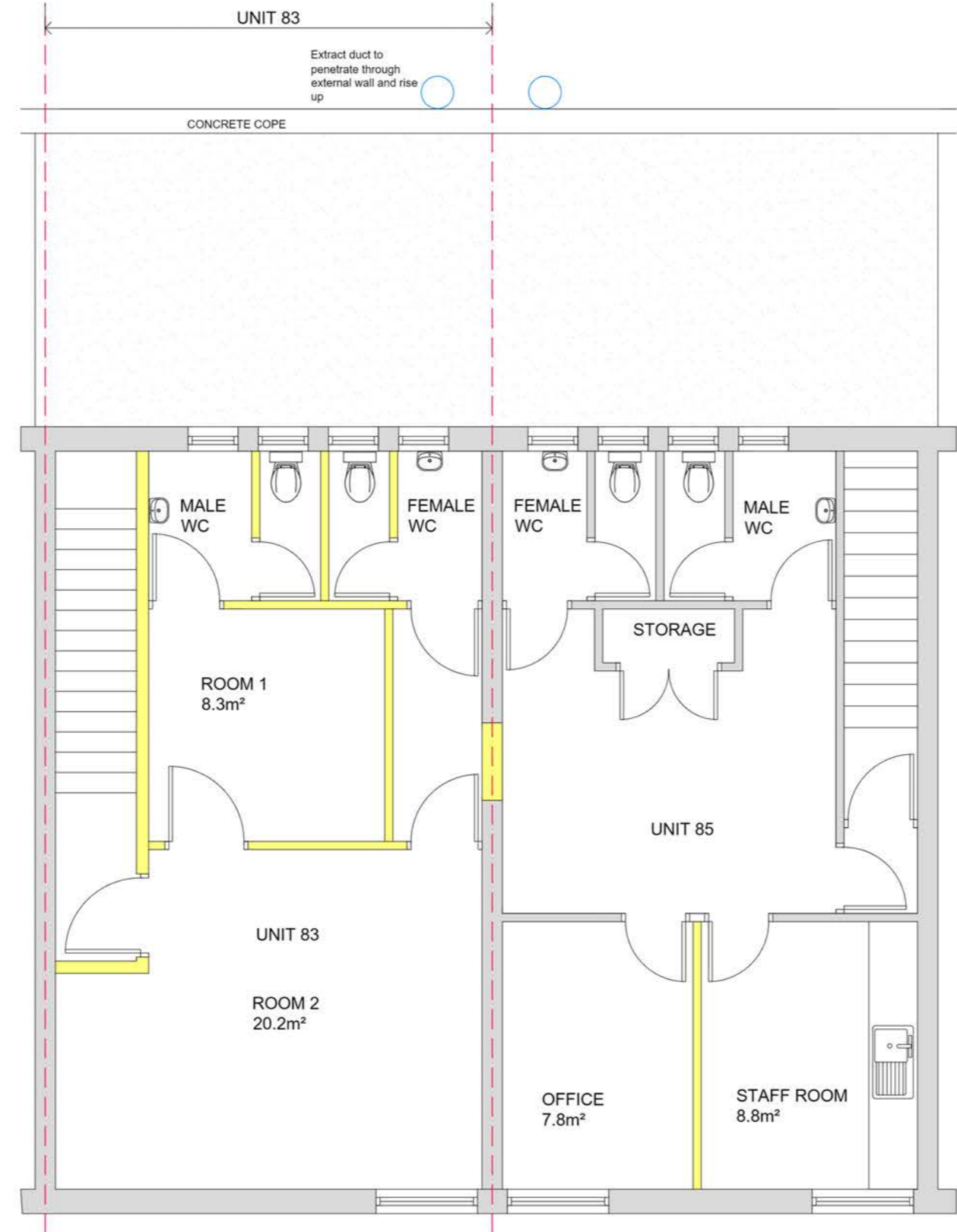
PROPOSED FRONT ELEVATION
SCALE 1:50



PROPOSED REAR ELEVATION
SCALE 1:50



PROPOSED GROUND FLOOR LAYOUT
SCALE 1:50



PROPOSED FIRST FLOOR LAYOUT
SCALE 1:50

Notes:

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31 Byres Road Glasgow, G11 5PD	
client Robinbrook Ltd	
project Change of Use - Planning 83 Main Street, Thornliebank, Glasgow	
drawing title Proposed Layouts & Elevations	
PLANNING	
date	scale
06.12.21	1:50 @ A1
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AM	AM
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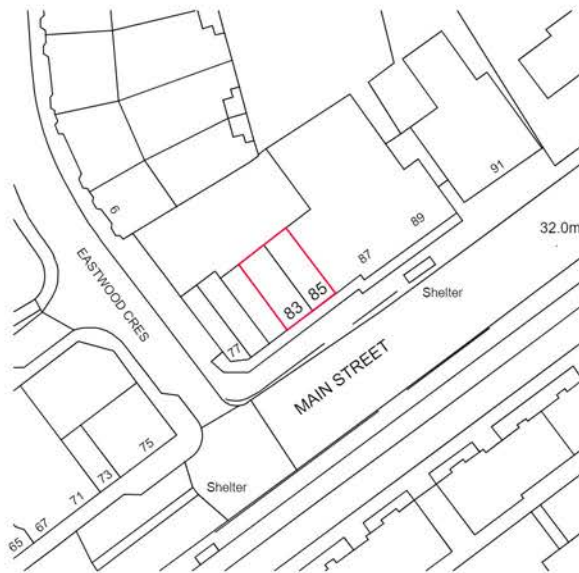
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Robinbrook Ltd

project title _____

*Change of Use - Planning
83 Main Street, Thornliebank
Glasgow*

drawing title _____

Location Plan

job no. _____ drawing no. _____ revision _____

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scale _____ date _____

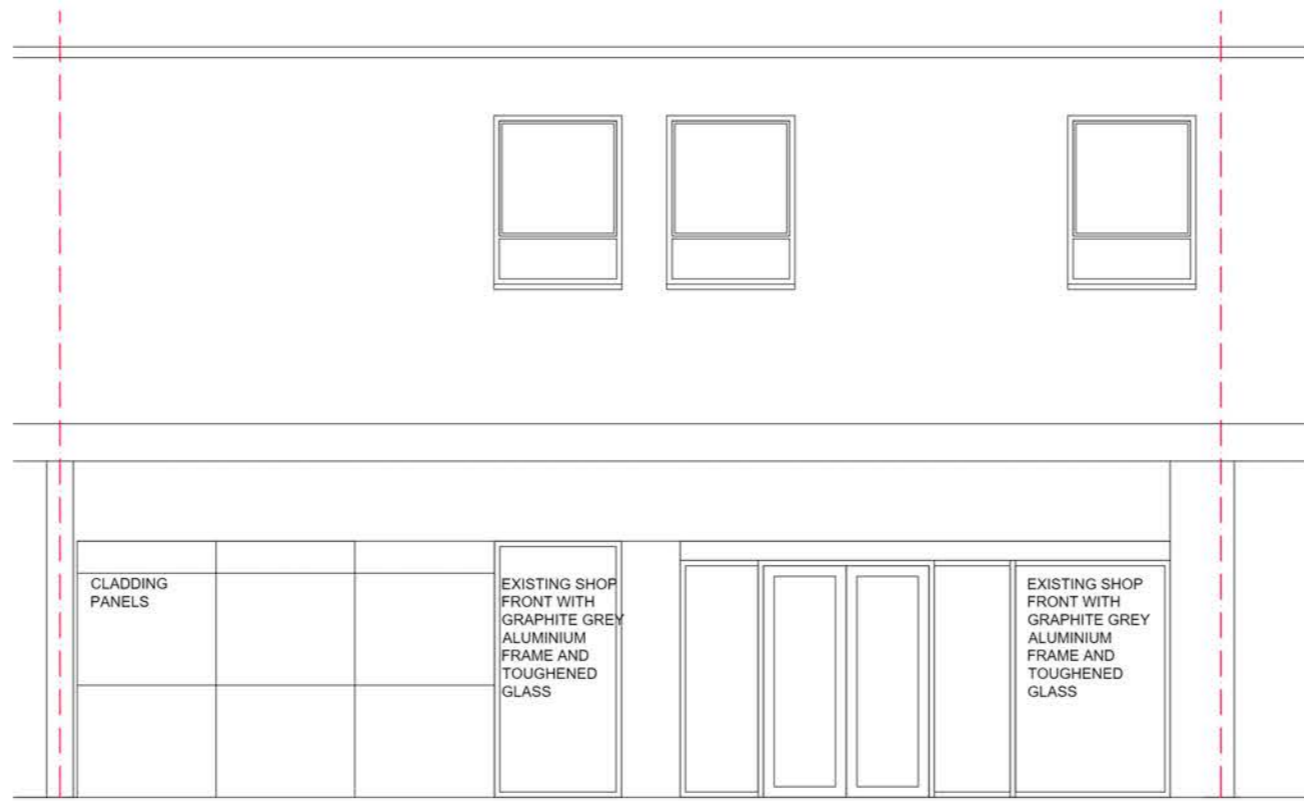
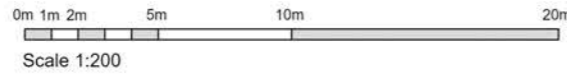
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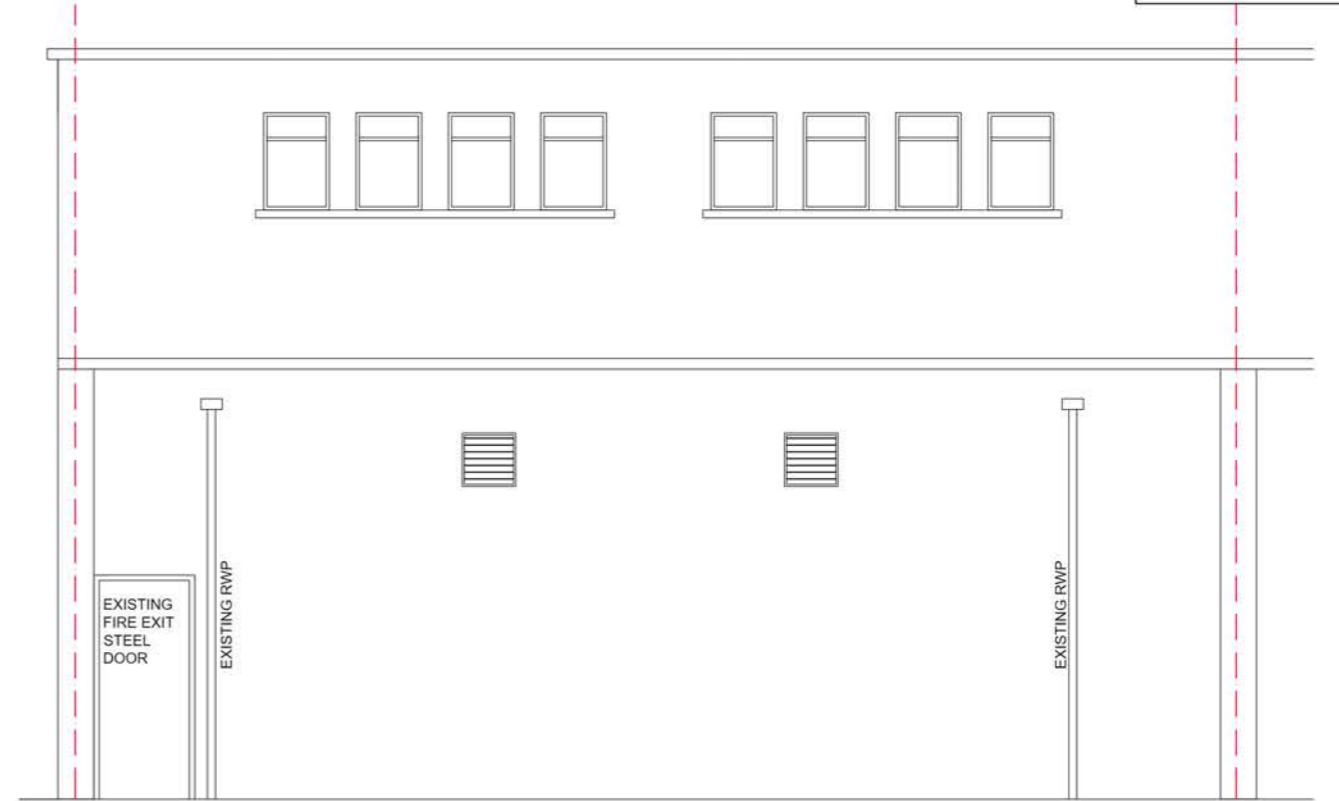
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SITE PLAN
SCALE 1:200



EXISTING FRONT ELEVATION
SCALE 1:50

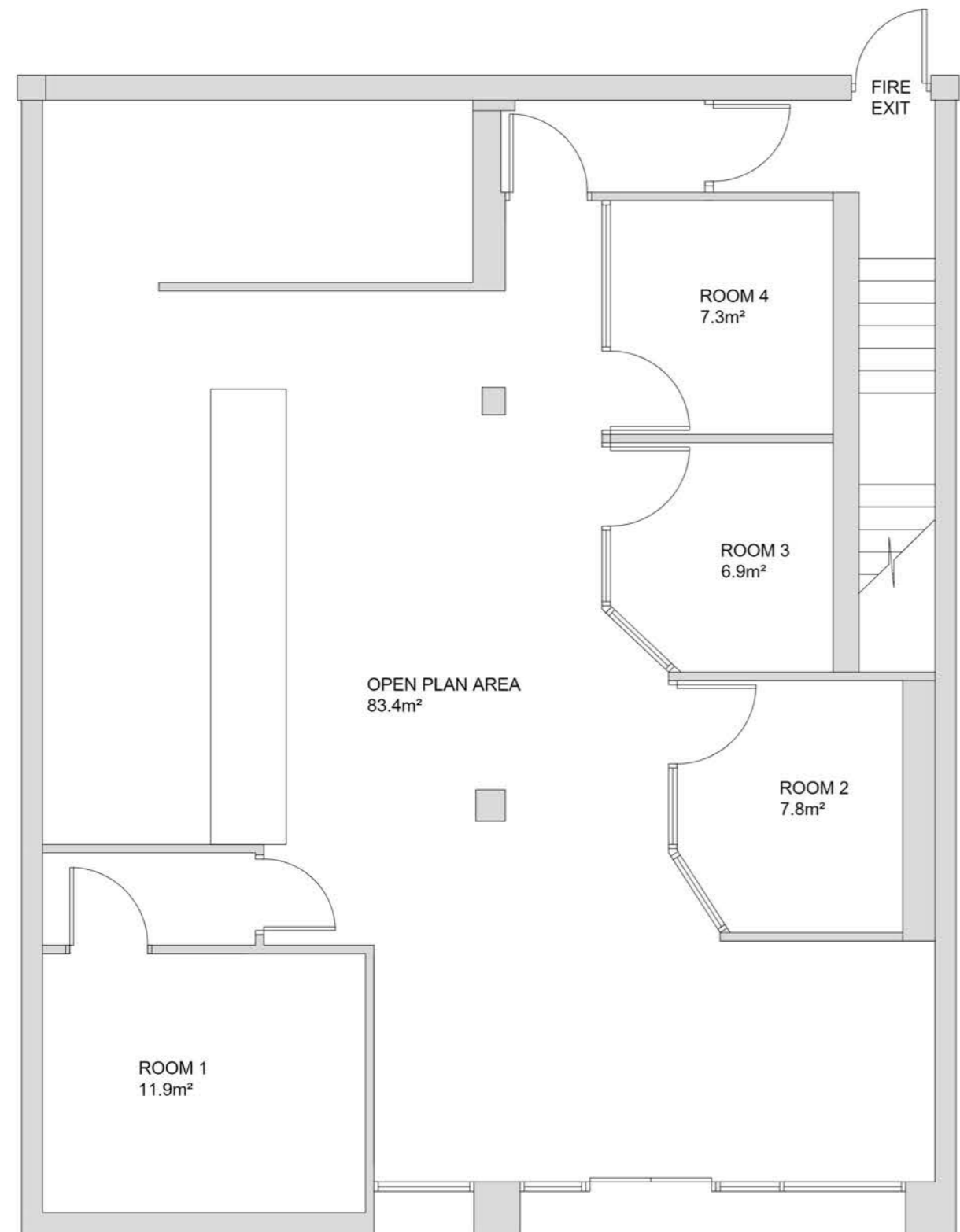


EXISTING REAR ELEVATION
SCALE 1:50

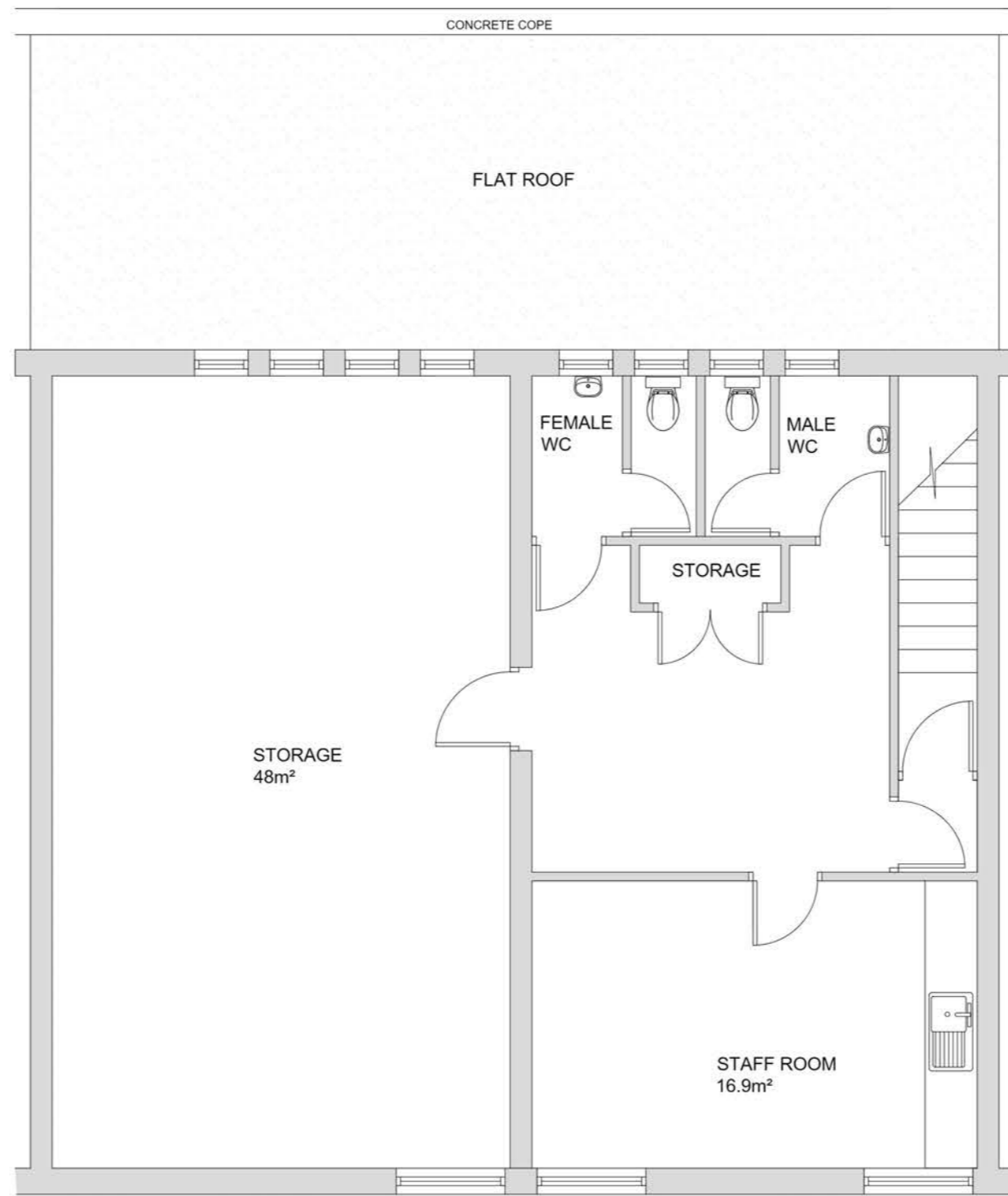
LEGENDS:
EXISTING WALLS ———
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EXISTING GROUND FLOOR LAYOUT
SCALE 1:50



EXISTING FIRST FLOOR LAYOUT
SCALE 1:50



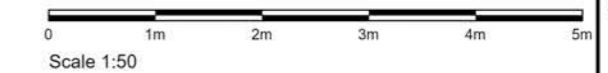
PHOTO OF FRONT ELEVATION



PHOTO OF FRONT ELEVATION



PHOTO OF REAR ELEVATION



rev | description | auth | child | date

31 Byres Road
Glasgow,
G11 5PD

0141 204 7683
0141 204 7683
0141 204 7683

client
Robinbrook Ltd

project
Change of Use - Planning
83 Main Street, Thornliebank, Glasgow

drawing title
As Existing
Layouts & Elevations

status
PLANNING

date | scale | drawn by | checked by
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- LEGENDS:**
- EXISTING WALLS
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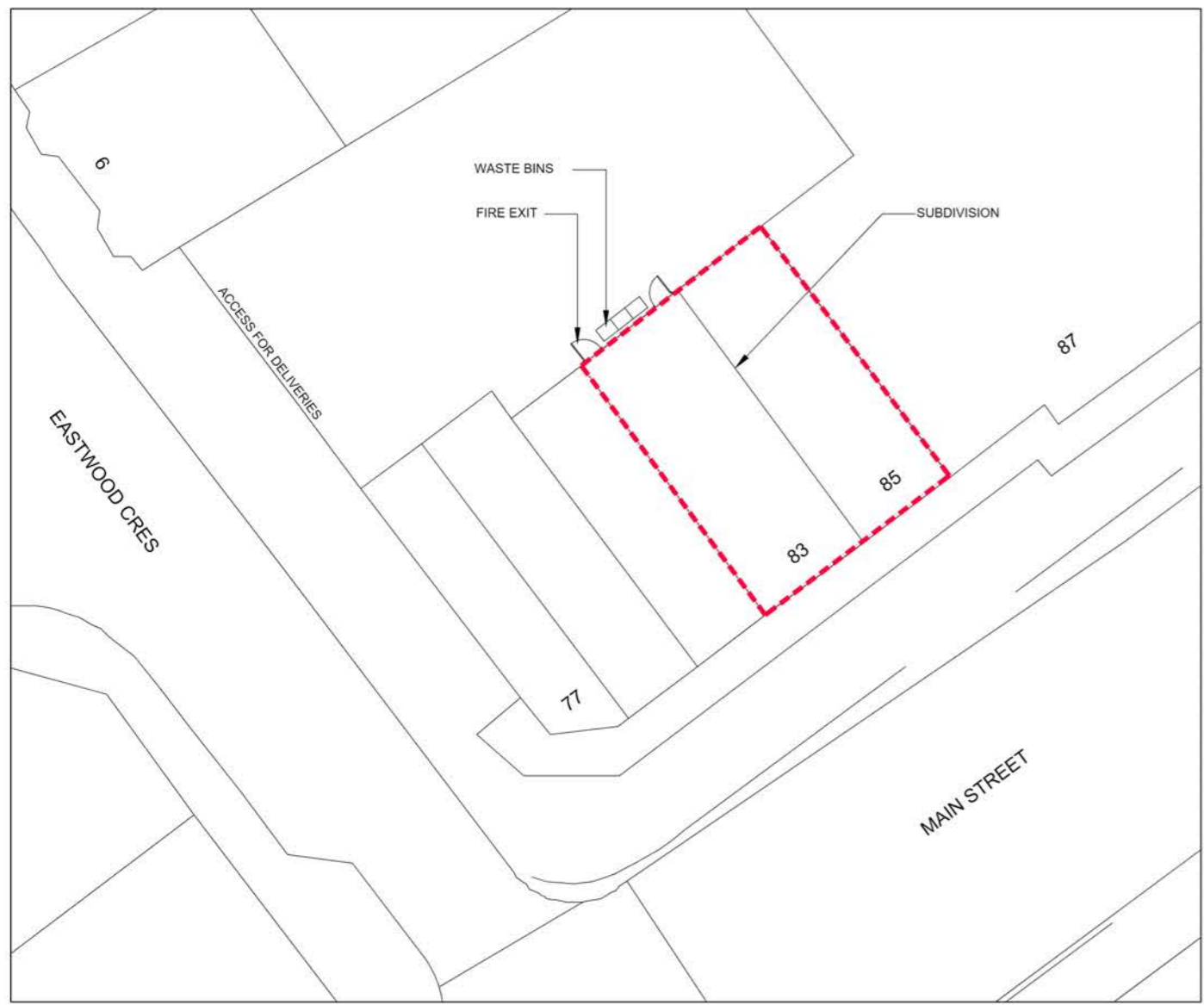
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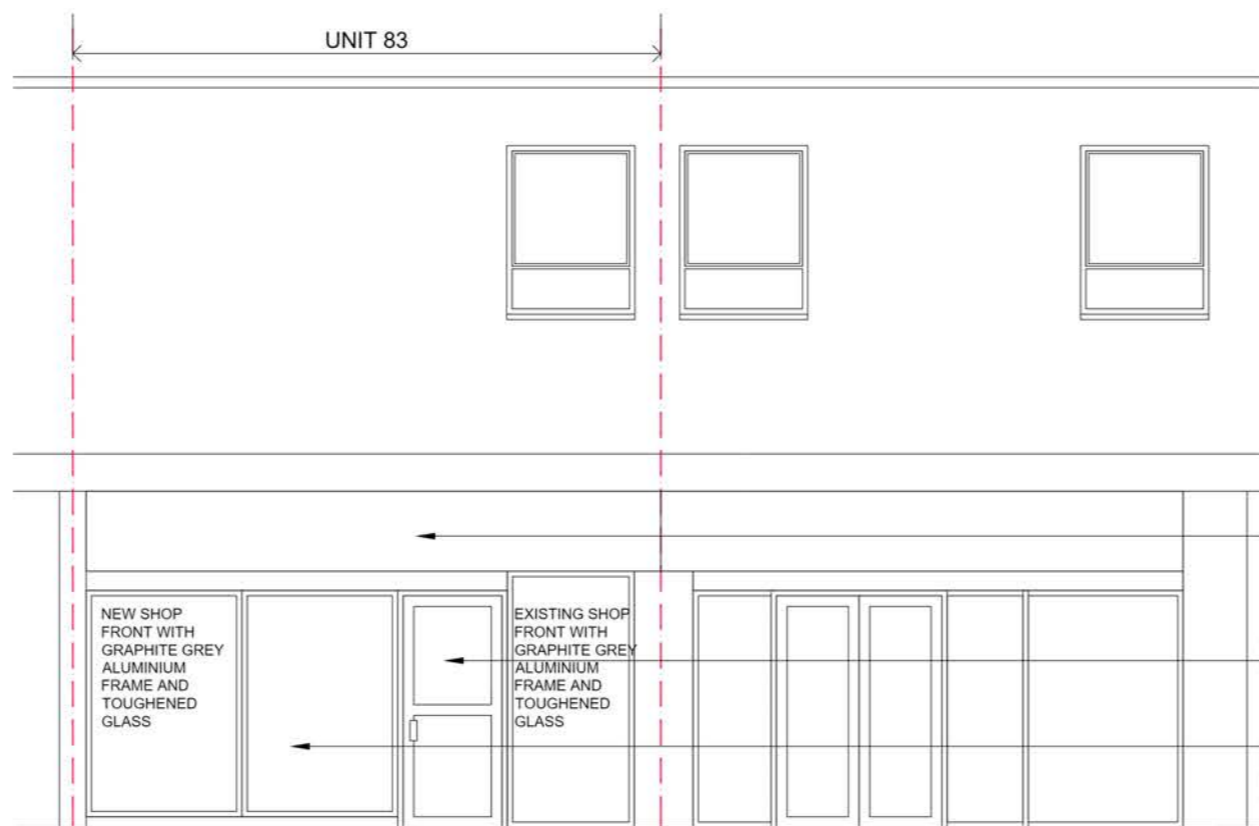
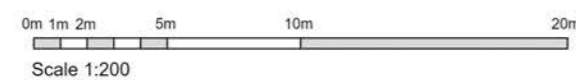
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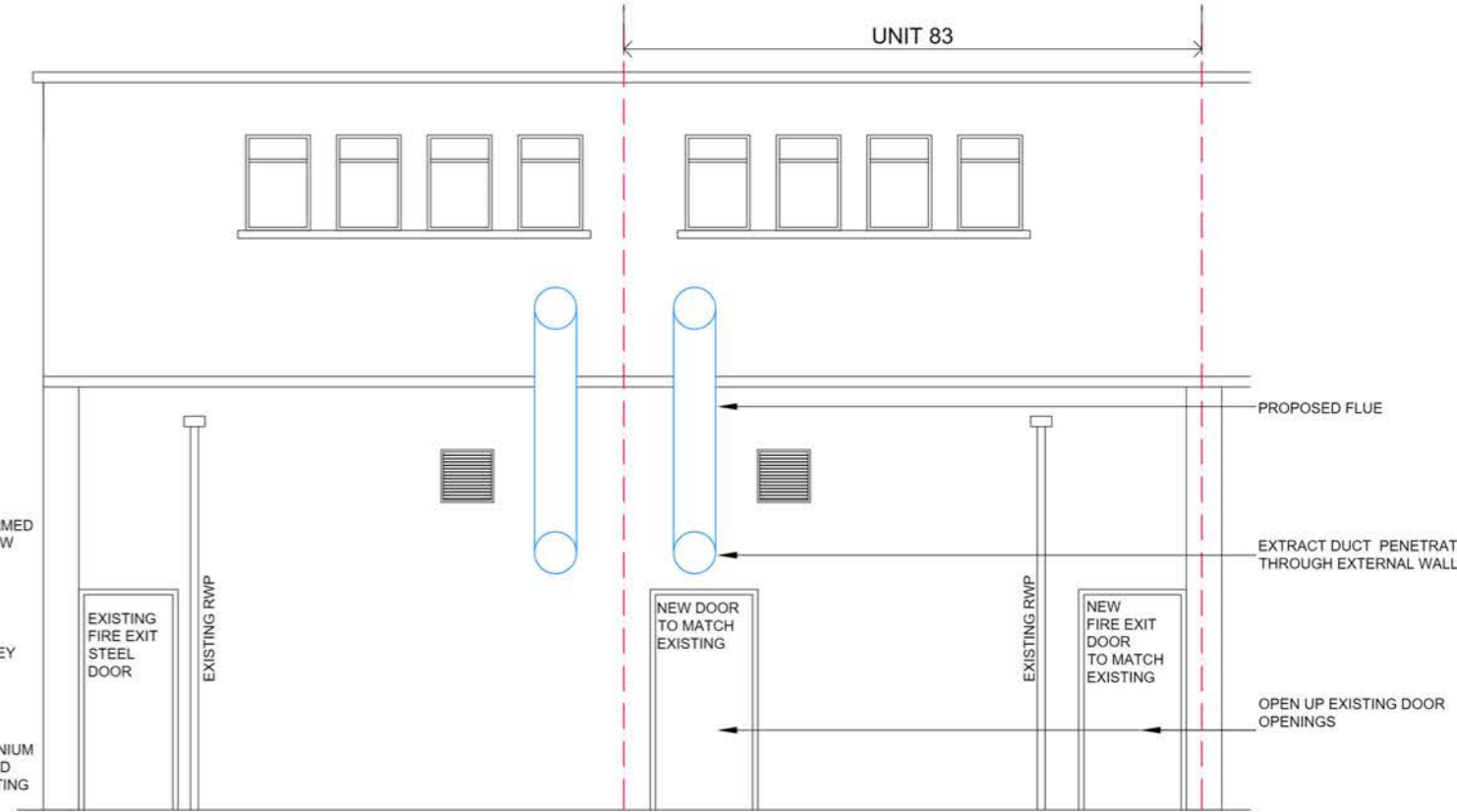
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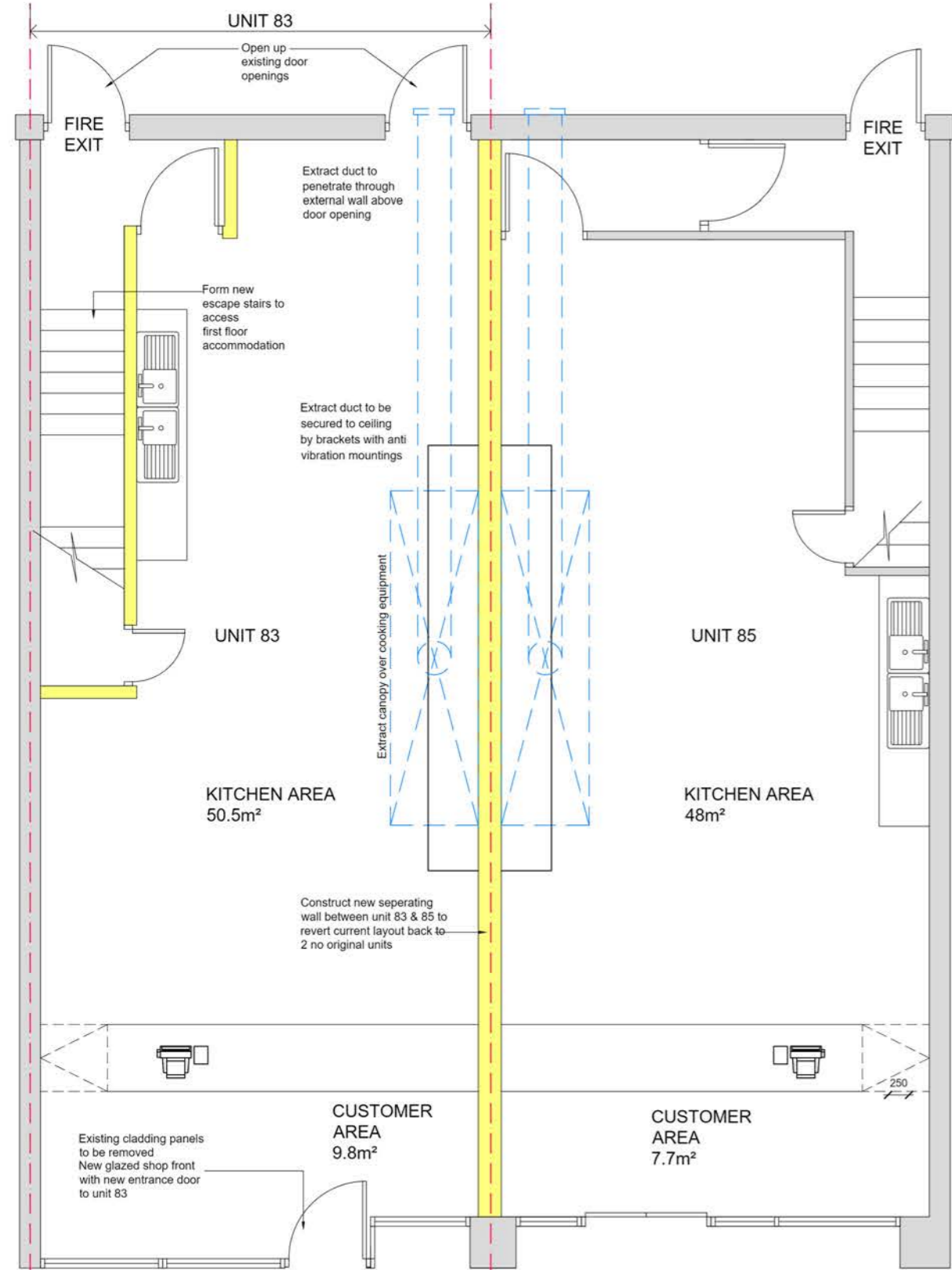
PROPOSED SITE PLAN
SCALE 1:200



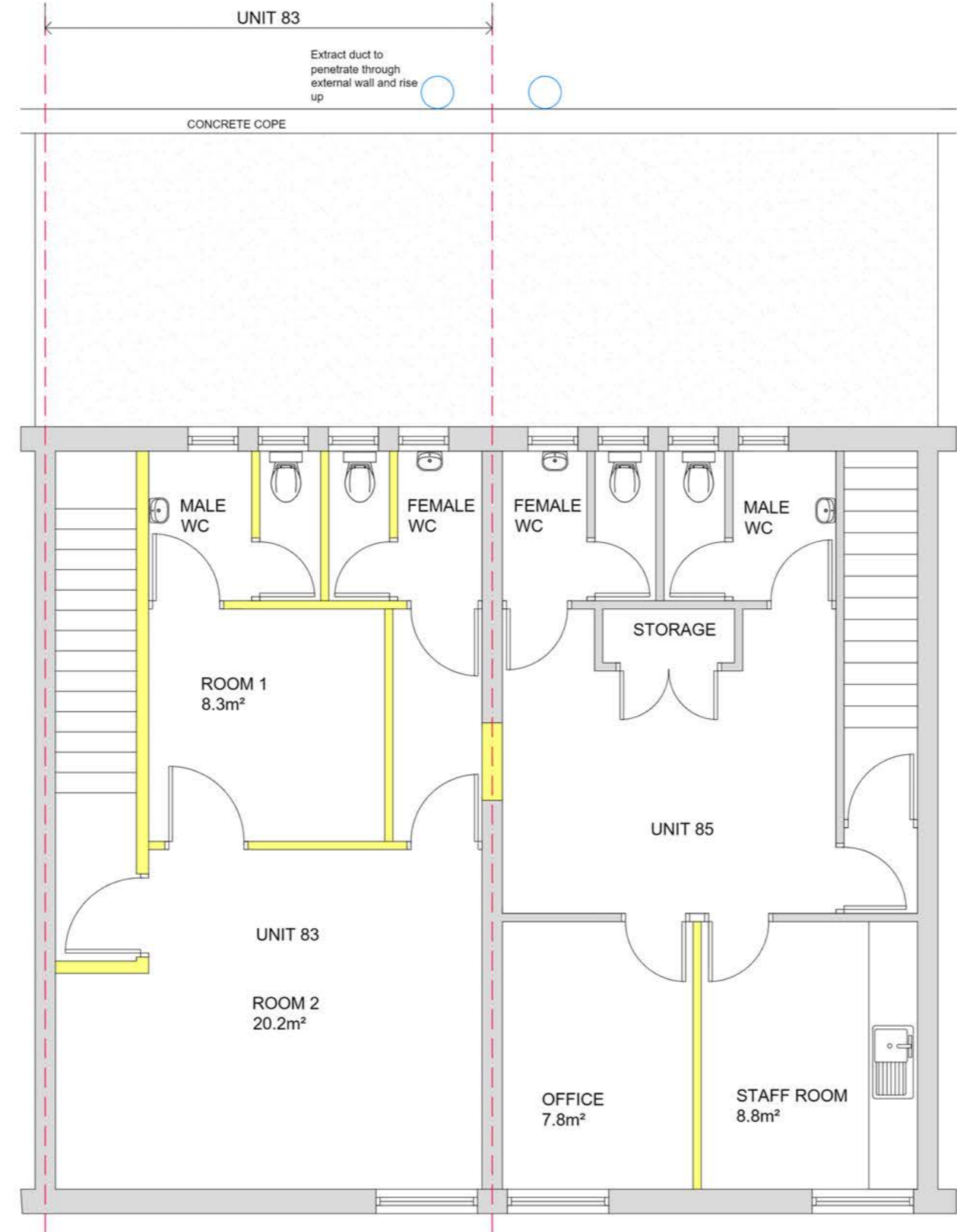
PROPOSED FRONT ELEVATION
SCALE 1:50



PROPOSED REAR ELEVATION
SCALE 1:50



PROPOSED GROUND FLOOR LAYOUT
SCALE 1:50



PROPOSED FIRST FLOOR LAYOUT
SCALE 1:50

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21-1540	002
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**REASONING FOR SUBMISSION OF NEW
INFORMATION**

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East Renfrewshire Council
2 Spiersbridge Way
Thornliebank
Glasgow
G46 8NG

21st July 2022

Dear Sir/Madam,

Ref No: 2021/0972/TP
Location: Lloyds TSB 83 Main Street Thornliebank East Renfrewshire G46 7RY
Proposal: Change of Use from Class 2 to hot food takeaway (Sui Generis), including erection of flue to rear and formation of new shop front.

East Renfrewshire Council Environmental Health Service and East Renfrewshire Council Roads Service departments have not raised any objections.

We refer to reason number 1 of the refusal letter – over provision and concentration of hot food takeaways.

J&E Shepherd our marketing agency have been actively marketing 83 Main Street Thornliebank for over 6 months. The units have been marketed as available either in whole or in part. Since the beginning of the marketing, the proposed use of all enquiries has been that for the use as a Hot Food Takeaway (Sui Generis) details of the enquiries are attached as proof to this submission.

Since the beginning of J&E Shepherds instruction to market this unit, we have had no enquiries for continued use as a Class 2 premises. The refusal of our application for change of use is therefore actively contributing to the vacancy of this premises and the deterioration of this neighbourhood parade.

Whilst we appreciate and accept that there are other hot food takeaway (sui generis) operators within the parade, we would like to point out that both Greggs and Subway operate under a Class 1 use, therefore we would argue that our application for change of use does not contribute to a concentration of hot food takeaways within the parade.

We also believe it is not the over concentration of hot food takeaways that have eroded the mix and diversity of retail and non-retail uses within the neighbourhood centre. The main cause that has diminished the mix and diversity of retail shops is that of online shopping that has taken over from the high streets and caused the high street to erode.



We would wish for our application to be reviewed once more on the basis of the above and for consideration to be given to our application for change of use.

Yours Faithfully
Ayesha Munir BSc MSc
Architectural Technician
For and on behalf of
HARDIES LLP

31 Byres Road, Glasgow, G11 5RD T: 0141 331 2807 E: glasgow@hardies.co.uk
www.hardies.co.uk



△ Aberdeen △ Dumfries △ Dundee △ Dunfermline △ Edinburgh
△ Glasgow △ Inverness △ Perth △ St Andrews △ Stirling

Elaine Duncan

Subject: FW: 21-1540 - 83 & 85 Main Street, Thornliebank (Arch)

Elaine Duncan
 Secretary
 Hardies Property & Construction Consultants
 T: 01383 731841
 W: www.hardies.co.uk

From: Adam Honeyman <a.honeyman@shepherd.co.uk>
Sent: 06 July 2022 11:17
To: Jennifer Patrick <J.Patrick@shepherd.co.uk>; Ayesha Munir <ayesha.munir@hardies.co.uk>
Cc: Calvin Molinari <c.molinari@shepherd.co.uk>
Subject: RE: 21-1540 - 83 & 85 Main Street, Thornliebank (Arch)

Hi Ayesha,

Each of these interests are for a class 3 takeaway use and we are confident that a deal could have been struck with them providing this use was granted.

Kind regards

Adam Honeyman MA (Hons) MRICS
 Associate

f in

 RICS
 Regulated by RICS

Shepherd Chartered Surveyors
 31 Byres Road
 Glasgow G11 5RD

Tel: 0141 331 2807 Mobile: 07720 466035
 Email: a.honeyman@shepherd.co.uk
www.shepherd.co.uk

One triangle
 all angles covered

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From: Jennifer Patrick <J.Patrick@shepherd.co.uk>
Sent: 06 July 2022 11:03
To: Ayesha Munir <ayesha.munir@hardies.co.uk>
Cc: Adam Honeyman <a.honeyman@shepherd.co.uk>; Calvin Molinari <c.molinari@shepherd.co.uk>
Subject: 21-1540 - 83 & 85 Main Street, Thornliebank (Arch)

Hi Ayesha,

See below all enquiries in relation to the above.

Thanks

0	APPLICANT	ASSIGNED TO	DATE OF INTEREST
D		jpatrick	13Apr2022
D		jpatrick	14Apr2022
D		jpatrick	14Apr2022
<input type="checkbox"/>		jpatrick	14Apr2022
<input type="checkbox"/>		jpatrick	15 Jun 2022

From: Ayesha Munir <ayesha.munir@hardies.co.uk>
Sent: 05 July 2022 09:32
To: Adam Honeyman <a.honeyman@shepherd.co.uk>
Cc: Neil Smith <neil.smith@hardies.co.uk>
Subject: 21-1540 - 83 & 85 Main Street, Thornliebank (Arch)

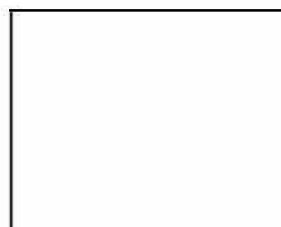
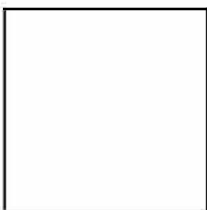
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Morning Adam,

Can you please forward any queries that you have received for hot food takeaway? Any proof for potential tenant for hot food take away? I will submit all this information with my Notice of Review.

Regards
 Ayesha

Ayesha Munir MSc, ACIAT
Architectural Technologist



31 Byres Road
 Glasgow
 G1 15RD

T: 014 1 331 2807
 M: 07776 639 669

www.hardies.co.uk

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From: a.honeyman <a.honeyman@shepherd.co.uk>
Sent: 11 October 2022 16:40
To: Bernard Jackson <bcjackson10@aol.com>; Ayesha Munir <ayesha.munir@hardies.co.uk>
Cc: Neil Smith <neil.smith@hardies.co.uk>
Subject: RE: 21-1540 - 83 & 85 Main Street, Thornliebank (Arch)

Ayesha/all.

I can confirm that to date we have had three further interests in the subject property. All three interests were to utilise the space for Class 3 use and we have had zero interest for any other use since marketing.

Kind regards

COMMERCIAL	Adam Honeyman MA (Hons) MRICS Associate	Shepherd Chartered Surveyors 2 nd Floor, Afton House, 26 West Nile Street, Glasgow G1 2PF
	  	Tel: 0141 331 2807 Mobile: 07720 466035 Email: a.honeyman@shepherd.co.uk www.shepherd.co.uk
	 	
	Regulated by RICS	

One triangle
all angles covered

RESIDENTIAL

COMMERCIAL

PROPERTY & CONSTRUCTION



In accordance with "The Requirements of Writing (Scotland) Act 1995" the terms of this e-mail are not intended to be or have any contractual effect and should not be constructed as such. Any legally binding obligation or liability will be subject to the preparation of formal missives between our respective client's legal representatives. This e-mail is provided without prejudice to any third party proceedings, court actions or similar which may occur hereinafter. Unless expressly stated otherwise, this email does not constitute an offer or acceptance of an offer to contract on any terms nor is it intended to create any legally binding obligations.

From: Bernard Jackson <bcjackson10@aol.com>
Sent: 10 October 2022 16:03
To: Ayesha Munir <ayesha.munir@hardies.co.uk>
Cc: Neil Smith <neil.smith@hardies.co.uk>; Adam Honeyman <a.honeyman@shepherd.co.uk>
Subject: Re: 21-1540 - 83 & 85 Main Street, Thornliebank (Arch)

CAUTION: This email originated from outside of the organisation. Do not click links or open attachments unless you recognise the sender and know the content is safe. If you have any doubts contact Shepherd IT.

Hi Ayesha

Having just received an email from Victoria. I checked my mail and retrieved your email below from my spam box.

Yes I approve and please proceed.

Can Adam confirm if there has been any more interest in the units. Is it feasible for Adam to further confirm the only interest to date has been for class 3 use and send/update a copy to the planning department to demonstrate the only enquiries to date is still only for class 3 use.

Kind regards
Bernard Jackson
pp Robinbrook Ltd

On Wednesday, 28 September 2022, 11:16:44 BST, Ayesha Munir <ayesha.munir@hardies.co.uk> wrote:

Hi Bernard

Attached are building warrant drawings for the units representing the sub-division.

I have not shown the heaters and the AC units on our drawings and this information will only be provided if asked by the Building Control.

The minimum we need is power in the individual unit for lighting and emergency lighting. We are proposing to keep the existing meter for No. 85 and install a new one for No. 83.

In No 83, I have shown a disabled toilet on the ground floor instead of having toilets on the first floor.

After your approval, I can forward these drawings to Structural Engineer for the structural input. I can submit the warrant application tomorrow and structural drawings can be submitted later on. This will speed up our warrant application process.

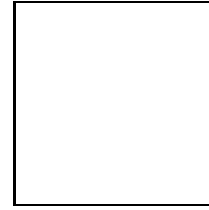
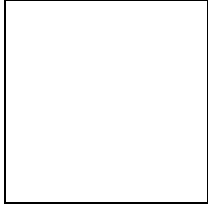
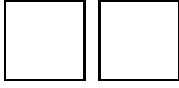
Let me know of your thoughts.

Regards

Ayesha



Ayesha Munir MSc, ACIAT
Architectural Technologist



31 Byres Road
Glasgow
G11 5RD

T: 0141 331 2807

M: 07776 639 669

www.hardies.co.uk

In accordance with "The Requirements of Writing (Scotland) Act 1995" the terms of this e-mail are not intended to be or have any contractual effect and should not be construed as such. Any legally binding obligation or liability will be subject to the preparation of formal missives between our respective client's legal representatives. This e-mail is provided without prejudice to any third party proceedings, court actions or similar which may occur hereinafter. Unless expressly stated otherwise, this email does not constitute an offer or acceptance of an offer to contract on any terms nor is it intended to create any legally binding obligations.

EAST RENFREWSHIRE COUNCILLOCAL REVIEW BODY9 November 2022Report by Director of Business Operations and PartnershipsREVIEW OF CASE - REVIEW/2022/11**ERECTION OF DETACHED TWO AND ONE-HALF STOREY DWELLING. (AMENDMENT TO PLANNING PERMISSION REF: 2021/0693/TP TO ALLOW ALTERATIONS, DELETING BASEMENT AND ALTERATIONS TO ROOF PROFILE)****PURPOSE OF REPORT**

1. The purpose of the report is to present the information currently available to allow a review of the decision taken by officers, in terms of the Scheme of Delegation made in terms of Section 43A of the Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 in respect of the application detailed below.

DETAILS OF APPLICATION

2. Application type: Further application (Ref No:- 2022/0242/TP).
- Applicant: Mr Rehan Tahir
- Proposal: Erection of detached two and one-half storey dwelling.
(Amendment to Planning Permission Ref: 2021/0693/TP to allow alterations, deleting basement and alterations to roof profile)
- Location: 29 Rouken Glen Road, Giffnock, East Renfrewshire, G46 7EL.
- Council Area/Ward: Giffnock and Thornliebank (Ward 3).

REASON FOR REQUESTING REVIEW

3. The applicant has requested a review on the grounds that the Council's Appointed Officer refused the application.

RECOMMENDATIONS

4. The Local Review Body is asked to:-
- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
- (i) it proceeds to determine whether the decision taken in respect of the application under review should be upheld, reversed or varied; and
- (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed; or

- (b) that in the event that further procedure is required to allow it to determine the review, consider:-
- (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

BACKGROUND

5. At the meeting of the Council on 29 April 2009, consideration was given to a report by the Director of Environment seeking the adoption of a new Scheme of Delegation in terms of the new Section 43A of the Town and Country Planning (Scotland) Act 1997, subject to approval of the scheme by Scottish Ministers.

6. The report provided details of the new hierarchy of developments that took effect from 6 April 2009 explaining that the Scheme of Delegation related to those applications within the "local development" category as set out in the Town and Country Planning (Hierarchy of Development) (Scotland) Regulations 2009, but would in future be determined by an "appointed officer". In the Council's case this would be either the Director of Environment or the Head of Roads, Planning and Transportation Service now designated the Head of Environment (Operations).

7. The report highlighted that historically appeals against planning decisions were dealt with by Scottish Ministers. However, following the introduction of the new planning provisions which came into effect on 3 August 2009 all appeals against decisions made in respect of local developments under delegated powers would be heard by a Local Review Body. The Local Review Body would also deal with cases where the appointed officer had failed to determine an application within two months from the date it was lodged.

NOTICE OF REVIEW – STATEMENT OF REASONS FOR REQUIRING THE REVIEW

8. The applicant in submitting the review has stated the reasons for requiring the review of the determination of the application. A copy of the applicant's Notice of Review and Statement of Reasons including appeal statement is attached as Appendix 5.

9. The applicant is entitled to state a preference for the procedure (or combination of procedures) to be followed by the Local Review Body in the determination of the review and has detailed in their opinion that this review can continue to conclusion based on the assessment of the review documents only, with no further procedure.

10. The Local Review Body is not bound to accede to the applicant's request as to how it will determine the review and will itself decide what procedure will be used in this regard.

11. At the meeting of the Local Review Body on 10 August 2016, it was decided that the Local Review Body would carry out unaccompanied site inspections for every review case it received prior to the cases being given initial consideration at a meeting of the Local Review Body.

12. In accordance with the above decision, the Local Review Body will carry out an unaccompanied site inspection on Wednesday, 9 November 2022 before the meeting of the Local Review Body which begins at 2.30pm.

INFORMATION AVAILABLE TO ALLOW REVIEW OF APPLICATION

13. Section 43B of the Planning etc (Scotland) Act 2006 restricts the ability of parties to introduce new material at the review stage. The Local Review Body is advised that the focus of the review should, therefore, be on the material which was before the officer who dealt with the application under the Scheme of Delegation.

14. The information detailed below is appended to this report to assist the Local Review Body in carrying out the review of the decision taken by the Appointed Officer:-

- (a) Application for planning permission – Appendix 1 (Pages 245 - 254);
- (b) Report of Handling by the planning officer under the Scheme of Delegation - Appendix 3 (Pages 267 - 274);
- (c) Decision notice and reasons for refusal - Appendix 4 (Pages 275 - 280); and
- (e) A copy of the applicant's Notice of Review and Statement of Reasons including appeal statement - Appendix 5 (Pages 281 - 358).

15. The applicant has also submitted the drawings listed below and these are attached as Appendix 6 (Pages 359 - 376).

- (a) Existing Contextual Elevation 19 743 PL16;
- (b) Existing Elevations 19 743 PL04;
- (c) Existing Elevations 19 743 PL05;
- (d) Existing Site and Location Plans 19 743 PL02;
- (e) Existing Site Plan 19 743 PL03;
- (f) Proposed Ground Floor Plan 19 743 PL08;
- (g) Proposed Site and Location Plans 19 743 PL06;
- (h) Refused – Location Plan 19 743 PL01;
- (i) Refused – Proposed Site Plan 19 743 PL07;
- (j) Refused – Proposed Ground Floor Plan 19 743 PL10 A;
- (k) Refused – Proposed Upper Floor Plan 19 743 PL11;
- (l) Refused – Proposed Attic Floor Plan 19 743 PL12 A;
- (m) Proposed Roof Plan 19 743 PL13 A;
- (n) Proposed Elevations 19 743 PL14 B;
- (o) Proposed Elevations 19 743 PL15 B; and
- (p) Proposed Contextual Elevation 19 743 PL17 A.

16. The Local Review Body is advised that initial consultation responses and representations received if any, relating to the application will be listed in the planning officer's Report of Handling and are also included as Appendix 2.

17. All the documents referred to in this report can be viewed online on the Council's website at www.eastrenfrewshire.gov.uk.

RECOMMENDATIONS

18. The Local Review Body is asked to:-

- (a) consider whether it has sufficient information to allow it to proceed to determine the review without further procedure and, if so, that:-
 - (i) it proceeds to determine whether the decisions taken in respect of the application under review should be upheld, reversed or varied; and
 - (ii) in the event that the decision is reversed or varied, the reasons and the detailed conditions to be attached to the decision letter are agreed; or
- (b) In the event that further procedure is required to allow it to determine the review, consider:-
 - (i) what further information is required, which parties are to be asked to provide the information and the date by which this is to be provided; and/or;
 - (ii) what procedure or combination of procedures are to be followed in determining the review.

Report Author: Sharon McIntyre

Director – Louise Pringle, Director of Business Operations and Partnerships

Sharon McIntyre, Committee Services Officer
e-mail: sharon.mcintyre@eastrenfrewshire.gov.uk
Tel: 0141 577 3011

Date:- November 2022

APPLICATION FORM

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100189502-015

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Type of Application

What is this application for? Please select one of the following: *

- Application for planning permission (including changes of use and surface mineral working).
- Application for planning permission in principle.
- Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- Application for Approval of Matters specified in conditions.

Please provide the application reference no. given to you by your planning authority for your previous application and the date that this was granted.

Application Reference No: *

2021/0693/TP

Date (dd/mm/yyyy): *

04/03/2022

Description of Proposal

Please describe the proposal including any change of use: * (Max 500 characters)

Erection of detached two and one-half storey dwelling. (Amendment to Planning Permission Ref: 2021/0693/TP to allow alterations, deleting basement and alterations to roof profile)

Is this a temporary permission? *

Yes No

If a change of use is to be included in the proposal has it already taken place?

Yes No

(Answer 'No' if there is no change of use.) *

Has the work already been started and/or completed? *

No Yes – Started Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	inkdesign architecture Ltd		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	Maurice	Building Name:	Unit 6, The Briggait
Last Name: *	Hickey	Building Number:	141
Telephone Number: *	0141 552 2729	Address 1 (Street): *	Bridgeway
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	Glasgow
Fax Number:	<input type="text"/>	Country: *	Scotland
		Postcode: *	G1 5HZ
Email Address: *	info@inkdesign.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Mr	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	Rehan	Building Number:	18
Last Name: *	Tahir	Address 1 (Street): *	Burnside Road
Company/Organisation	<input type="text"/>	Address 2:	Giffnock
Telephone Number: *	<input type="text"/>	Town/City: *	Glasgow
Extension Number:	<input type="text"/>	Country: *	Scotland
Mobile Number:	<input type="text"/>	Postcode: *	G46 6TT
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text"/>		

Site Address Details

Planning Authority:

East Renfrewshire Council

Full postal address of the site (including postcode where available):

Address 1:

29 ROUKEN GLEN ROAD

Address 2:

GIFFNOCK

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

GLASGOW

Post Code:

G46 7EL

Please identify/describe the location of the site or sites

Northing

658783

Easting

254816

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

Yes No

Pre-Application Discussion Details Cont.

In what format was the feedback given? *

Meeting Telephone Letter Email

Please provide a description of the feedback you were given and the name of the officer who provided this feedback. If a processing agreement [note 1] is currently in place or if you are currently discussing a processing agreement with the planning authority, please provide details of this. (This will help the authority to deal with this application more efficiently.) * (max 500 characters)

In terms of the proposed alteration to the roof, I would advise that this would be unlikely to be considered favourably. The increase in the roof massing is considerable and this would have a significant impact on the character and design of the dwelling: making it appear much larger and visually dominant on the street scape.

Title:

Mr

Other title:

First Name:

Derek

Last Name:

Scott

Correspondence Reference Number:

Date (dd/mm/yyyy):

03/03/2022

Note 1. A Processing agreement involves setting out the key stages involved in determining a planning application, identifying what information is required and from whom and setting timescales for the delivery of various stages of the process.

Site Area	
Please state the site area:	1055.00
Please state the measurement type used:	<input type="checkbox"/> Hectares (ha) <input checked="" type="checkbox"/> Square Metres (sq.m)
Existing Use	
Please describe the current or most recent use: * (Max 500 characters)	
Detached dwelling house	
Access and Parking	
Are you proposing a new altered vehicle access to or from a public road? * <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.	
Are you proposing any change to public paths, public rights of way or affecting any public right of access? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.	
How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?	3
How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *	5
Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).	
Water Supply and Drainage Arrangements	
Will your proposal require new or altered water supply or drainage arrangements? * <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Are you proposing to connect to the public drainage network (eg. to an existing sewer)? *	
<input checked="" type="checkbox"/> Yes – connecting to public drainage network <input type="checkbox"/> No – proposing to make private drainage arrangements <input type="checkbox"/> Not Applicable – only arrangements for water supply required	
Do your proposals make provision for sustainable drainage of surface water?? * (e.g. SUDS arrangements) * <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Note:-	
Please include details of SUDS arrangements on your plans	
Selecting 'No' to the above question means that you could be in breach of Environmental legislation.	

<p>Are you proposing to connect to the public water supply network? *</p> <p><input checked="" type="checkbox"/> Yes</p> <p><input type="checkbox"/> No, using a private water supply</p> <p><input type="checkbox"/> No connection required</p> <p>If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).</p>	
<p>Assessment of Flood Risk</p> <p>Is the site within an area of known risk of flooding? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Don't Know</p> <p>If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.</p> <p>Do you think your proposal may increase the flood risk elsewhere? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Don't Know</p>	
<p>Trees</p> <p>Are there any trees on or adjacent to the application site? * <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.</p>	
<p>All Types of Non Housing Development – Proposed New Floorspace</p> <p>Does your proposal alter or create non-residential floorspace? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>Schedule 3 Development</p> <p>Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013) * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Don't Know</p> <p>If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.</p> <p>If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.</p>	
<p>Planning Service Employee/Elected Member Interest</p> <p>Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>Certificates and Notices</p> <p>CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013</p> <p>One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.</p> <p>Are you/the applicant the sole owner of ALL the land? * <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Is any of the land part of an agricultural holding? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>Certificate Required</p> <p>The following Land Ownership Certificate is required to complete this section of the proposal:</p> <p>Certificate A</p>	

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: Maurice Hickey

On behalf of: Mr Rehan Tahir

Date: 26/04/2022

Please tick here to certify this Certificate. *

Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? *

Yes No Not applicable to this application

b) If this is an application for planning permission or planning permission in principle where there is a crown interest in the land, have you provided a statement to that effect? *

Yes No Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? *

Yes No Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? *

Yes No Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? *

Yes No Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? *

Yes No Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- Site Layout Plan or Block plan.
- Elevations.
- Floor plans.
- Cross sections.
- Roof plan.
- Master Plan/Framework Plan.
- Landscape plan.
- Photographs and/or photomontages.
- Other.

If Other, please specify: * (Max 500 characters)

Provide copies of the following documents if applicable:

- | | |
|--|--|
| A copy of an Environmental Statement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Design Statement or Design and Access Statement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Flood Risk Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Drainage/SUDS layout. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Transport Assessment or Travel Plan | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Contaminated Land Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Habitat Survey. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Processing Agreement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |

Other Statements (please specify). (Max 500 characters)

Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mr Maurice Hickey
 Declaration Date: 26/04/2022

Payment Details



Created: 26/04/2022 15:33

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COPIES OF OBJECTIONS/REPRESENTATIONS

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33 Rouken Glen Road,
Thornliebank,
Glasgow, G46 7EL.
20/05/2022

Planning Officer,
Planning Dept,
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG
Application number 2022/0242/TP

Dear Planning Officer,

Re the above planning application for the proposed new build detached property at no. 29 Rouken Glen Road, Thornliebank, G46 7EL.

Thank you for your recent letter date 11th May 2022 advising us of a further set of new plans for the proposed erection of a detached two and one-half storey dwelling. (Amendment to Planning Permission Ref: 2021/0693/TP to allow alterations, deleting basement and alterations to roof profile).

We wish to object to these new plans on the grounds that this new property will overlook our property at no. 33 Rouken Glen Road, Thornliebank.

We wish to take this opportunity to remind you that there is no number 31 Rouken Glen Road. We are direct next-door neighbours to no. 29 Rouken Glen Road and this new build will look directly into our property at no. 33 Rouken Glen Road.

All upstairs first floor side windows, side bedroom windows, master ensuite windows and the large floor to ceiling upper hallway windows on the new plans for no. 29 overlook our property. We object to these substantially sized windows overlooking our property.

All these windows are overlooking our side garden (including patio area), kitchen, main family living room and one upstairs bedroom).

We object also to the proposed side and front terrace/balcony on these plans outside the first floor front bedroom (bedroom 2) on the grounds of overlooking our side patio, our side garden and front garden, kitchen & living room.

In addition to this there are three windows above the first-floor side bedroom and upper hallway windows coming out from the roof. These may be dormer or skylight windows. Either way they will again overlook our property. We object to these windows on the grounds of overlooking.

We object to the gallery noted in the proposed roof and attic floor plans as it overlooks our property.

We wish to object to these plans on the grounds of extensive overlooking with significant loss of privacy.

We wish to object to the inaccurate portrayal of our own side gable wall facing the newbuild property. These plans, like all the previous plans, portray our gable wall on that side as being without any windows which is misleading. These plans have a drawing of our apparent "windowless" gable wall; this is presenting our own property inaccurately to the planning officer/planning department as we have no less than three windows and two large window patio doors on this side gable wall, all of which are clear see-through glass.

To help the planning officers understand our objection we include a brief description of the floor plan of the affected areas of our property, no. 33 Rouken Glen Road.

Downstairs facing out onto Rouken Glen Road on the side next to no. 29, we have our main living/family room where we spend a significant amount of time. There are both front and side windows in this room. Upstairs on this side are two of our bedrooms. The bedroom to the rear has a window looking straight across at no 29. Also on this side, through our rear living/family room wall is our dining kitchen. We have patio doors which open from our dining kitchen onto our side patio area and garden where we have barbecues and regularly sit to enjoy family time with our four children and extended family/friends. We also have a side kitchen window just along from these patio doors, none of which have been included in the drawings of our house. Interestingly, the front

windows of our house have been included but not the side downstairs windows, upstairs bedroom window or the kitchen patio doors. If they were present on the drawings, our objection on the grounds of overlooking would be clear to see to anyone viewing these plans.

The now demolished house that was there, on the site of no. 29, had no windows overlooking our property and that was one of the reasons we purchased this house.

We have been used to privacy on that side and these new plans take away our privacy.

As an alternative, if this new build property at no 29 were to have the main entrance at the front; the proposed large windows on the first floor and the floor above would allow the new owners to enjoy scenic views of Rouken Glen Park. However, the current plans give a view of our side garden (including patio area), living room, dining kitchen and rear upper bedroom.

This alternative style of house, as described, with the main entrance at the front, would be more in keeping with the other properties on this road. These properties tend to have opaque bathroom windows of a smaller size situated on the ground floor, first floor and to the side of their properties. This avoids any issues of large scale overlooking to their neighbours as is proposed, unfortunately, with these plans for no 29 Rouken Glen Road.

We wish it to be noted that the BT line coming across the existing site at no 29 is the sole telecom line to our property at no 33. Therefore, if it is to be taken down to allow the construction of this newbuild at no. 29 it will need be appropriately re-located.

In summary, we object to the current plans for no 29 Rouken Glen Road on the grounds of:

- The large build size and the overlooking into our home (our family home since 2009)

Yours faithfully,

Martin & Gabrielle Lawwell

Copy: Paul Hughes

Hughes, Shaughnessy, McFarlane. Solicitors.

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2 Glenwood Drive,
Thornliebank,
GLASGOW G46 7EN

27/05/2022.

Dear Mr. Scott,

I am writing to you in connection with the planning application 2022/0242/TP

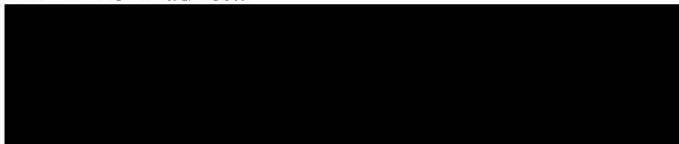
My garden borders the private lane which can be accessed by the residents whose properties give on to the lane. In the past lorries, flat bed trucks and even very long lorries with a mechanical digger have gone up the lane to take away rubble etc from 29, Rouken Glen Road. I have been really worried about the possibility of damage being done to my garage, wall and the drains in the lane with such large vehicles being driven up and backed down such a narrow lane. If that were to happen I do not know how it would be possible to prove that the damage had been done by trucks etc. accessing the back of 29 Rouken Glen Road. There is access at the front but I have never seen that being used.

With the prospect of a new large house being built on the site I am afraid that there will be even more heavy vehicles going up and down the lane.

I do not object to the construction of a new house even though it does not seem to be in keeping with the more traditional houses round about but I would ask that the lane should not be used to transport building materials when the size and weight of the lorries delivering them could be a risk to my property.

Yours,

Anne Marie Madden.



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Comments for Planning Application 2022/0242/TP

Application Summary

Application Number: 2022/0242/TP

Address: 29 Rouken Glen Road Giffnock East Renfrewshire G46 7EL

Proposal: Erection of detached two and one-half storey dwelling. (Amendment to Planning Permission Ref: 2021/0693/TP to allow alterations, deleting basement and alterations to roof profile)

Case Officer: Mr Derek Scott

Customer Details

Name: Mr Darren McCormack

Address: 27 Rouken Glen Road, Giffnock, East Renfrewshire G46 7EL

Comment Details

Commenter Type: Rec'd Neighbour Notification from Council

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Date 31st May 2022

FAO East Renfrewshire Council Planning Department

Dear Sir/Madam,

We recently received a letter regarding an amendment to Planning Permission Ref: 2021/0693/TP (Application number 2022/0242/TP) for the site at 29 Rouken Glen Road that we directly neighbour (at 27 Rouken Glen Road).

We have raised objections to the past versions of the plans but have so far been frustrated that our concerns have not been addressed. We are hopeful that the new administration and planning committee will give serious consideration to our objections and concerns with regard to this planning application bearing in mind the impact that this proposed development will have on our quality of life.

In reviewing the proposed plans, we have taken into consideration the various policy and guideline documents available to ourselves including East Renfrewshire Council's Local Development Plan (LDP), LDP Supplementary Planning Guidance: Daylight and Sunlight, Green Network and Environmental Management documents, and The Human Rights Act 1998. Following review of these policies/guidelines against the proposed plans we would like to outline our key objections as being:

- The loss of sunlight/daylight to our property and garden
- The loss of privacy to our garden and property
- The overdevelopment of the site
- the impact on the natural landscape
- the noise and disruption caused by such a large development

The amended plans now involve the raising in height of the proposed building's roof. We firmly believe that the higher roof combined with the proximity of the development to our house and overall size of the proposed property will cause an unacceptable loss of sunlight/daylight predominately to our habitable rooms on our ground floor (sitting room, living room and kitchen) on the east side of our property and our garden. Referring to the LDP SPG Daylight and Sunlight Design Guide, applying 'the 25 degree approach' under these circumstances would result in an unacceptable loss of sunlight/daylight to our habitable rooms and therefore would be in violation of the council's planning guidelines.

Furthermore, this increase in height of the roof means that this property will now be taller than those it neighbours (including our own) breaking the building line with the adjacent properties contravening LDP - Policy D15 - 'existing building lines should be respected'.

It should be noted that the previous property was 8m from our boundary and was a bungalow whereas the proposed dwelling will be just 3.8m from our boundary and will be significantly higher. As our ground floor is lower than the ground floor of the proposed neighbouring property there will be significant over-shadowing resulting in a restriction of sunlight and daylight through the windows of our habitable rooms. In addition, our kitchen and garden, which currently enjoys unrestricted sunlight throughout the morning will have a significantly reduced levels of direct light due to over-shadowing.

Furthermore, the plans include 2 side windows on the upper floor which will provide direct sightlines into our bedrooms on our first floor, one of which is occupied by our young son. These side windows will also facilitate a direct sight into our living room, kitchen and sitting rooms. The plans now also feature large windows at the rear of the proposed property which will give direct views into our garden. As I'm sure you can appreciate, these plans will have a huge impact upon our privacy and disregards the LDP - Policy D1 - The amenity of neighbouring properties should not be adversely affected by unreasonably restricting their sunlight or privacy.

Furthermore, we believe that these proposed plans breach Article 8 of the Human Rights Act which relates to respect for private and family life. With a young family we value our privacy and are deeply concerned by these plans which facilitate a clear and very concerning violation of our privacy by enabling views into 2 of our bedrooms along with the habitable rooms on our ground floor and our rear garden. As I'm sure you are aware, a number of new build properties have been built on Rouken Glen Road over the past few years and none of them contain side windows on the upper floors. They have all been built with adherence to the council's planning guidelines.

In addition we are concerned about the mature trees that line the border between the properties but are actually within the boundary of our property. The owner of the proposed house has already requested removal of these trees which we have refused. Therefore we want to highlight again that we do not agree to the removal of our trees and refer to LDP policy D1 - 'The development

should not impact on landscape character or the green network, involve significant loss of trees or important landscape, greenspace or biodiversity'. Not only are these trees important to the environment, they also provide a high degree of privacy, add character to our property and the surrounding area, and are inhabited by wildlife.

(LDP - Policy D1) 'The proposal should be of a size, scale, massing and density that is in keeping with the buildings in the locality and should respect local architecture, building form, design, and materials'. We believe that the plan involves over development of the site in terms of size, scale and massing. The previous property was 1.5 storeys whereas the new proposal is more than double in height.

Finally, we are concerned about the noise and disruption a new build of this scale and size will cause. We were very aware that while the original house was being demolished and the site being cleared, that the council set out specific times during the day when this work should be carried out. However, there were numerous occasions when work began before the agreed time thus breaching the guidelines set out by the council.

To support our objections, we are more than happy to provide recent floor plans of our property and we would welcome a site visit from a planning officer so that they can see for themselves the detrimental impact the proposed new build will have on our privacy, family life and enjoyment of our property.

Yours faithfully,

Mr & Mrs D. McCormack
27 Rouken Glen Road

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REPORT OF HANDLING

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REPORT OF HANDLING

Reference: 2022/0242/TP

Date Registered: 26th April 2022

Application Type: Full Planning Permission

This application is a Local Development

Ward: 3 -Giffnock And Thornliebank

Co-ordinates: 254816/:658783

Applicant/Agent:

Applicant:

Mr Rehan Tahir

18 Burnside Road

Giffnock

Glasgow

Scotland

G46 6TT

Agent:

Maurice Hickey

Unit 6, The Briggait

141 Bridgegate

Glasgow

Scotland

G1 5HZ

Proposal: Erection of detached two and one-half storey dwelling. (Amendment to Planning Permission Ref: 2021/0693/TP to allow alterations, deleting basement and alterations to roof profile)

Location: 29 Rouken Glen Road
Giffnock
East Renfrewshire
G46 7EL

CONSULTATIONS/COMMENTS: None.

PUBLICITY: None.

SITE NOTICES: None.

SITE HISTORY:

2019/0668/TP	Erection of two storey detached dwelling following demolition of existing dwelling and widening of driveway.	Approved Subject to Conditions	22.06.2020
2021/0693/TP	Erection of detached two and one-half storey dwelling with basement. (Amendment to Planning Permission Ref: 2019/0668/TP to allow alterations)	Approved Subject to Conditions	02.03.2022

REPRESENTATIONS: Three representations have been received, two objecting to the proposal and one indicating a neutral stance. Representations can be summarised as follows:

Objections

Overlooking
 Loss of daylight
 Overshadowing
 Over-development
 Impact on landscape/loss of trees
 Noise and disturbance during the construction phase
 Size of the dwelling
 Interference with existing utilities

Neutral

Potential damage to access lane at rear and to adjacent properties

DEVELOPMENT PLAN & GOVERNMENT GUIDANCE: See Appendix 1

SUPPORTING REPORTS: No reports have been submitted for consideration as part of this application.

ASSESSMENT:

The application site comprises a vacant plot which was until recently occupied by a detached one and a half storey dwelling and its curtilage. The former dwelling has been demolished and the site stripped of most of its vegetation. It lies within an established residential area on the north side of Rouken Glen Road.

Planning permission 2021/0693/TP was granted on 2 March 2022 for the erection of a two and a half storey dwelling with a basement. This was an amendment to an earlier permission 2019/0668/TP, granted on 22 June 2020 for the erection of a two storey dwelling and widening of driveway following the demolition of the original dwelling.

Planning permission is now sought for further alterations to the proposed dwelling to allow the removal of the basement storey and for alterations to the roof geometry.

The application requires to be assessed with regard to Policy D1 of the adopted East Renfrewshire Local Development Plan 2. Policy D1 requires that all development should not result in a significant loss of character or amenity to the surrounding area.

The two and a half storey dwelling approved under reference 2021/0693/TP was significantly larger and comprised greater massing than the traditional one and a half storey dwelling which previously stood on the site. Given the site's topography, the approved dwelling, including a basement, comprised a significant amount of underbuilding to the front. The combination of the dwelling's massing, size and underbuilding could have easily resulted in it being a dominant and incongruous addition to the streetscape to the detriment of the character and visual amenity of the area. Its impact in this regard was nevertheless mitigated by the careful design of the roof. The roof of the approved dwelling comprises two full-height hipped sections over the central and left-hand bays, with a lower hipped section over the right-hand bay. This helped break up the massing of the dwelling and lessened its overall impact on the streetscape.

The amendment to remove the basement storey raises no adverse amenity issues. It should also be noted that the removal of the basement facilitates an overall lowering of the proposed dwelling by 40cm.

The alterations to the roof geometry involve the continuation of the full-height roof structure over the right hand bay in lieu of the smaller secondary hip. This is to allow further accommodation in the attic storey. Notwithstanding the overall lowering of the dwelling, including the ridge and eaves, by 40cm, this enlargement of the roof is considered to significantly increase the massing of the dwelling to the extent that the proposed dwelling would be a dominant and incongruous addition to the streetscape. This would be to the detriment of the character and visual amenity of the area. This aspect of the proposal is therefore contrary to Policy D1 of LDP2.

The proposal would not give rise to any significant additional overlooking, overshadowing or loss of daylight given the nature of the changes and the dwelling's orientation in relation to the adjacent dwellings and distances from the site boundaries. Whilst there are roof light windows in the altered portion of the roof, those were also present on the previous approval and are at ceiling level over the upper landing area.

The objections relating to over-development of the plot; and impact on landscape/loss of trees are noted. However, the principle of the replacement dwelling is established and the proposal relates only to the changes to the roof geometry and the removal of the basement. Location plans do not normally show details relating to the proposal or the adjacent houses. Their purpose is to identify the location of the site. Constraints such as the location of adjacent windows are identified at a site visit. Any works to existing utilities to facilitate the works would require to be agreed separately with the utilities providers. Any damage to the shared access lane or to adjacent properties would be a private legal matter between the parties involved. The objection relating to the size of the dwelling has been considered above insofar as the size and massing is exacerbated by the alterations to the roof geometry. If the application is approved, a condition can be included to limit the hours of construction on site.

In conclusion, the proposal is contrary to Policy D1 of the adopted East Renfrewshire Local Development Plan 2 as the alteration and enlargement of the roof would significantly add to the massing of the dwelling, causing it to be a dominant and incongruous addition to the streetscape. This would be detrimental to the character and visual amenity of the area. There are no material considerations that indicate the application should not be refused. It is therefore recommended that the application be refused.

RECOMMENDATION: Refuse

PLANNING OBLIGATIONS: None.

REASON FOR REFUSAL:

1. The proposal is contrary to Policy D1 of the adopted East Renfrewshire Local Development Plan 2 as the alteration and enlargement of the roof would significantly add to the massing of the dwelling causing it to be a dominant and incongruous addition to the street scape. This would be detrimental to the character and visual amenity of the area.

ADDITIONAL NOTES:

None.

ADDED VALUE:

None

BACKGROUND PAPERS:

Further information on background papers can be obtained from Mr Derek Scott on 0141 577 3001.

Ref. No.: 2022/0242/TP
(DESC)

DATE: 28th June 2022

DIRECTOR OF ENVIRONMENT

Reference: 2022/0242/TP - Appendix 1

DEVELOPMENT PLAN:**Strategic Development Plan**

This proposal raises no strategic issues in terms of the Glasgow and the Clyde Valley Strategic Development Plan and therefore the East Renfrewshire Local Plan is the relevant policy document

Adopted East Renfrewshire Local Development Plan 2

Policy D1

Placemaking and Design

Proposals for development within the urban and rural areas should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. Proposals will be assessed against the 6 qualities of a successful place as outlined in SPP, Designing Streets and the Placemaking and Design Supplementary Guidance.

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. The proposal should be appropriate to its location, be high quality and of a size, scale, height, massing and density and layout that is in keeping with the buildings in the locality or appropriate to the existing building and should respect local architecture, building form and design;
3. Respect existing building lines and heights of the locality;
4. Create a well-defined structure of streets, public spaces and buildings;
5. Ensure the use of high quality sustainable and durable materials, colours and finishes that complement existing development and buildings in the locality;
6. Respond to and complement site topography and not impact adversely upon the green belt and landscape character and setting, green networks, features of historic interest, landmarks, vistas, skylines and key gateways. Existing buildings and natural features of suitable quality, should be retained and sensitively integrated into proposals including greenspace, trees and hedgerows;
7. Boundary treatment and landscaping should create a distinctive edge and gateway to the development and reflect local character;
8. Promote permeable and legible places through a clear sustainable movement hierarchy favouring walking, then cycling, public transport, then the private car as forms of

- movement;
9. Demonstrate connectivity through the site and to surrounding spaces via a network of safe, direct, attractive and coherent walking and cycling routes. These must be suitable for all age groups, and levels of agility and mobility to allow for ease of movement from place to place;
 10. Demonstrate that safe and functional pedestrian, cycle and vehicular access, and parking facilities and infrastructure, including for disabled and visitor parking, is provided in accordance with the Council's Roads Development Guide. Where appropriate, proposals will be required to provide secure and accessible shelters, lockers, showers and seating and be designed to meet the needs of all users. Cycle parking and facilities should be located in close proximity to the entrances of all buildings to provide convenience and choice for users;
 11. Incorporate integrated and enhance existing green infrastructure assets, such as landscaping, trees and greenspace, water management and SUDs including access and prioritise links to the wider green network as an integral part of the design process from the outset, in accordance with Policies D4 - D6. New green infrastructure must be designed to protect and enhance the habitat and biodiversity of the area and demonstrate a net gain;
 12. Unless justified, there will be a general presumption against landraising. Where there is a justifiable reason for landraising, proposals must have regard to the scale and visual impact of the resultant changes to the local landscape and amenity. Proposals that adversely impact upon the visual and physical connections through the site and to the surrounding areas will be resisted;
 13. Backland development should be avoided;
 14. Provide safe, secure and welcoming places with buildings and spaces, including open spaces, play areas and landscaping, designed and positioned to reduce the scope for anti-social behaviour and fear of crime, improve natural surveillance, passive overlooking, security and street activity;
 15. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by unreasonably restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Guidance;
 16. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the proposal;
 17. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by noise, dust, pollution and smell or poor air quality;
 18. Ensure buildings and spaces are future proof designed to be easily adaptable and flexible to respond to changing social, environmental, technological, digital and economic conditions;
 19. Incorporate provision for the recycling, storage, collection and composting of waste materials; and
 20. Incorporate the use of sustainable design and construction methods and materials in the layout and design to support a low carbon economy.

Proposals must meet the requirements of any development brief prepared by the Council for an allocated site.

Further detailed guidance and information will be set out in the Placemaking and Design Supplementary Guidance, Householder Design Supplementary Guidance and the Daylight and Sunlight Design Supplementary Guidance.

GOVERNMENT GUIDANCE:

None

Finalised 28/06/2022 AC(6)

**DECISION NOTICE
AND
REASONS FOR REFUSAL**

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EAST RENFREWSHIRE COUNCIL

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
(AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(SCOTLAND) REGULATIONS 2013**

REFUSAL OF PLANNING PERMISSIONRef. No. **2022/0242/TP****Applicant:**

Mr Rehan Tahir
18 Burnside Road
Giffnock
Glasgow
Scotland
G46 6TT

Agent:

Maurice Hickey
Unit 6, The Briggait
141 Bridgegate
Glasgow
Scotland
G1 5HZ

With reference to your application which was registered on 26th April 2022 for planning permission under the abovementioned Act and Regulations for the following development, viz:-

Erection of detached two and one-half storey dwelling. (Amendment to Planning Permission Ref: 2021/0693/TP to allow alterations, deleting basement and alterations to roof profile)

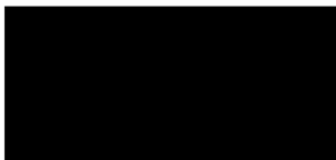
at: 29 Rouken Glen Road Giffnock East Renfrewshire G46 7EL

the Council in exercise of their powers under the abovementioned Act and Regulations hereby refuse planning permission for the said development.

The reason(s) for the Council's decision are:-

1. The proposal is contrary to Policy D1 of the adopted East Renfrewshire Local Development Plan 2 as the alteration and enlargement of the roof would significantly add to the massing of the dwelling causing it to be a dominant and incongruous addition to the street scape. This would be detrimental to the character and visual amenity of the area.

Dated 28th June 2022



Director of Environment
East Renfrewshire Council
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG
Tel. No. 0141 577 3001

The following drawings/plans have been refused

Plan Description	Drawing Number	Drawing Version	Date on Plan
Location Plan	PL01		
Block Plan Proposed	PL07		
Elevations Proposed	PL14	B	
Elevations Proposed	PL15	B	
Plans Proposed	PL12	A	
Plans Proposed	PL10	A	
Plans Proposed	PL11		
Plans Proposed	PL13	A	
Street Scene	PL17	A	

GUIDANCE NOTE FOR REFUSAL OF LOCAL DEVELOPMENTS DETERMINED UNDER DELEGATED POWERS

REVIEW BY EAST RENFREWSHIRE COUNCIL'S LOCAL REVIEW BODY

1. If the applicant is aggrieved by a decision to refuse permission (or by an approval subject to conditions), the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. A Notice of Review can be submitted online at www.eplanning.scotland.gov.uk. Please note that beyond the content of the appeal or review forms, **you cannot normally raise new matters** in support of an appeal or review, unless you can demonstrate that the matter could not have been raised before, or that its not being raised before is a consequence of exceptional circumstances. Following submission of the notice, you will receive an acknowledgement letter informing you of the date of the Local Review Body meeting or whether further information is required.

2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

CONTACT DETAILS

**East Renfrewshire Council
Development Management Service
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG**

**General Inquiry lines 0141 577 3001
Email planning@eastrenfrewshire.gov.uk**

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**NOTICE OF REVIEW
AND
SUPPORTING STATEMENT**

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2 Spiersbridge Way Thornliebank G46 8NG Tel: 0141 577 3001 Email: planning@eastrenfrewshire.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100189502-018

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	inkdesign architecture Ltd		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	Maurice	Building Name:	Unit 6, The Briggait
Last Name: *	Hickey	Building Number:	141
Telephone Number: *	0141 552 2729	Address 1 (Street): *	Bridgeway
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	Glasgow
Fax Number:	<input type="text"/>	Country: *	Scotland
		Postcode: *	G1 5HZ
Email Address: *	info@inkdesign.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="Rehan"/>	Building Number:	<input type="text" value="18"/>
Last Name: *	<input type="text" value="Tahir"/>	Address 1 (Street): *	<input type="text" value="Burnside Road"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text" value="Giffnock"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Glasgow"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="Scotland"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="G46 6TT"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="info@inkdesign.co.uk"/>		

Site Address Details

Planning Authority:	<input type="text" value="East Renfrewshire Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="29 ROUKEN GLEN ROAD"/>
Address 2:	<input type="text" value="GIFFNOCK"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="GLASGOW"/>
Post Code:	<input type="text" value="G46 7EL"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="658783"/>	Easting	<input type="text" value="254816"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Erection of detached two and one-half storey dwelling. (Amendment to Planning Permission Ref: 2021/0693/TP to allow alterations, deleting basement and alterations to roof profile)

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Supporting statement from Applicant attached in supporting documents.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

- 19-743-NoticeOfReview-ApplicantSupportingStatement - 19-743-PlanningApprovedDrawingPackage-2021_0693_TP - 19-743-PlanningRefusalDrawingPackage-2022_0242_TP - ufm25_E-Decision_Approval_Pack (19-743-PlanningApprovalPack-2021_0693_TP) - -773218 (19-743-PlanningApprovalHandlingReport-2021_0693_TP)

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

2022/0242/TP

What date was the application submitted to the planning authority? *

26/04/2022

What date was the decision issued by the planning authority? *

28/06/2022

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Maurice Hickey

Declaration Date: 28/09/2022

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East Renfrewshire Planning Department
Eastwood Park, Rouken Glen Road
Giffnock, G46 6UG

Date - 27/09/2022

RE: 29 Rouken Glen Road, G46 ?EL

Dear East Renfrewshire Council,

I am writing to appeal your decision of 28 June 2022 where you refused planning for a simpler roof design, which is cost effective to build and easier to install.

You have stated the enlargement of the roof would significantly add to the massing of the dwelling causing it to be a dominant and incongruous addition to the street scape. This would be detrimental to the character and visual amenity of the area.

I and many other professional architects, Timber Frame, Truss Frame companies like Flemingshouse Timber frame, Deeside Timber Frame, NorFrame, and Scotframe disagree with your decision which defies design logic and find your justification for refusal exaggerated. I have attached their email replies in the enclosure section for you to see their professional opinion.

Before I get to the Timber frame companies, let me briefly outline the lack of engagement I have had with the planning department which is why we find ourselves at this appeal stage. I believe all the main points that I had been sending as separate emails couple of months before the new application in March have been ignored. I am therefore going to mention them all again in this appeal, an appeal which has once again stopped the project.

Every time I've spoke to someone in the planning department they have never known the points highlighted by myself and even after long calls with the planning head of the department I've realized that no one in the planning department really understands how the build side of things actually work.

This many applications and 3 years of my time wouldn't have been wasted if the planning department even agreed to one site visit with me and not make me look like a bad guy by exaggerating my actions and them only wanting to deal with my architect. It's been a long and frustrating process for me to keep trying to explain to people who have just made their mind up and don't really care about the amount of financial loss someone like me has to incur while just trying to make a good sized eco family home that is near carbon zero at a sought after location.

I strongly believe a new application wasn't required for a change like this. Application

after application to make changes that suited the council more than me (that was our 3rd or 4th application). The new plan is not what I wanted originally but the planners seem to think other people won't like that house on that street when the truth is that when I got really fed up at one point when I was so angry looking at my financial loss, I ended up putting that empty plot on the market in November 2021 and the amount of interest and cash offers was incredible which showed me that how wrong the council is to think otherwise and thinking they know best of what size of house people should be living in. Potential buyers were literally ready to pay over the asking price with plans and were also saying they were going to go back and make the roof simpler (2 were builders that knew straight away that it was a very complicated roof design). Then my family said, by selling the plot with plans, I would be throwing away the past 3 years of hard work and planning for our family home away and for someone else to just come and build it and enjoy the work put in by me first identifying then buying cash as banks won't lend for knock downs, then knocking the old 250 year old cottage down and then planning for years and taking the financial hit.

I would like you to appreciate the financial hardships I have suffered as a result of the council delays. In order to fund this project, I had taken 700k out from my business at the end of 2019, costing me over 200k in rent from the commercial properties, this figure was 150k the last time I mentioned this on February 2022). To add to my financial worries, the build cost has went up to 1m with the basement, from 600k and I have now decided to take the basement out. Even without the basement the build cost is likely to be closer to 800k. To make matters worse, the situation the council is trying to put me into by making me build a complicated roof which now has been rejected by 4 timber frame companies to make off site to then add to the house, and no joinery firm is taking it on without me agreeing to a no warranty job as they will be working with another company and I will probably even need an onsite manager and near double the price of the roof. Further, to support this complicated roof, I have been advised by these companies. I need to put metal through the open part of the house to hold it from a double height corridor to then add the waist height part of the roof with zinc flat section in the middle to get a design no one will see unless they were looking for it (I know this because about 20 people have saw the pictures side by side and noticed straightaway the difference of what the council passed and what is much more suitable for the build and the people who are going to be living in it.

This is a key position the council does not seem to understand and I would like you to look objectively at the pictures provided against the reasons for the rejection. You will agree the change proposed makes absolute sense from a design, cost and installation prospective and would not be detrimental to the character and visual amenity of the area.

As stated before, I discussed this with the council planners/head of planning all this in emails and phone call, and they admit it they don't understand it and that it will have to be a new application for them to go through (back in Jan and Feb) and to understand it as they are short staffed and with a back log of applications even though mines has been delayed considerably.

The council are not understanding that I want the house made to last, with minimum

disruption and offsite built so it's much stronger (newer way and much easier) and put together on site and made water tight within 2 weeks. But that won't work with the roof design they are not budging from, after speaking to so many contractors I found out at the beginning of the year that it is so much hassle to even big timber frame companies, roofing and roof truss companies like Flemingshouse Timber frame, Deeside Timber Frame, NorFrame, and Scotframe who also own pascuals (roof trusses company) are saying to me that they can't do it without onsite customization work by another joinery company which would void there expensive timber frames warranty as you are making changes that are so rare and don't make sense in the world of making houses and the new easier way of putting that sort of roof together and using them won't make sense.

It's like buying an expensive customized piece of furniture then asking someone to customize it further to make it fit whereas it would be easier and much more cost effective to buy a piece of furniture that actually works to begin with.

I have been in discussion with truss companies to make this design work even though the increased costs are something I am reluctantly willing to bear, however they are telling me it's not just a singular increase, the increase will need to be across the board. So far I have had to bear increased costs even after I've paid the architect more money, structural engineer paid again to re do the foundations to carry the extra weight in the middle and still the contractors as there not really interested in doing this sort of work as it doesn't make sense. I don't really care about the extra space in the attic but that's not what's making me appeal. To proceed with the current design;

- I would need to agree to nulling warranties
- I would need to pay over the odds to make builders do things that they say don't make sense from a buildings point of view,
- I don't want to mess up the inside structure of the house as the weight of half that roof can't be on the outside load bearing walls the way it will be built
- which then has complicated the structural engineers work, which also cost me much more than the simple way and will need much more engineer on site visits as no party will agree that it's supposed to be their engineer
- more metal required in the roof which adds even more weight in the roof frame and needs cranes as it will be done after the timber frame is done and that part of the roof will still be needing customized
- And after all this expense and frustration is carrying for much longer on site I will be left with having less space in the house because of the metal going right through the house to hold the dips in the roof
- A more expensive foundation and complicated ground works which I've already paid the structural engineer to customize
- roofers charging much more as it's got 12 different parts to that roof and a high end company required that does the different parts of that roof and warranty will be costly as

it will be very difficult to fix it if something happened in the future with that waist height attic that makes no sense because it will also need to be built in a certain way to access later with all the different types of slopes and dips and materials being used.

- Our proposal would mean the roof having 7 parts and a company like Scotframe can build it offsite and no second contractor required and much more stronger built to last 100 years easily if the roofer also does a good job (which will be easier with design I'm asking to be passed).

- leaving not much space for pv either with complicated design as we also found out we will need the more expensive pv that are not the normal size and will look stupid as they will be put on different parts of the roof making the roof look even more stupid. This is like buying furniture for a room before even knowing the room size where as if the design is simple then the pv will look more symmetrical and suited to the roof.

- re-sell value being less in 10-20 years' time as the chances of the complicate roof causing issues will be much more it can cause much more.

- And I've never seen a complicated roof like that in the whole of East Renfrewshire where there are many huge new builds that are much bigger than mines (I stayed in Burnside road where there are many houses that are 4 storey and over 1.5 times size of this house, and with huge attics and basements that look amazing)

Again, the planners have been told all this in the emails in the past and phone calls with me and never once they have agreed to meet me because of covid which was also long gone and my comments of them elongating working from home causing these delays to all the people that have put in planning applications was blown out of proportion and used against me so they only then wanted to deal with my architect.

I am more than happy to come to any appeal meeting to discuss these points further.

I look forward to hearing from you.

Sincerely,

Rehan Tahir



Enclosures

Please see below communication from just one of the big timber frame company who are known to be able build any type of frame. I met them at the Birmingham Home Show at the National Exhibition Centre and that was after the others had rejected it and this company said that they can do anything else with people and contacts they have. Now they are even saying they can't do it without making it really complicated and a huge nightmare for the project manager, who also will then charge me more.



19-743-PL13-Propos
edRoofPlan-1 00-A3.p

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occupation of the dwelling hereby approved.

In the interest of public road safety and visual amenity.



{Front} Elevation as Proposed O 1:200



{Side} Elevation as Proposed O 1:200



7:57 4G+
5 Messages
649 19 - 743 - 29 Rouken Glen... A



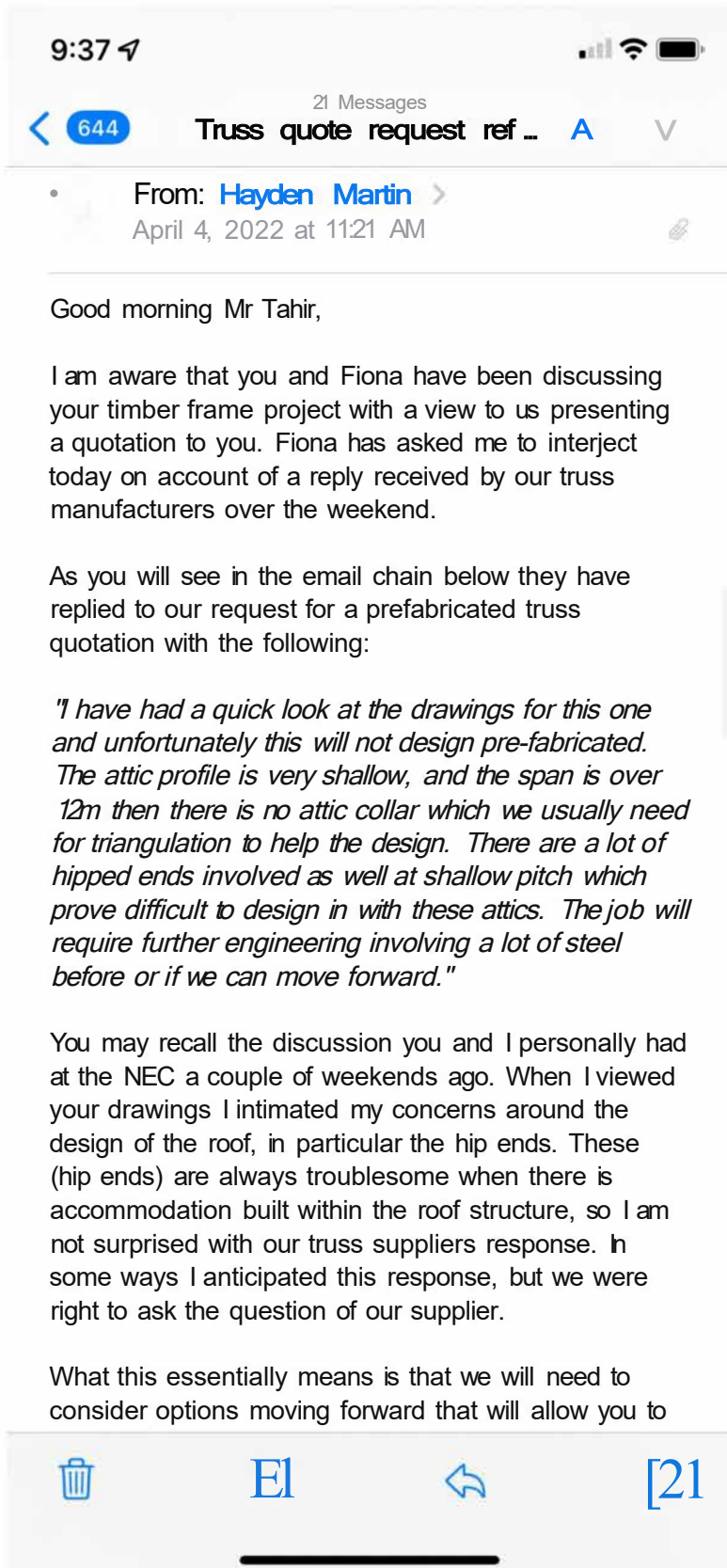
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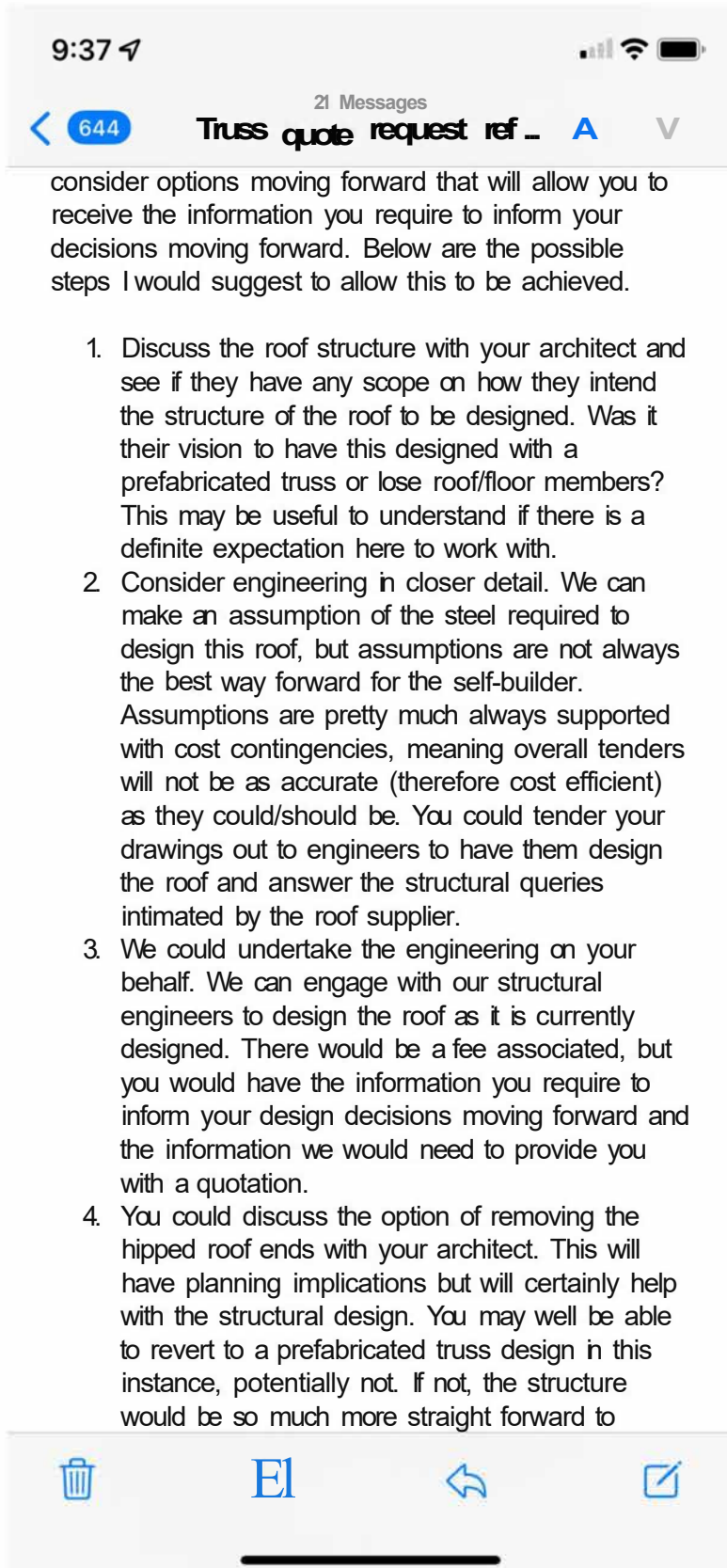


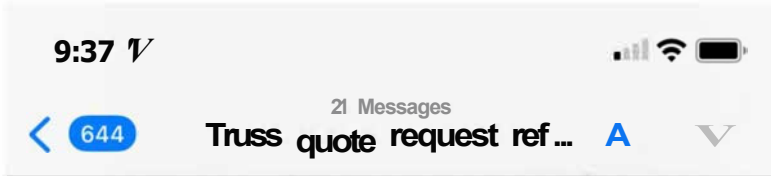
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instance, potentially not. If not, the structure would be so much more straight forward to create, meaning many practical and cost efficiencies.

Please consider these possible scenarios moving forward and let Fiona and I know which may suit you best.

I hope this helps you in some shape or form in the first instance.

Kind regards,



FLEMINGHOMES

Hayden Martin
Operations Director

haY.den@fleminghomes.co.uk

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REPORT OF HANDLING

Reference: 2021/0693/TP

Date Registered: 23rd August 2021

Application Type: Full Planning Permission

This application is a Local Development

Ward: 3 -Giffnock And Thornliebank

Co-ordinates: 254816/:658783

Applicant/Agent:

Applicant:

Mr Rehan Tahir
18 Burnside Road
Giffnock
Glasgow
G46 6TT

Agent:

Maurice Hickey
Unit 6, The Briggait
141 Bridgegate
Glasgow
G1 5HZ

Proposal: Erection of detached two and one-half storey dwelling with basement.
(Amendment to Planning Permission Ref: 2019/0668/TP to allow alterations)

Location: 29 Rouken Glen Road
Giffnock
East Renfrewshire
G46 7EL

CONSULTATIONS/COMMENTS: None.

PUBLICITY: None.

SITE NOTICES: None.

SITE HISTORY:

2019/0668/TP	Erection of two storey detached dwelling following demolition of existing dwelling and widening of driveway.	Approved Subject to Conditions	22.06.2020
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REPRESENTATIONS: Three objections have been received and can be summarised as follows:

Overlooking
Overshadowing
Loss of daylight
Over-development
Size and design of the proposed dwelling
Removal of trees
Basement excavation could cause damage to surrounding dwellings/property
Noise and disruption during the construction phase
Breaks the building line on Rouken Glen Road
Alternative design should be considered

DEVELOPMENT PLAN & GOVERNMENT GUIDANCE: See Appendix 1

SUPPORTING REPORTS: No reports have been submitted for consideration as part of this application.

ASSESSMENT:

The application site was until recently occupied by a detached one and a half storey dwelling and its curtilage. The dwelling has been demolished and the site stripped of most of its vegetation. It lies within an established residential area on the north side of Rouken Glen Road. Rouken Glen Road, at this point, is a dual carriageway that swings west from its original alignment towards the Spiersbridge Roundabout. The original alignment runs in a north-westerly direction towards Spiersbridge Road at a point 140 metres north of the roundabout. The site is located at the point where the original and new alignments diverge and has vehicular access from the original section of road only. The existing vehicular access is 2.5 metres wide. An access lane lies to the rear.

The area is characterised by a variety of house types of varying forms. The immediately adjacent dwellings to the north west and south east are semi-detached and detached two storey dwellings respectively. Further to the north west is a row of two storey sandstone terraced properties. Detached and semi-detached bungalows lie further to the south-east and to the rear. The immediately adjacent two storey semi-detached dwellings and the terrace dwellings are finished in slate and red sandstone.

Planning permission 2019/0668/TP for the erection of two storey detached dwelling following demolition of existing dwelling and widening of driveway was granted subject to conditions on the site on 22 June 2020. The consented dwelling measures approximately 19m wide by 13.7m deep by approximately 10m high, taking into account underbuilding on the front elevation. It is proposed to be externally finished in red/brown facing brick on the lower walls, dark grey cement cladding on the upper walls and the cills, lintels, string course and base course are proposed to be sandstone and is of a contemporary design with a hipped roof.

The consented dwelling is proposed to be set approximately 7m back from Rouken Glen Road and approximately 3.8m and 10m from the north-west and south-east side boundaries respectively. Due to the irregular alignment of the rear boundary, the dwelling was proposed to lie 8.8m and 14m from the rear plot boundary. Including the ground to either side of the site, the proposal would have a private garden area of 552sqm. The existing vehicular access onto the original section of Rouken Glen Road was proposed to be widened to 6 metres.

Planning permission is now sought as an amendment to planning permission 2019/0668/TP for the erection of a two and a half storey dwelling with a basement. With the exception of small changes to window and door arrangements, including those to serve the additional floors and the inclusion of an upper level canopy over the entrance, the design of the current proposed dwelling is very similar to the approved dwelling. Other changes relative to the approved scheme include an increase in the ridge height by 30cm to 10.3 metres high and a corresponding increase in the eaves height by 30cm. The top floor is located within the roof space and is served by roof light windows. The basement is proposed to be dug out to a depth of 3.37 metres below the ground floor level. It is mainly set below the ground, however given the drop in levels towards the west of the site, it protrudes partially above ground. It is served by two side-facing ground level windows on the west elevation. Those windows have an internal cill height of 2 metres. A balcony with a side privacy screen is also proposed on the front elevation. The dwelling is proposed to be externally finished in facing brick, smooth render and grey/black slate effect roofing tiles. The proposed dwelling occupies the same footprint as the consented dwelling. It measures 3.8 metres from the west site boundary at its closest point and 10 metres from the east site boundary which corresponds with the approved scheme. The separation distances from the

rear of the proposed dwelling to the rear boundary are also as per the approved scheme. The existing driveway is proposed to be widened to 6 metres, again as per the approved scheme.

The proposal requires to be assessed against Policies D1, D2, D7 and D15 of the adopted East Renfrewshire Local Development Plan and any material planning considerations.

Policy D1 requires that all development should not result in a significant loss of character or amenity to the surrounding area; the proposal should be of a size, scale and massing in keeping with the buildings in the locality and should respect local architecture, building form, design and materials; the amenity of neighbouring properties should not be adversely affected; and the Council's access and parking requirements should be met.

Policy D2 supports development within the general urban area where compatible with the character and amenity of the area and where it complies with other appropriate local plan policies.

Policy D7 states that new development should incorporate open space provision as set out within the adopted Supplementary Planning guidance: Green Network and Environmental Management (Green Network SPG). The Green Network SPG sets out the minimum standards for private garden sizes and states, among other things, that rear gardens should be at least 10 metres deep.

Policy D15 states that replacement dwellings should reflect the scale and character of the surrounding residences and should be designed to contribute towards the visual character of the area.

As noted above, this section of Rouken Glen Road is characterised by a variety of detached and semi-detached house types of varying storey heights and designs. The introduction of a two storey dwelling at this location would therefore be generally in keeping with this mixed established character. It is noted that the proposed dwelling has been designed to ensure its ridge height is similar to those of the dwellings to either side and generous separation remains between the proposed dwelling and the adjacent dwellings to either side. The proposed dwelling is considered to be in keeping with the character of the surrounding area and complements to surrounding settlement pattern. It does not significantly breach the building line formed by the dwellings to either side to an extent that would be detrimental to the character or visual amenity of the area. Whilst it is a larger detached house, its scale and massing is considered to be appropriate at this location given the massing of the built forms to either side. The use of articulation on the front elevation helps reduce the massing when viewed from oblique angles on Rouken Glen Road. Overall, the house to plot ratio is acceptable and the proposal does not lead to the over-development of the site.

Whilst part of the rear garden is less than 10 metres deep, this is marginal at 8.8 metres. Further, there is only one upper floor window from where it would be possible to directly overlook the adjacent garden to the rear at the point where the rear garden is 8.8 metres deep. However, this window would only directly overlook the very rear portion of the adjacent rear garden and would not give rise to direct window to window overlooking. Similarly, the attic floor rear-facing roof light windows do not directly overlook the garden to the rear and do not give rise to direct window to window overlooking. The varying depth of the rear garden is not therefore considered to have a detrimental impact on the amenity of the dwelling to the rear.

Given the design of the dwelling, the separation distances from the site boundaries and the orientation of the proposed dwelling in relation to the neighbouring houses, there would be no significant additional overlooking, overshadowing or loss of daylight. There would be potential for overlooking from upper floor side-facing windows serving an en-suite bathroom and a bedroom and from an upper landing window towards habitable rooms on the adjacent dwelling at 33

Rouken Glen Road. The side-facing bedroom window are secondary as this bedroom has another window. It is therefore considered that the side-facing bedroom window, as well as the bathroom window, can be opaque-glazed to address any overlooking. This can be secured by a condition should the application be approved. The upper hall is not a habitable room and further the upper window is over a void area and as such, it would not be possible to stand at this window. This, coupled with the separation distance to the closest dwelling in that direction at number 33 Rouken Glen Road ensures that there will be no significant additional overlooking from those windows. There are two first floor windows on the west elevation facing 27 Rouken Glen Road. Those are proposed to serve bathrooms and will be opaque-glazed. This can be secured by condition. It is noted that side-facing windows are proposed on the front elevation as part of a square bay window. Given their size and distance from the adjacent properties, those windows would not be considered to give rise to a significant overlooking issue. There would be potential for overlooking to the side from the proposed front balcony. However, the applicant has proposed the use of a privacy screen and this can be secured by condition. Using the 25 degree approach to assess impact on daylight, ground floor windows on the adjacent dwelling at number 27 Roukenglen Road have the potential to be affected. However, this would not be significantly greater than the approved scheme and those windows were already impacted by the pre-existing mature boundary planting on the site's western boundary. The proposal would not therefore be considered to give rise to a significant loss of daylight entering the adjacent properties.

The finished levels, measured at specific points above OD, can be submitted for approval prior to work commencing if the application is approved. This will ensure the Council can have precise control of the finished levels of the development in the interest of visual amenity.

Details of the car-parking and turning area and their provision prior to the occupation of the proposed dwelling can be secured by condition.

The proposal is therefore considered to generally comply with the terms of Policies D1, D2, D7 and D15 of the adopted East Renfrewshire Local Development Plan. Where it does not, there are material consideration that justify granting planning permission as an exception to the specific terms of the SPG.

In terms of the grounds of objection that have not been considered above the following comments are made:

The site does not lie within a tree preservation order area and the Council has no control over the removal of trees from the site. Any structural issues pertaining to the development of the site, including the excavation of the basement, will be assessed at the Building Warrant stage. This is not therefore a material planning consideration. A condition can be included on any planning permission granted to control the hours of work on site. The design has been considered and found to be acceptable.

The Proposed Local Development Plan 2 is a material consideration and with regard to this planning application, the relevant policies are considered to be D1, D1.2, D2 and D6. The aforementioned policies largely reflect the adopted Local Development Plan policies. Consequently, for reasons stated above, it is considered that the proposed works accord with the relevant policies in the Proposed Local Development Plan.

In conclusion, the proposal generally complies with the terms of the Local Development Plan. Where it does not, there are material considerations that justify granting planning permission as an exception to the specific terms of the SPG. There are no material considerations that indicate the application should not be approved. It is therefore recommended that the application is approved subject to the conditions below.

RECOMMENDATION: Approve Subject to Conditions

PLANNING OBLIGATIONS: None.

CONDITIONS:

1. Prior to the commencement of any work on site, details of the driveway, widened to 6 metres as shown on the approved site plan reference PL 07, shall be submitted and approved in writing by the Planning Authority. Such details shall show the driveway formed and surfaced such that no loose material or surface water discharges out onto the public road. The driveway shall incorporate a footway crossover. The driveway shall be altered in accordance with the approved details prior to the occupation of the dwelling hereby approved.

Reason: In the interest of public road safety.

2. Prior to the commencement of any work in site, details of the provision and location of three in-curtilage car-parking spaces, all areas of hardstanding and an in-curtilage turning area shall be submitted and approved in writing by the Planning Authority. Thereafter, the car-parking and turning area shall be formed in accordance with the approved details prior to the occupation of the dwelling hereby approved.

Reason: In the interest of public road safety and visual amenity.

3. Development shall not commence until samples of materials to be used on all external surfaces of the building and hard surfaces have been submitted to and approved in writing by the planning authority. Thereafter the development shall be implemented in accordance with the approved details.

Reason: To ensure the development is acceptable in appearance.

4. Development shall not commence until details and location of all walls (including retaining walls) and fences to be erected on the site have been submitted to and approved in writing by the planning authority. Thereafter the development shall be implemented in accordance with the approved details.

Reason: To ensure the development is acceptable in appearance.

5. The windows shaded blue on the approved plan shall be glazed with obscure glass prior to the development being brought into use/occupied. The obscure glass shall be retained in position and shall not be removed unless approved in writing by the planning authority. Development shall not commence until a sample of the obscure glass has been submitted to and approved in writing by the planning authority.

Reason: To protect the privacy of the adjacent property and to prevent overlooking.

6. The principles of Sustainable Urban Drainage Systems (SUDS) for the surface water regime shall be incorporated into the development. Development shall not commence until details of the surface water management and SUDS proposals have been submitted to and approved in writing by the planning authority. Thereafter the surface water management details shall fully be implemented as approved.

Reason: In the interests of sustainable development.

7. Development shall not commence until detailed levels, diagrams and sections, showing the existing and proposed levels throughout the site and finished floor levels in relation to a fixed datum point have been submitted to and approved in writing by the planning authority. Thereafter the development shall be constructed in accordance with the approved levels, diagrams and sections.

Reason: To ensure that the levels are acceptable at this location.

8. There shall be no construction work or offloading of delivered materials at the development site outwith the hours of 0800 to 1900 Monday to Friday and 0800 to 1300 on Saturday with no working on Sunday or local or national public holidays unless minor and temporary amendments have been otherwise agreed in advance in writing by the planning authority. The starting up/warming up and shutting down of any construction machinery outwith these hours shall not be audible from the boundary of any noise sensitive property.

Reason: To prevent noise nuisance to the surrounding area.

9. The privacy screen shaded blue on the approved plan reference PL14 shall be installed prior to the occupation of the dwelling hereby approved. The screen shall be retained in position and shall not be removed unless approved in writing by the planning authority. Development shall not commence until full details of the screen have been submitted to and approved in writing by the planning authority.

Reason: To protect the privacy of the adjacent property and to prevent overlooking.

ADDITIONAL NOTES:

The proposed development lies within a coal mining area which may contain unrecorded coal mining related hazards. If any coal mining feature is encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848.

Further information is also available on the Coal Authority website at:
www.gov.uk/government/organisations/the-coal-authority

East Renfrewshire Council Roads Service should be consulted regarding the specification for the formation of the necessary footway crossover.

ADDED VALUE:

Conditions have been added that are necessary to control or enhance the development and to ensure the proposal complies with the Council's Local Development Plan policies.

BACKGROUND PAPERS:

Further information on background papers can be obtained from Mr Derek Scott on 0141 577 3861.

Ref. No.: 2021/0693/TP

(DESC)

DATE: 2nd March 2022 Finalised ACa (GMcC)

DIRECTOR OF ENVIRONMENT

Reference: 2021/0693/TP - Appendix 1

DEVELOPMENT PLAN:

Strategic Development Plan

This proposal raises no strategic issues in terms of the Glasgow and the Clyde Valley Strategic Development Plan and therefore the East Renfrewshire Local Plan is the relevant policy document

Adopted East Renfrewshire Local Development Plan

Policy D1

Detailed Guidance for all Development

Proposals for development should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. In some cases, where the criteria have not been met, a written justification will be required to assist with assessment.

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. The proposal should be of a size, scale, massing and density that is in keeping with the buildings in the locality and should respect local architecture, building form, design, and materials;
3. The amenity of neighbouring properties should not be adversely affected by unreasonably restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Planning Guidance;
4. The development should not impact adversely on landscape character or the green network, involve a significant loss of trees or other important landscape, greenspace or biodiversity features;
5. Developments should incorporate green infrastructure including access, landscaping, greenspace, water management and Sustainable Urban Drainage Systems at the outset of the design process. Where appropriate, new tree or shrub planting should be incorporated using native species. The physical area of any development covered by impermeable surfaces should be kept to a minimum to assist with flood risk management. Further guidance is contained within the Green Network and Environmental Management Supplementary Planning Guidance;
6. Development should create safe and secure environments that reduce the scope for anti-social behaviour and fear of crime;
7. Developments must be designed to meet disability needs and include provision for disabled access within public areas;
8. The Council will not accept 'backland' development, that is, development without a road frontage;
9. Parking and access requirements of the Council should be met in all development and

appropriate mitigation measures should be introduced to minimise the impact of new development. Development should take account of the principles set out in 'Designing Streets';

10. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the development;
11. Developments should include provision for the recycling, storage, collection and composting of waste materials;
12. Where possible, all waste material arising from construction of the development should be retained on-site for use as part of the new development;
13. Where applicable, new development should take into account the legacy of former mining activity;
14. Development should enhance the opportunity for and access to sustainable transportation, including provision for bus infrastructure, and particularly walking and cycle opportunities including cycle parking and provision of facilities such as showers/lockers, all where appropriate. The Council will not support development on railways soloms or other development that would remove opportunities to enhance pedestrian and cycle access unless mitigation measures have been demonstrated;
15. The Council requires the submission of a design statement for national and major developments. Design statements must also be submitted in cases where a local development relates to a site within a conservation area or Category A listed building in line with Planning Advice Note 68: Design Statements.
16. Where applicable, developers should explore opportunities for the provision of digital infrastructure to new homes and business premises as an integral part of development.

Policy D2

General Urban Areas

Development will be supported within the general urban areas, as defined on the Proposals Map, where compatible with the character and amenity of the locality and surrounding land uses and where it complies with other appropriate policies of the Plan.

Policy D7

Green Infrastructure and Open Space Provision within New Development

New development proposals should incorporate a range of green infrastructure including open space provision, multi use access, sustainable urban drainage, wildlife habitat and landscaping. This infrastructure should not only form an integral part of the proposed scheme but should complement its surrounding environment.

Further detailed information and guidance is set out in the Green Network and Environmental Management Supplementary Planning Guidance.

Policy D15

Sub-division of the Curtilage of a Dwellinghouse for a New Dwellinghouse and Replacement of an Existing House with a New House

The proposed plot should reflect the established pattern of development and should be of a size and shape capable of accommodating a dwellinghouse. There should also be sufficient land to provide garden ground that is of a scale and character compatible with the locality.

Any new house must reflect the scale and character of the surrounding residences and the established pattern of development in the area. It should be designed to contribute to the visual character of the area.

Existing building lines should be respected.

Development should provide safe vehicular access and parking in accordance with the Council's roads and parking standards.

Proposed Local Development Plan 2

Policy D1

Placemaking and Design

Proposals for development within the urban and rural areas should be well designed, sympathetic to the local area and demonstrate that the following criteria have been considered, and, where appropriate, met. Proposals will be assessed against the 6 qualities of a successful place as outlined in SPP, Designing Streets and the Placemaking and Design Supplementary Guidance.

1. The development should not result in a significant loss of character or amenity to the surrounding area;
2. The proposal should be appropriate to its location, be high quality and of a size, scale, height, massing and density that is in keeping with the buildings in the locality or appropriate to the existing building and should respect local architecture, building form and design;
3. Respect existing building lines and heights of the locality;
4. Create a well-defined structure of streets, public spaces and buildings;
5. Ensure the use of high quality sustainable and durable materials, colours and finishes that complement existing development and buildings in the locality;
6. Respond to and complement site topography and not impact adversely upon the green belt and landscape character, green networks, features of historic interest, landmarks, vistas, skylines and key gateways. Existing buildings and natural features of suitable quality, should be retained and sensitively integrated into proposals including greenspace, trees and hedgerows;
7. Boundary treatment and landscaping should create a distinctive edge and gateway to the development and reflect local character;
8. Promote permeable and legible places through a clear sustainable movement hierarchy favouring walking, then cycling, public transport, then the private car as forms of movement;
9. Demonstrate connectivity through the site and to surrounding spaces via a network of safe, direct, attractive and coherent walking and cycling routes. These must be suitable for all age groups, and levels of agility and mobility to allow for ease of movement from place to place;
10. Demonstrate that safe and functional pedestrian, cycle and vehicular access, and parking facilities and infrastructure, including for disabled and visitor parking, is provided in accordance with the Council's Roads Development Guide. Where appropriate, proposals will be required to provide secure and accessible shelters, lockers, showers and seating and be designed to meet the needs of all users. Cycle parking and facilities should be located in close proximity to the entrances of all buildings to provide convenience and

- choice for users;
11. Incorporate integrated and enhance existing green infrastructure assets, such as landscaping, trees and greenspace, water management and SUDs including access and prioritise links to the wider green network as an integral part of the design process from the outset, in accordance with Policies D4 - D6. New green infrastructure must be designed to protect and enhance the habitat and biodiversity of the area and demonstrate a net gain;
 12. There will be a general presumption against all proposals that involve landraising. Where there is a justifiable reason for landraising, proposals must have regard to the scale and visual impact of the resultant changes to the local landscape and amenity. Proposals that adversely impact upon the visual and physical connections through the site and to the surrounding areas will be resisted;
 13. Backland development should be avoided;
 14. Provide safe, secure and welcoming places with buildings and spaces, including open spaces, play areas and landscaping, designed and positioned to reduce the scope for anti-social behaviour and fear of crime, improve natural surveillance, passive overlooking, security and street activity;
 15. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by unreasonably restricting their sunlight or privacy. Additional guidance on this issue is available in the Daylight and Sunlight Design Guide Supplementary Guidance;
 16. Development should minimise the extent of light pollution caused by street and communal lighting and any floodlighting associated with the proposal;
 17. The amenity of residents, occupants and users of neighbouring existing and new buildings and spaces should not be adversely affected by noise, dust, pollution and smell or poor air quality;
 18. Ensure buildings and spaces are future proof designed to be easily adaptable and flexible to respond to changing social, environmental, technological, digital and economic conditions;
 19. Incorporate provision for the recycling, storage, collection and composting of waste materials; and
 20. Incorporate the use of sustainable design and construction methods and materials in the layout and design to support a low carbon economy.

Proposals must meet the requirements of any development brief prepared by the Council for an allocated site.

Further detailed guidance and information will be set out in the Placemaking and Design Supplementary Guidance, Householder Design Supplementary Guidance and the Daylight and Sunlight Design Supplementary Guidance.

Policy D1.2

Residential Sub-division and Replacement

Proposals will be assessed against the following criteria:

1. Reflect the scale and character of the surrounding residences and the established pattern of development in the area;
2. Should be of a size and shape capable of accommodating a residential property

- and compatible with the locality;
3. There should be sufficient land to provide garden ground that is of a scale and character compatible with the locality for the proposed and donor properties;
 4. Provide safe vehicular access and parking for the proposed and donor properties;
 5. Not adversely impact upon the setting of the donor property; and
 6. Respect existing building lines.

Policy D2:

General Urban Areas

Development will be supported within the general urban areas, shown on the Proposals Map. Proposals will be required to demonstrate that the proposed development is appropriate in terms of its location and scale and will not result in a significant loss of character or amenity to the surrounding area. Proposals must also comply with appropriate policies of the Proposed Plan.

Policy D6

Open Space Requirements

Proposals will be required to incorporate multi-functional, integrated and accessible on-site green networks and green infrastructure, including open space provision, wildlife habitats and landscaping.

Proposals will be required to meet the following criteria:

1. Demonstrate that the provision and distribution of open space and green infrastructure has been integrated into the design approach from the outset and has been informed by the context and characteristics of the site using key natural and physical features. Proposals should be designed to accommodate users of all age groups, and levels of agility and mobility;
2. Provide a network and hierarchy of open space to create a structured and legible framework for development, which clearly distinguishes public space, semi-public space and private space using appropriate boundary treatments. Design and layout of proposals should encourage species dispersal through improving connectivity and the availability of habitats. New planting must promote and enhance the biodiversity of the area;
3. Complement, extend and connect existing open spaces and provide links to the wider green network;
4. Make provision for the long-term management and maintenance of open space. Details of maintenance requirements and arrangements must be set out, including who is responsible for these requirements;
5. Integrate Sustainable Urban Drainage Systems (SUDs) features with open space and active travel networks as part of a multifunctional approach to landscape design. SUDs may form part of open spaces subject to their design, provided they are accessible and contribute to the amenity value of the wider open space; and
6. Meet the minimum open space requirements set out in Schedule 4.

GOVERNMENT GUIDANCE: None

Environment Department
Head of Environment (Chief Planning Officer): Gillian McCarney

2 Spiersbridge Way, Spiersbridge Business Park, Thornliebank, G46 8NG
Phone: 0141 577 3001 Fax: 0141 577 3781 DX: 501601 GIFFNOCK

Our Ref: 2021/0693/TP
Your Ref:
Date: 4th March 2022
When calling Please ask for: Mr Derek Scott derek.scott@eastrenfrewshire.gov.uk
Telephone No: 0141 577 3861

Maurice Hickey
Unit 6, The Briggait
141 Bridgegate
Glasgow
Scotland
G1 5HZ

Dear Sir/Madam,

TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
(AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(SCOTLAND) REGULATIONS 2013
NOTIFICATION OF DECISION - APPROVAL OF PLANNING PERMISSION

Ref No: 2021/0693/TP
Location: 29 Rouken Glen Road Giffnock East Renfrewshire G46 7EL
Proposal: Erection of detached two and one-half storey dwelling with basement. (Amendment to Planning Permission Ref: 2019/0668/TP to allow alterations)

The Council has approved your application, and I have enclosed the consent notice, which also lists any conditions attached to the approval. The stamped approved drawings are available to view and download from the Council's website www.eastrenfrewshire.gov.uk/planningonline by searching under the application reference number.

If you are aggrieved by the grant of permission subject to conditions, you may appeal or seek a review of these conditions. Please see the notes attached to your decision notice for the procedures you should follow and the timescales involved.

You may still require permission under the Building Scotland Act 2003 before commencing your proposal and I would suggest that, if you have not already done so, you should contact the Building Standards Section at the above address to establish whether such permission is necessary.

Yours faithfully

Gillian McCarney
Head of Environment (Chief Planning Officer)

Encl.

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
(AS AMENDED BY THE PLANNING ETC (SCOTLAND) ACT 2006)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE)
(SCOTLAND) REGULATIONS 2013**

CONDITIONAL PLANNING APPROVALREF NO. **2021/0693/TP****Applicant:**

Mr Rehan Tahir
18 Burnside Road
Giffnock
Glasgow
Scotland
G46 6TT

Agent:

Maurice Hickey
Unit 6, The Briggait
141 Bridgegate
Glasgow
Scotland
G1 5HZ

With reference to your application registered on 23rd August 2021 for the following development:-

Erection of detached two and one-half storey dwelling with basement. (Amendment to Planning Permission Ref: 2019/0668/TP to allow alterations)

at: 29 Rouken Glen Road Giffnock East Renfrewshire G46 7EL

The Council in exercise of its powers under the above Acts and Regulations now grant planning permission for the above development in accordance with the particulars given in the application and the plans listed below.

To comply with the provisions of Section 58 of the above Act, the development must be begun not later than the expiration of three years beginning with the date of this permission. Any condition(s) attached to this consent, with the reasons for imposing them as shown below.

The reason(s) why the Council made this decision are as follows:

1. The development is considered to generally comply with the development plan policy and where it does not fully comply there are material considerations to indicate the development should be approved as detailed in the Report of Handling.

The approval is subject to the following condition(s):-

1. Prior to the commencement of any work on site, details of the driveway, widened to 6 metres as shown on the approved site plan reference PL 07, shall be submitted and approved in writing by the Planning Authority. Such details shall show the driveway formed and surfaced such that no loose material or surface water discharges out onto the public road. The driveway shall incorporate a footway crossover. The driveway shall be altered in accordance with the approved details prior to the occupation of the dwelling hereby approved.

Reason: In the interest of public road safety.

2. Prior to the commencement of any work in site, details of the provision and location of three in-curtilage car-parking spaces, all areas of hardstanding and an in-curtilage turning area shall be submitted and approved in writing by the Planning Authority. Thereafter, the car-parking and turning area shall be formed in accordance with the approved details prior to the occupation of the dwelling hereby approved.

Reason: In the interest of public road safety and visual amenity.

3. Development shall not commence until samples of materials to be used on all external surfaces of the building and hard surfaces have been submitted to and approved in writing by the planning authority. Thereafter the development shall be implemented in accordance with the approved details.

Reason: To ensure the development is acceptable in appearance.

4. Development shall not commence until details and location of all walls (including retaining walls) and fences to be erected on the site have been submitted to and approved in writing by the planning authority. Thereafter the development shall be implemented in accordance with the approved details.

Reason: To ensure the development is acceptable in appearance.

5. The windows shaded blue on the approved plan shall be glazed with obscure glass prior to the development being brought into use/occupied. The obscure glass shall be retained in position and shall not be removed unless approved in writing by the planning authority. Development shall not commence until a sample of the obscure glass has been submitted to and approved in writing by the planning authority.

Reason: To protect the privacy of the adjacent property and to prevent overlooking.

6. The principles of Sustainable Urban Drainage Systems (SUDS) for the surface water regime shall be incorporated into the development. Development shall not commence until details of the surface water management and SUDS proposals have been submitted to and approved in writing by the planning authority. Thereafter the surface water management details shall fully be implemented as approved.

Reason: In the interests of sustainable development.

7. Development shall not commence until detailed levels, diagrams and sections, showing the existing and proposed levels throughout the site and finished floor levels in relation to a fixed datum point have been submitted to and approved in writing by the planning authority. Thereafter the development shall be constructed in accordance with the approved levels, diagrams and sections.

Reason: To ensure that the levels are acceptable at this location.

8. There shall be no construction work or offloading of delivered materials at the development site outwith the hours of 0800 to 1900 Monday to Friday and 0800 to 1300 on Saturday with no working on Sunday or local or national public holidays unless minor and temporary amendments have been otherwise agreed in advance in writing by the planning authority. The starting up/warming up and shutting down of any construction machinery outwith these hours shall not be audible from the boundary of any noise sensitive property.

Reason: To prevent noise nuisance to the surrounding area.

9. The privacy screen shaded blue on the approved plan reference PL14 shall be installed prior to the occupation of the dwelling hereby approved. The screen shall be retained in position and shall not be removed unless approved in writing by the planning authority. Development shall not commence until full details of the screen have been submitted to and approved in writing by the planning authority.

Reason: To protect the privacy of the adjacent property and to prevent overlooking.



The following drawings/plans have been approved

Plan Description	Drawing Number	Drawing Version	Date on Plan
Location Plan	PL06		
Block Plan Proposed	PL07		
Plans Proposed	PL10		
Plans Proposed	PL11		
Plans Proposed	PL09		
Plans Proposed	PL13		
Elevations Proposed	PL14		
Elevations Proposed	PL15		
Street Scene	PL17		

Notes

Planning Officials may monitor the site during the course of development to ensure compliance with the planning permission hereby granted.

It should be understood that this planning permission does not carry with it any approval which may be necessary under the Building (Scotland) Act 2003 or any other enactment.

No materials or skips should be placed on the footpath / road without the prior written consent of East Renfrewshire Council Roads and Transportation Service, 2 Spiersbridge Way, Spiersbridge Business Park, Thornliebank, East Renfrewshire, G46 8NG.

It is the applicants responsibility to obtain approval of neighbouring landowners should any part of the development encroach over the boundary or if entry is required during construction.

The applicant is required to comply with the European Council's Directive 92/43/EEC on the Conservation of Natural Habitats, the Wildlife and Countryside Act 1981 (as amended) and the Nature Conservation (Scotland) Act 2004 which provide full protection for certain plant and animal special and European Protected Species. It is illegal to capture, kill, disturb any such animal, damage or destroy breeding or nesting sites or eggs or deliberately or recklessly pick, collect, cut, uproot or destroy European Protected Species of wild plant. In addition, where it is proposed to carry out works which will affect European Protected Species or their shelter/breeding places, a licence is required from the Scottish Government. Further information on these matters can be sought at Scottish Government Species Licensing Team, Countryside and Heritage Unit, Victoria Quay, Edinburgh or from Scottish Natural Heritage.

Information on home and property crime prevention advice can be found at www.securedbydesign.com/aware.

The proposed development lies within a coal mining area which may contain unrecorded coal mining related hazards. If any coal mining feature is encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848.

Further information is also available on the Coal Authority website at: www.gov.uk/government/organisations/the-coal-authority

East Renfrewshire Council Roads Service should be consulted regarding the specification for the formation of the necessary footway crossover.

NOTICES

Notification of Intention of Development

Once planning permission has been granted and you have decided when to start work on the development, it is a requirement that you inform the Council's Planning Service of that date. The Notice of Intention of Development form must be submitted before work starts and failure to do so would constitute a breach of planning control. This form is included in the decision pack and is also available to download from the Council's website at www.eastrenfrewshire.gov.uk.

Notification of Completion of Development

Once the development has been completed you must, as soon as practicable, submit a Notice of Completion of Development to the Council's Planning Service. Where a development is carried out in phases, you are required to submit a notice at the conclusion of each phase. This form is included in the decision pack and is also available to download from the Council's website.

OTHER INFORMATION

Variation of Planning Permissions

Applications may be varied provided there is not a substantial change to the development. Where there is a substantial change, a new planning application should be submitted.

To apply for a Variation of Planning Permission you must fill in a Non-Material Variation form and submit 2 sets of amended plans to the Council's Planning Service. A decision letter will be issued by the Council's Planning Service. The Non-Material Variation form is available from the Council's Planning Service at the contact details below.

Fulfilment of Conditions

Any conditions attached to your planning permission require to be complied with, which may involve discharging the terms of the conditions before the development commences. Failure to discharge the conditions before the development commences may affect the legality of your development.

To discharge the relevant conditions please complete the enclosed 'Approval of Conditions attached to Planning Permission' form and submit it and the relevant information to the Planning Service. Once submitted and considered you will receive a decision notice from the Council.

It should be noted that you can apply to discharge more than one condition at a time.

REVIEW BY EAST RENFREWSHIRE COUNCIL'S LOCAL REVIEW BODY

1. If the applicant is aggrieved by a decision to refuse permission (or by an approval subject to conditions), the applicant may require the planning authority to review the case under section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. A Notice of Review can be submitted online at www.eplanning.scotland.gov.uk. Please note that beyond the content of the appeal or review forms, **you cannot normally raise new matters** in support of an appeal or review, unless you can demonstrate that the matter could not have been raised before, or that its not being raised before is a consequence of exceptional circumstances. Following submission of the notice, you will receive an acknowledgement letter informing you of the date of the Local Review Body meeting or whether further information is required.
2. If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

CONTACT DETAILS

East Renfrewshire Council
Development Management Service
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG
General Inquiry lines 0141 577 3861
Email planning@eastrenfrewshire.gov.uk

The Proposed Development lies within an area which could be subject to current coal mining or hazards resulting from past coal mining. Such hazards may currently exist, be caused as a result of the proposed development, or occur at some time in the future. These hazards include:

- Collapse of shallow coal mine workings.
- Collapse of, or risk of entry into, mine entries (shaft and adits).
- Gas emissions from coal mines including methane and carbon dioxide.
- Spontaneous combustion or ignition of coal which may lead to underground heatings and production of carbon monoxide.
- Transmission of gases into adjacent properties from underground sources through ground fractures.
- Coal mining subsidence.
- Water emissions from coal mining workings.

Applicants must take into account of these hazards which could affect stability, health and safety, or cause adverse environmental impacts during the carrying out of their proposals and must seek specialist advice where required. Additional hazards or stability issues may arise from development on or adjacent to restored opencast sites or quarries and former colliery spoil tips.

Potential Hazards or impacts may not necessarily be confined to the development site, and Applicants must take advice and introduce appropriate measures to address risks both within and beyond the development site. As an example the stabilisation of shallow coal workings by grouting may affect, block or divert underground pathways for water or gas.

In coal mining areas there is the potential for existing property and new development to be affected by mine gases, and this must be considered by each developer. Gas prevention measures must be adopted during construction where there is such a risk. The investigation of sites through drilling alone has the potential to displace underground gases or in certain situations may create carbon monoxide where air flush drilling is adopted.

An intrusive activities which intersect, disturb or enter any coal seams, coal mine workings or coal mine entries (shaft and adits) require the prior written permission of the Coal Authority. Such activities could include site investigation boreholes, digging, of foundations, piling activities, other ground works and any subsequent treatment of coal mining workings and coal mine entries for ground stability purposes.

Failure to obtain Coal Authority permission for such activities is trespass, with the potential for court action. In the interest of public safety the Coal Authority is concerned that risks specific to the nature of coal and coal mine workings are identified and mitigated.

The above advice applies to the site of your proposal and the surrounding vicinity. You must obtain property specific summary information on any past, current and proposed surface and underground coal mining activity, and other ground stability information in order to make an assessment of the risks. This can be obtained from the Coal Authority's property search service on 0845 762 6848 or at www.groundstability.com

Approval of Conditions attached to a Planning Permission

OFFICIAL USE ONLY: Reference No: 2021/0693/TP Registration Date: 23rd August 2021

Please use this form when you are seeking the approval, consent or agreement of the planning authority as a result of a condition attached to a planning permission.

All Sections of the form to be completed

1

Applicant's Name.....
Address
.....
..... Post Code.....
Telephone..... Fax
Email

2

Agent's Name.....
Address
.....
..... Post Code.....
Telephone..... Fax
Email

3

Location of proposed development
29 Rouken Glen Road Giffnock East Renfrewshire G46 7EL

4

Planning Permission reference No.	2021/0693/TP
Date of Approval	2nd March 2022

5

CONDITIONS FOR WHICH APPROVAL IS SOUGHT	
Specify the conditions for which you are seeking approval, consent or agreement (continue on separate sheet if necessary)	Specify the information you are submitting for each condition (continue on separate sheet if necessary)

Declaration

I declare that the information given within this form, for the purposes of making the application, is true and accurate to the best of my knowledge.

Signature of Applicant / Agent (delete where appropriate) **Dated**

If you have any difficulties completing this application form, contact the Council on 0141 577 3001

Data Protection Act 1998

East Renfrewshire Council is the Data Controller for the purposes of the Data Protection Act 1998. Please note that the information provided with this application will appear in the public register of applications and will also be published on the Council's website. Personal details such as signatures, personal phone numbers and personal email addresses will not be published on-line. If you wish any further personal information to be excluded from publication, please request this in writing and the Council will consider your request.

321 NOTICE OF INITIATION OF DEVELOPMENT

The Planning etc (Scotland) Act 2006



The Town and Country Planning (Development Management Procedure)
(Scotland) Regulations 2013

TO:
East Renfrewshire Council,
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG
FAO Mr Derek Scott

Decision Notice Reference: 2021/0693/TP

Decision Date: 2nd March 2022

Person(s) Undertaking Development:	Development Land Ownership:
Name: _____ Address: _____ _____ Phone No.: _____ Email: _____ Does the person(s) undertaking the development own the land to which the development relates: YES / NO * * Delete where applicable	Please complete if owner is different to person(s) undertaking development. If there is more than one owner, please complete any additional details in the 'Additional Information' box at the end of this form. Name: _____ Address: _____ _____ Phone No.: _____ Email: _____

Description of development: Erection of detached two and one-half storey dwelling with basement. (Amendment to Planning Permission Ref: 2019/0668/TP to allow alterations)

Location of development:

29 Rouken Glen Road Giffnock East Renfrewshire G46 7EL

Date when work commences: _____

Development Contact*
Name: _____ Company: _____ Address: _____ Telephone No: _____ Email Address: _____ * Contact details of person appointed to oversee development on site

Signed: _____

Name of Applicant/Agent/Developer* _____

*Delete where applicable

Additional Information

Please use this space to give the Council any additional information that you think will be relevant to this development or to add additional land ownership information.

Please read the following notes

1. In terms of the above Act and Regulations, any person who intends to carry out development must, as soon as practicable after deciding a starting date, and in any event before commencing the development, give the information on the above form to the Council.
2. Work must be carried out in accordance with the relevant approved plans and any conditions on the decision notice.
3. A grant of Planning Permission does not authorise work under the Building (Scotland) Act. A separate Building Warrant may be required. Please contact 0141 577 3001 to ascertain the need for a warrant.
4. Should the approved plans not correspond with what you intend to construct/build, you must seek the authority of the Council before proceeding.
5. Copies of this Notice are available from the Council's website at www.eastrenfrewshire.gov.uk

NOTIFICATION OF COMPLETION OF DEVELOPMENT

The Planning etc (Scotland) Act 2006
The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

TO:
East Renfrewshire Council,
2 Spiersbridge Way,
Spiersbridge Business Park,
Thornliebank,
G46 8NG
FAO Mr Derek Scott

Decision Notice Reference:2021/0693/TP Decision Date: 2nd March 2022

Person(s) Undertaking Development:

Name: _____

Address: _____

Description of development: Erection of detached two and one-half storey dwelling with
(*If the development is phased, please basement. (Amendment to Planning Permission Ref:
include the phase no. and condition 2019/0668/TP to allow alterations)
reference)

Location of development:

29 Rouken Glen Road Giffnock East Renfrewshire G46 7EL

Date development completed: _____

Signed: _____

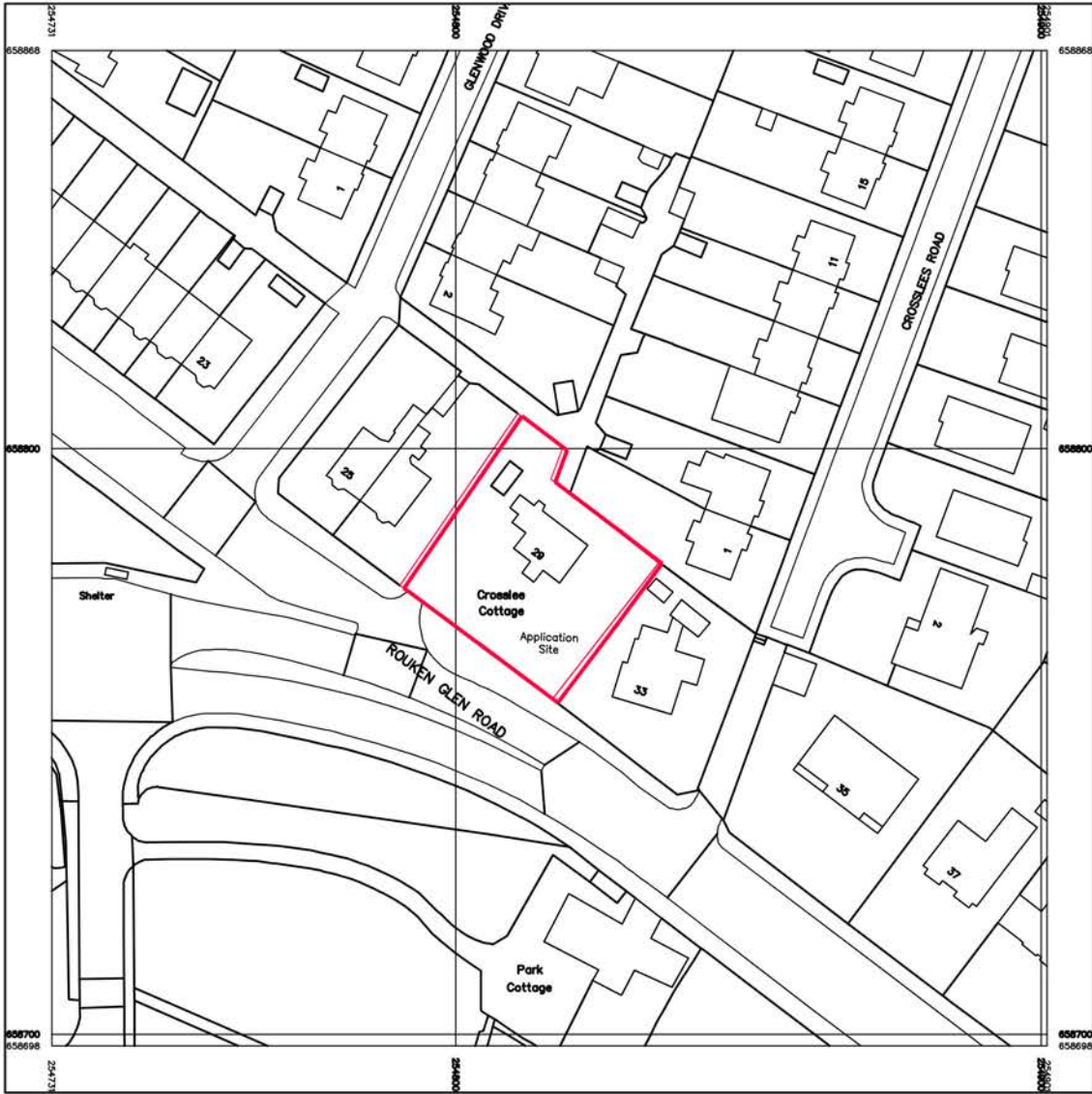
Name of Applicant/Agent/Developer* _____

*Delete where applicable

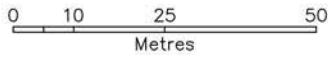
Please read the following notes and retain for your information.

1. Copies of this Notice are available from the Council's website at www.eastrenfrewshire.gov.uk

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Location Plan as Existing @ 1:1250



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 without the prior permission of Ordnance Survey



0141 552 2729
 info@inkdesign.co.uk
 www.inkdesign.co.uk
 Unit 6, 141 Bridgegate, The Briggall, Glasgow, G1 5HZ

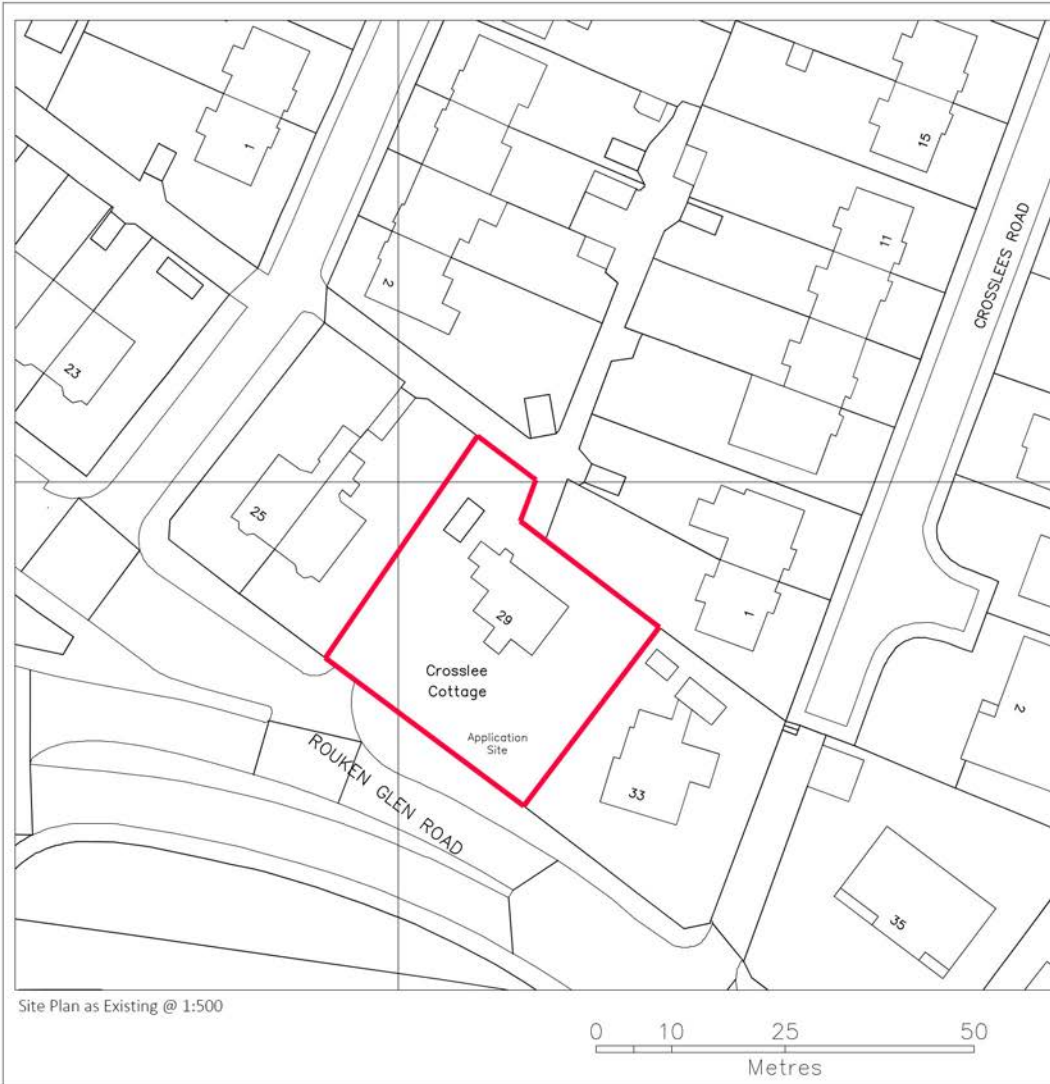
Client
 Mr R Tahir
 18 Burnside Road
 Giffnock,
 East Renfrewshire,
 G46 6TT
Project
 Demolition of existing dwelling and erection
 of New detached dwelling at
 29 Rouken Glen Road
 Giffnock,
 East Renfrewshire, G46 7EL.

Drawing	Scale
Location Plan as Existing	1:1250 @ A4

Drawn	Checked
MH	MH

Stage	Revision Date
Planning	

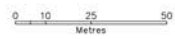
Drawing Date	Drawing No.	Revision No.
Aug. 21	19-743-PL01	



Site Plan as Existing @ 1:500



Location Plan as Existing @ 1:1250



Existing Plot Area:	1255m ²
Existing Dwelling Footprint:	115m ²
Existing Garage Footprint:	25m ²
Existing Total Garden Area:	177m ²
Existing Footprint to New Garden Ratio:	3:27
Existing building to plot ratio:	12.3%

Notes:
Do not scale from this drawing.
If in doubt consult the architect.

REV.	REVISION NOTES	DATE	ISSUED

inkdesign
architecture

11141 1012 0120
11141@inkdesign.co.uk
E:www.inkdesign.co.uk

11141 & 11141@inkdesign.co.uk The Regent Group, 01 902.

Client:
Mr R Tahir
18 Burnside Road
Cliffrock,
East Renfrewshire,
G46 6TT
Project:
Demolition of existing dwelling and erection
of New detached dwelling at
29 Rouken Glen Road
Cliffrock,
East Renfrewshire, G46 7EL.

Drawing:	Scale:
Site and Location Plans as Existing	500 / 1150 @ A3
Drawn:	Checked:
Tahir	Tahir
Stage:	Revision Date:
Planning	
Drawing Date:	Drawing No.:
Aug 21	18-743-PL/02
	Revision No.:



Existing Plot Area	2025m ²
Existing Dwelling Footprint	115m ²
Existing Garage Footprint	15m ²
Existing Rear Garden Area	277m ²
Existing Footprint to Rear Garden Ratio	1.2%
Existing Building to plot ratio	11.5%

Notes:
Do not scale from this drawing.
If in doubt consult the architect.

REV.	DESCRIPTION	DATE	BY/NO.

inkdesign
architecture

01947 652 2729
1 Highbridge Road
From: info@inkdesign.co.uk
31 Old St, 1st Floor, The Briggate, Glasgow, G1 1NU

Client:
Mr & Mrs
18 Burnside Road
Giffnock,
East Renfrewshire,
G46 7TT
Project

Demolition of existing dwelling and erection of New detached dwelling at 29 Rouken Glen Road Giffnock, East Renfrewshire, G46 7EL

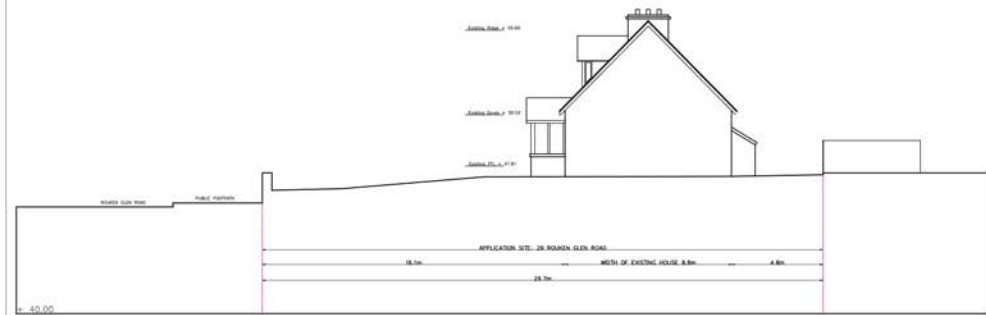
Drawing: Topographic Site Plan as Existing
Scale: 1:200 @ A3

Drawn	Checked
MH	MH
Draw	Revision Date
Planning	
Drawing Date	Drawing No.
Aug. 21	19-743-PL 03
	Revision No.

Topographic Site Plan as Existing @ 1:200



Contextual South-West (Front) Elevation as Existing @ 1:200



South-East (Side) Elevation as Existing @ 1:200

Existing Plot width at Street Frontage - 32750mm
 Existing Building width at Street Frontage - 14900mm - 45% Ratio of Building to Plot Width - 45%

Notes:
 Do not scale from this drawing.
 If in doubt consult the architect.

REV.	DESCRIPTION	DATE	BY/NO



Client:
 Mr & Mrs
 18 Burnside Road
 Giffnock,
 East Renfrewshire,
 G46 6TT
 Project

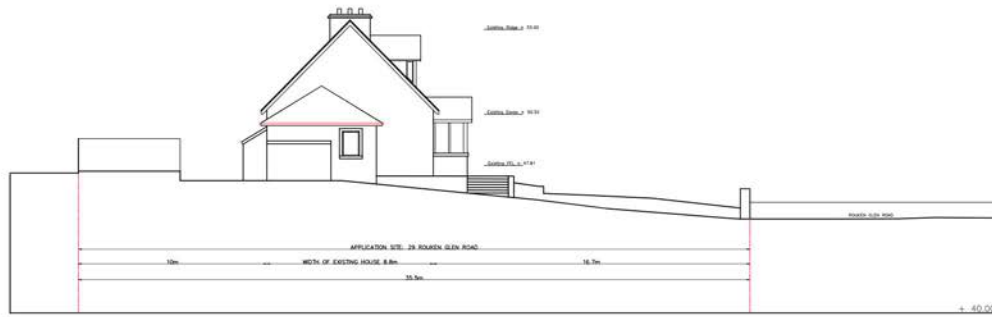
Demolition of existing dwelling and erection of New detached dwelling at 29 Roullen Glen Road Giffnock, East Renfrewshire, G46 7EL

Drawing: Front and Side Elevations as Existing
Scale: 1:200 @ A3

Drawn	Checked	
MH	MH	
Discp	Revision	
Planning	Date	
Drawing Date	Drawing No	Revision No
Aug. 21	15-743-PL 04	



Contextual North-East (Rear) Elevation as Existing @ 1:200



North-West (Side) Elevation as Existing @ 1:200

Existing Plot width at Street Frontage = 32750mm
 Existing Building width at Street Frontage = 14600mm = 45% Ratio of Building to Plot Width

Notes:
 Do not scale from this drawing.
 If in doubt consult the architect.

REV	REVISION NOTES	DATE	BY/NO



Client:
 Mr & Mrs
 18 Burnside Road
 Giffnock,
 East Renfrewshire,
 G46 6TT
 Project

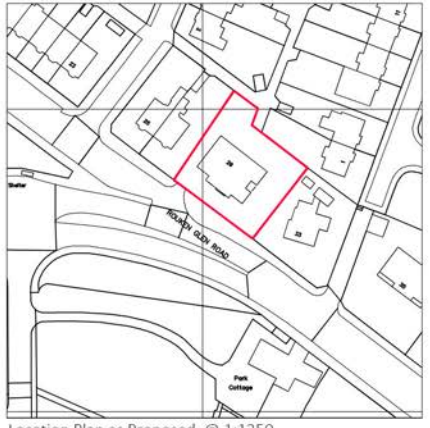
Demolition of existing dwelling and erection of New detached dwelling at 29 Rouken Glen Road Giffnock, East Renfrewshire, G46 7EL

Drawing: Rear and Side Elevations as Existing
Scale: 1:200 @ A3

Drawn: MH
Checked: MH

Disc: Planning
Revision: Date

Drawing Date: Aug. 21
Drawing No: 19-743-PL 05
Revision No.:



Existing Plot Area	1050m ²
Proposed Dwelling Footprint	200m ²
Proposed Rear Garden Area	420m ²
Proposed Footprint to Rear Garden Path	112m ²
Proposed Building to Plot Ratio	20%

Notes:
Do not scale from this drawing.
If in doubt consult the architect.

Rev.	Revision Notes	Date	Issued

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architecture

19-745-PL-06
19-745-PL-06
19-745-PL-06

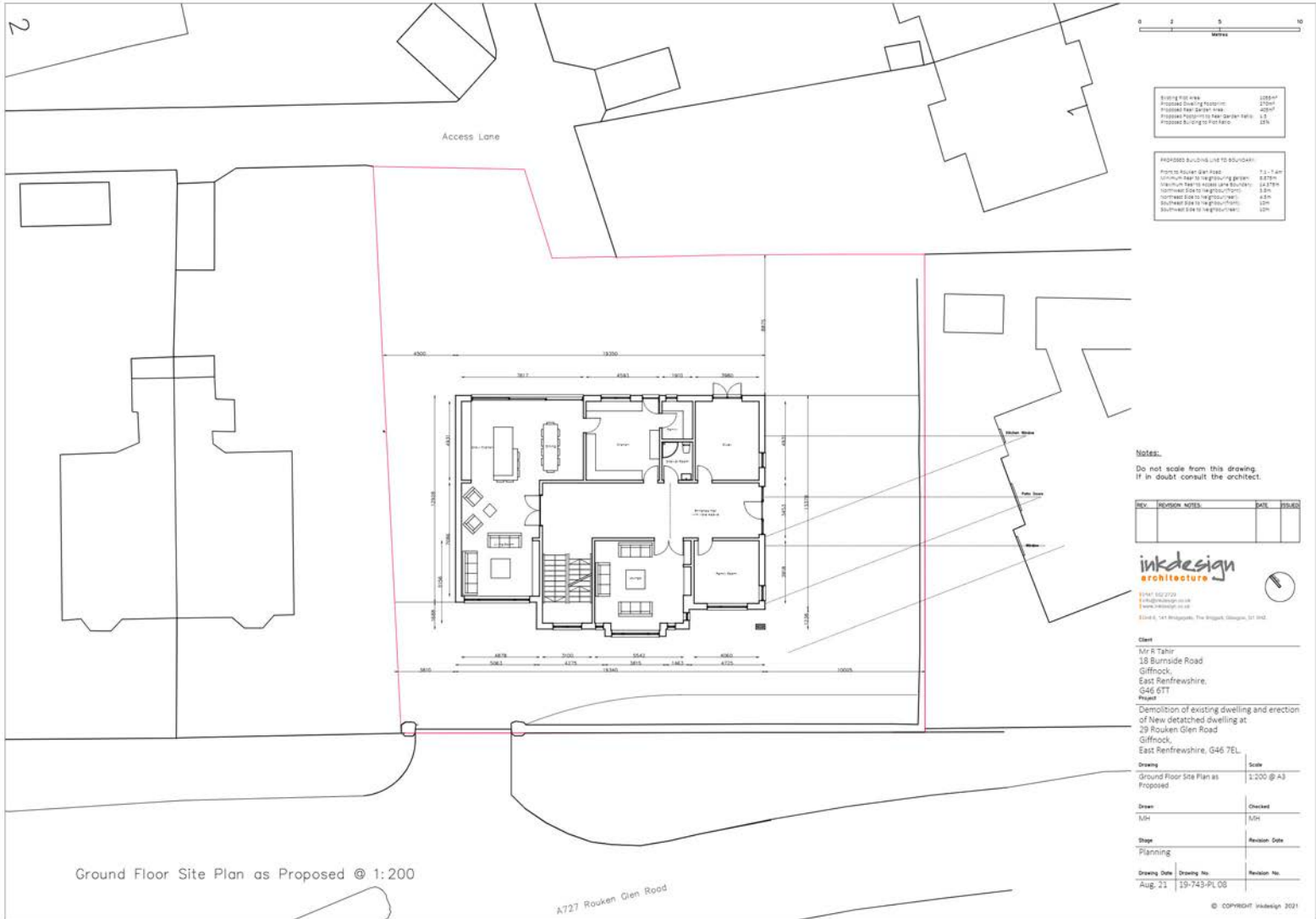
Client:
Mr R Taylor
18 Burnside Road
Giffnock,
East Renfrewshire,
G46 6TT

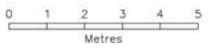
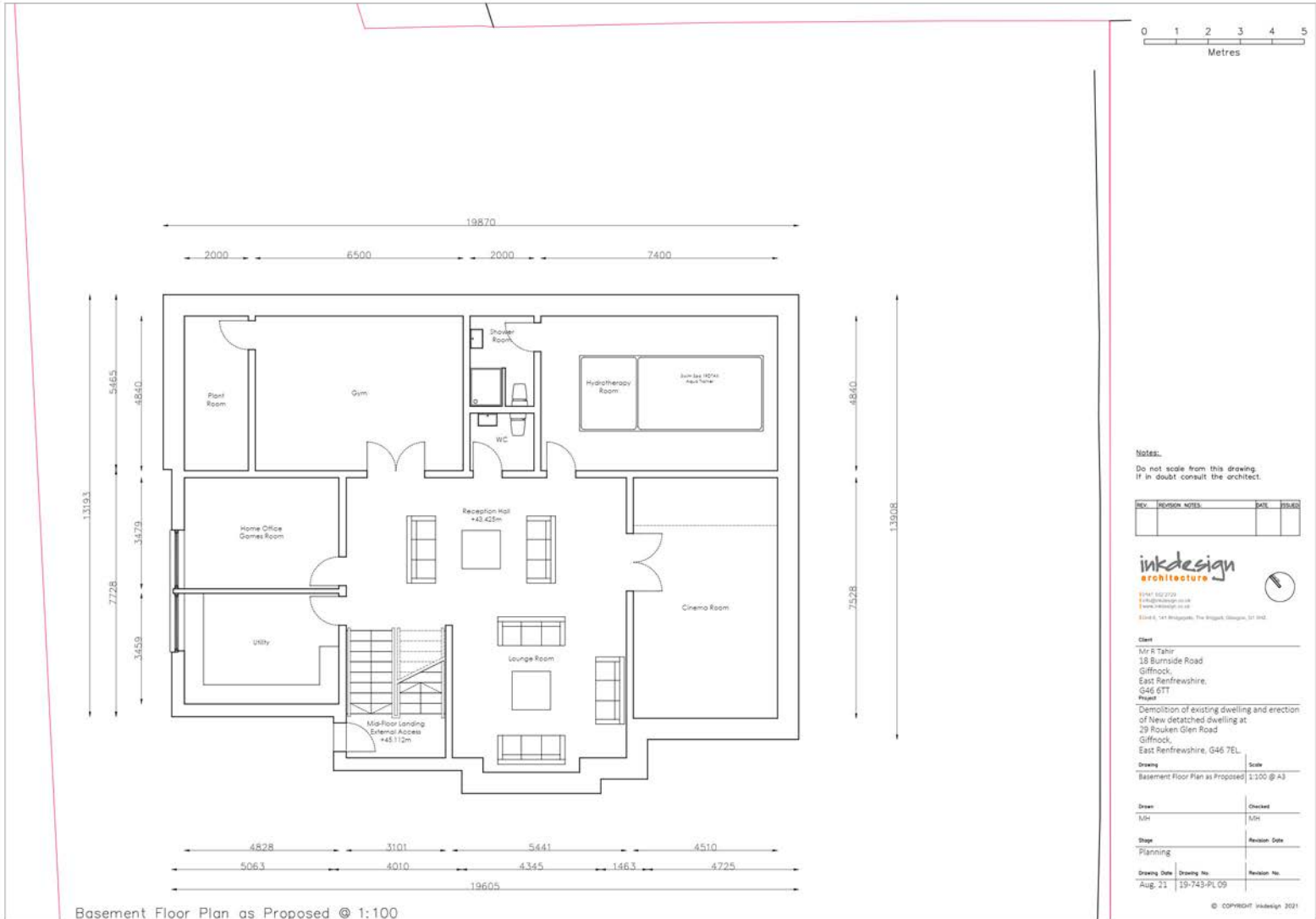
Project:
Demolition of existing dwelling and erection of New detached dwelling at 29 Rouken Glen Road Giffnock, East Renfrewshire, G46 7EL.

Drawing	Scale	
Site and Location Plans as Proposed	500 / 1250 @ A3	
Drawn	Checked	
1/1/1	1/1/1	
Stage	Revision Date	
Planning		
Drawing Date	Drawing No.	Revision No.
Aug 21	19-745-PL-06	



Topographic Ground Floor Site Plan as Proposed @ 1:200





Notes.
Do not scale from this drawing.
If in doubt consult the architect.

REV.	REVISION NOTES	DATE	BY/NO.

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0147 622 2729
1 Highbridge Road
From: 0147 622 2729
2100 G, 141 Bridgegate, The Bridge, Glasgow, G1 3ND



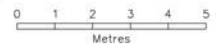
Client
Mr & Mrs
18 Burnside Road
Giffnock,
East Renfrewshire,
G46 6TT
Project

Demolition of existing dwelling and erection of new detached dwelling at 29 Rouken Glen Road Giffnock, East Renfrewshire, G46 7EL

Drawing: Basement Floor Plan as Proposed | Scale: 1:100 @ A3

Drawn	Checked	
MH	MH	
Disc	Revision Date	
Planning		
Drawing Date	Drawing No.	Revision No.
Aug. 21	15-743-PL 09	

Basement Floor Plan as Proposed © 1:100



Notes:
Do not scale from this drawing.
If in doubt consult the architect.

REV.	REVISION NOTES	DATE	BY/NO.

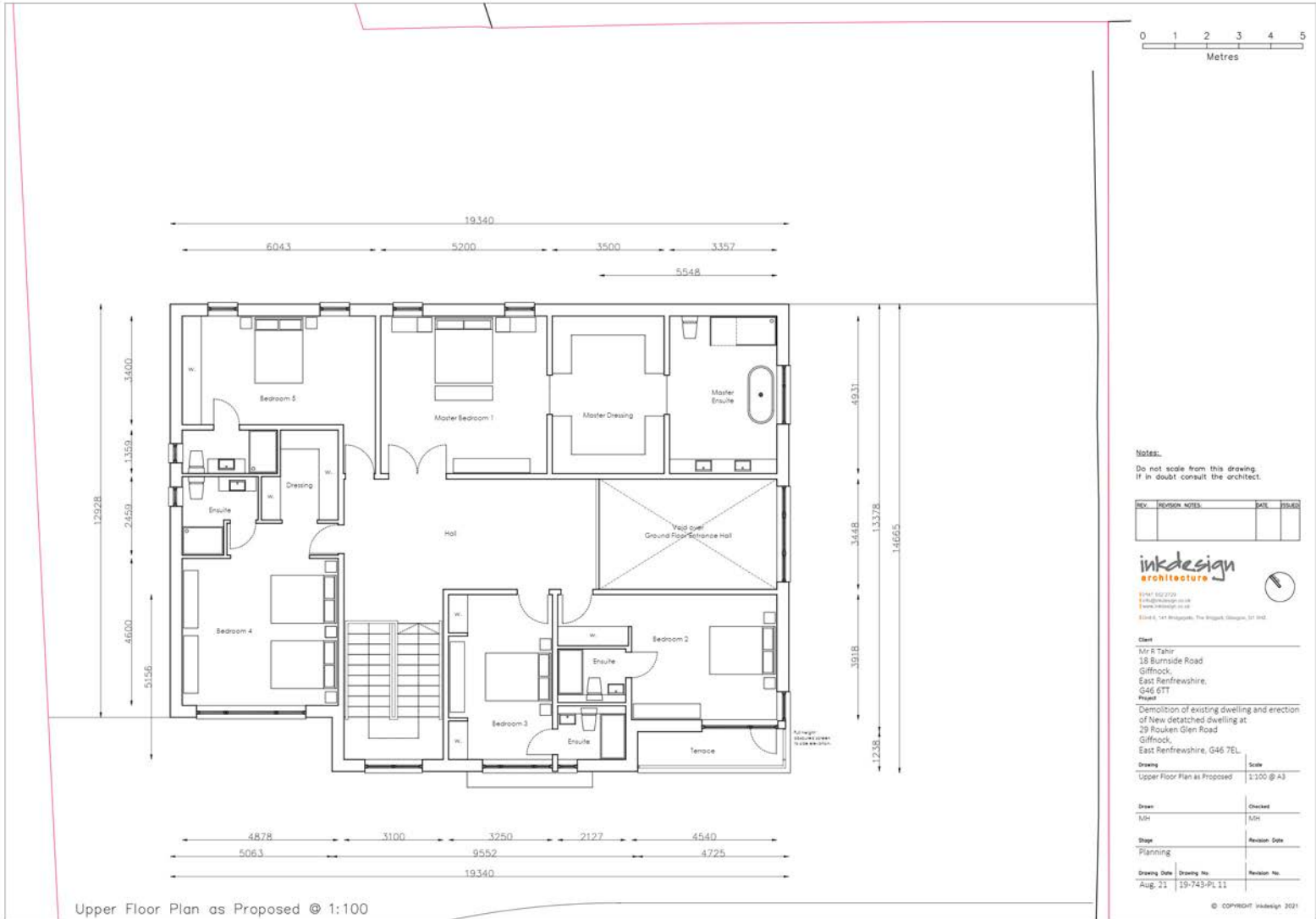


Client:
Mr & Mrs
18 Burnside Road
Giffnock,
East Renfrewshire,
G46 7TT
Project

Demolition of existing dwelling and erection of New detached dwelling at 29 Rouken Glen Road Giffnock, East Renfrewshire, G46 7EL

Drawing	Scale
Ground Floor Plan as Proposed	1:100 @ A3

Drawn	Checked	
MH	MH	
Disc	Revision Date	
Planning		
Drawing Date	Drawing No.	Revision No.
Aug. 21	19-743-PL 10	



Notes.
Do not scale from this drawing.
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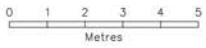
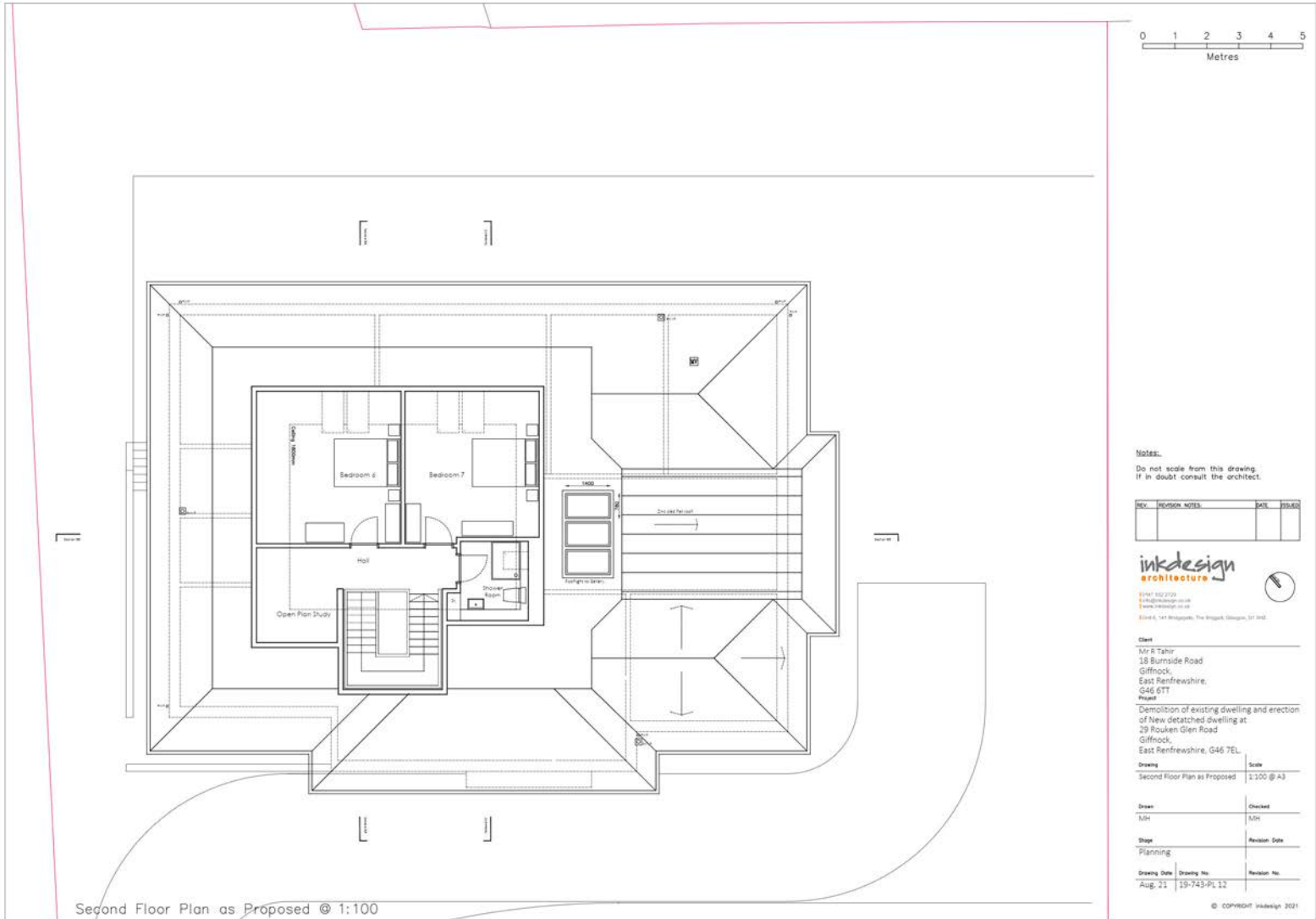
19747 652 2729
1 Highbridge Road
East Renfrewshire
www.inkdesign.co.uk
21046, 141 Straggs, The Straggs, Glasgow, G11 9AD

Client
Mr & Mrs
18 Burnside Road
Giffnock,
East Renfrewshire,
G46 6TT
Project

Demolition of existing dwelling and erection of New detached dwelling at 29 Rouken Glen Road Giffnock, East Renfrewshire, G46 7EL

Drawing: Upper Floor Plan as Proposed
Scale: 1:100 @ A3

Drawn	Checked	
MH	MH	
Disc	Revision Date	
Planning		
Drawing Date	Drawing No	Revision No.
Aug. 21	19-743-PL 11	



Notes:
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REV.	REVISION NOTES	DATE	BY/NO.

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G46 6TT
0147 622 2729, The Bridge Studios, 101 102.

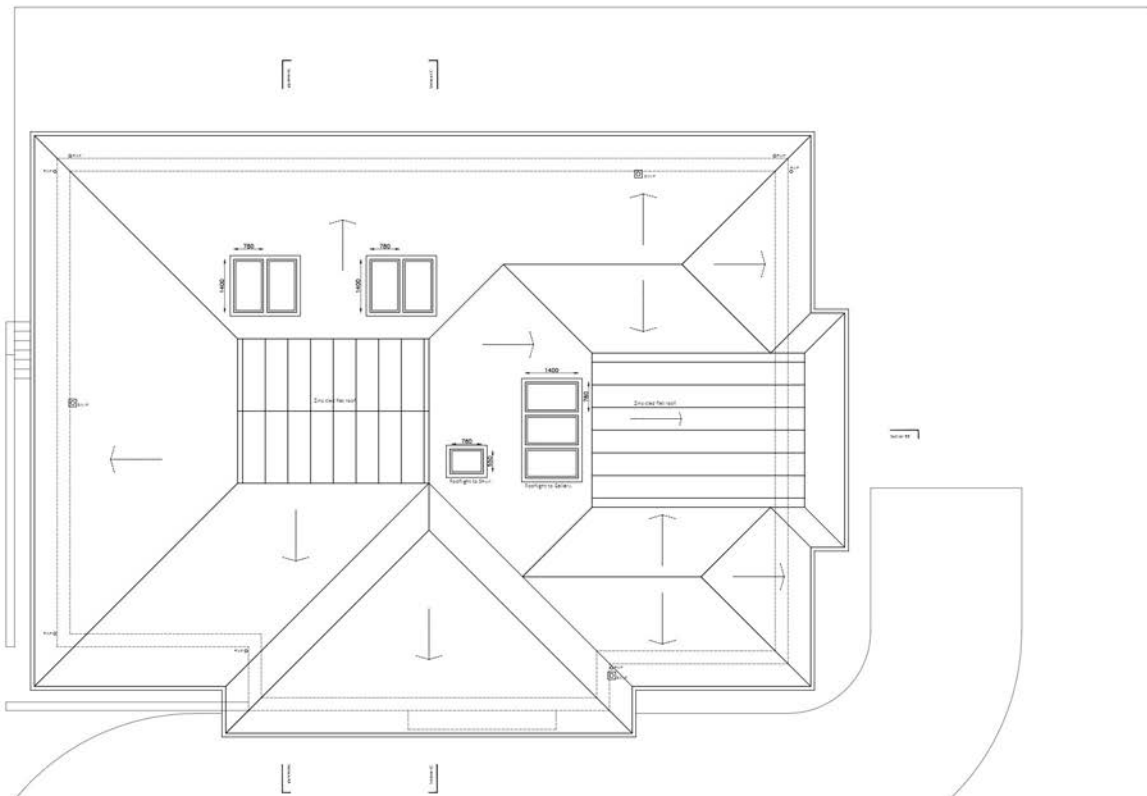
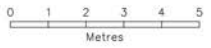


Client:
Mr & Mrs
18 Burnside Road
Giffnock,
East Renfrewshire,
G46 6TT
Project

Demolition of existing dwelling and erection
of New detached dwelling at
29 Rouken Glen Road
Giffnock,
East Renfrewshire, G46 7EL

Drawing Scale
Second Floor Plan as Proposed 1:100 @ A3

Drawn	Checked	
MH	MH	
Drawn	Revision Date	
Planning		
Drawing Date	Drawing No.	Revision No.
Aug. 21	15-743-PL 12	



Roof Plan as Proposed @ 1:100

Notes:
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If in doubt consult the architect.

REV.	DESCRIPTION / NOTES	DATE	BY/NO.



01947 652 2729
11 Highbridge Road
East Renfrewshire
22046 6, 141 Strathguy, The Strathguy, G12 0AD

Client:
Mr & Mrs
18 Burnside Road
Giffnock,
East Renfrewshire,
G46 6TT
Project

Demolition of existing dwelling and erection
of New detached dwelling at
29 Rouken Glen Road
Giffnock,
East Renfrewshire, G46 7EL

Drawing: Scale
Roof Plan as Proposed 1:100 @ A3

Drawn: Checked
MH MH

Disc: Revision Date

Planning: Revision No.

Drawing Date: Drawing No. Revision No.
Aug. 21 15-743-PL 13



South-West (Front) Elevation as Proposed @ 1:200



South-East (Side) Elevation as Proposed @ 1:200

Notes.
Do not scale from this drawing.
If in doubt consult the architect.

REV.	REVISION NOTES	DATE	BY/NO.

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19747 652 2729
1 Highbridge Road
East Renfrewshire
G46 7TT
2008-8, 141 Straggs, The Straggs, Glasgow, G11 9AG

Client
Mr & Mrs
18 Burnside Road
Giffnock,
East Renfrewshire,
G46 7TT
Project

Demolition of existing dwelling and erection
of New detached dwelling at
29 Rouken Glen Road
Giffnock,
East Renfrewshire, G46 7EL

Drawing Scale
Front and Side Elevations as
Proposed 1:200 @ A3

Drawn	Checked	
MH	MH	
Discp	Revision Date	
Planning		
Drawing Date	Drawing No	Revision No.
Aug. 21	19-743-PL 14	



North-East (Rear) Elevation as Proposed @ 1:200



North-West (Side) Elevation as Proposed @ 1:200

Notes:
Do not scale from this drawing.
If in doubt consult the architect.

REV.	REVISION NOTES	DATE	BY/NO.



19-197 152 2729
1 Highbridge Road
East Renfrewshire
G46 7LJ
2008-8, 141 Bridgegate, The Bridge Studios, G11 5AD

Client:
Mr & Mrs
18 Burnside Road
Giffnock,
East Renfrewshire,
G46 7TT
Project

Demolition of existing dwelling and erection
of New detached dwelling at
29 Rouken Glen Road
Giffnock,
East Renfrewshire, G46 7EL

Drawing: Scale
Rear and Side Elevations as
Proposed 1:200 @ A3

Drawn: Checked
MH MH

Drawn: Revision Date

Planning: Revision No.

Drawing Date: Drawing No. Revision No.
Aug 21 19-743-PL 15



Contextual South-West (Front) Elevation as Existing @ 1:200

Notes.
Do not scale from this drawing.
If in doubt consult the architect.

REV.	REVISION NOTES	DATE	BY/NO.

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01947 652 2729
1 Highbridge Road
Ferryhill Glasgow
22nd Floor, 141 Bridgegate, The Broomfield, G1 3ND

Client
Mr & Mrs
18 Burnside Road
Giffnock,
East Renfrewshire,
G46 6TT
Project

Demolition of existing dwelling and erection
of New detached dwelling at
29 Roulen Glen Road
Giffnock,
East Renfrewshire, G46 7EL

Drawing **Scale**
Contextual Elevation to Roulen
Glen Road as Existing 1:200 @ A3

Drawn	Checked	
MH	MH	
Discp	Revision Date	
Planning		
Drawing Date	Drawing No	Revision No.
Aug. 21	19-743-PL 16	



Contextual South-West (Front) Elevation as Proposed © 1:200

Existing Plot width at Street Frontage	=	32750mm	
Existing Building width at Street Frontage	=	14600mm	45% of Building to Plot Width
Proposed Building width at Street Frontage	=	18950mm	58% of Building width to Plot width

Notes.

Do not scale from this drawing.
If in doubt consult the architect.

REV.	REVISION NOTES	DATE	BY/NO.



19/17 102 2729
1 Highbridge Road
East Renfrewshire
G46 6TT
2006-8, 141 Bridgegate, The Bridge Studios, G1 3ND

Client
Mr & Mrs
18 Burnside Road
Giffnock,
East Renfrewshire,
G46 6TT
Project

Demolition of existing dwelling and erection of New detached dwelling at 29 Rouken Glen Road Giffnock, East Renfrewshire, G46 7EL

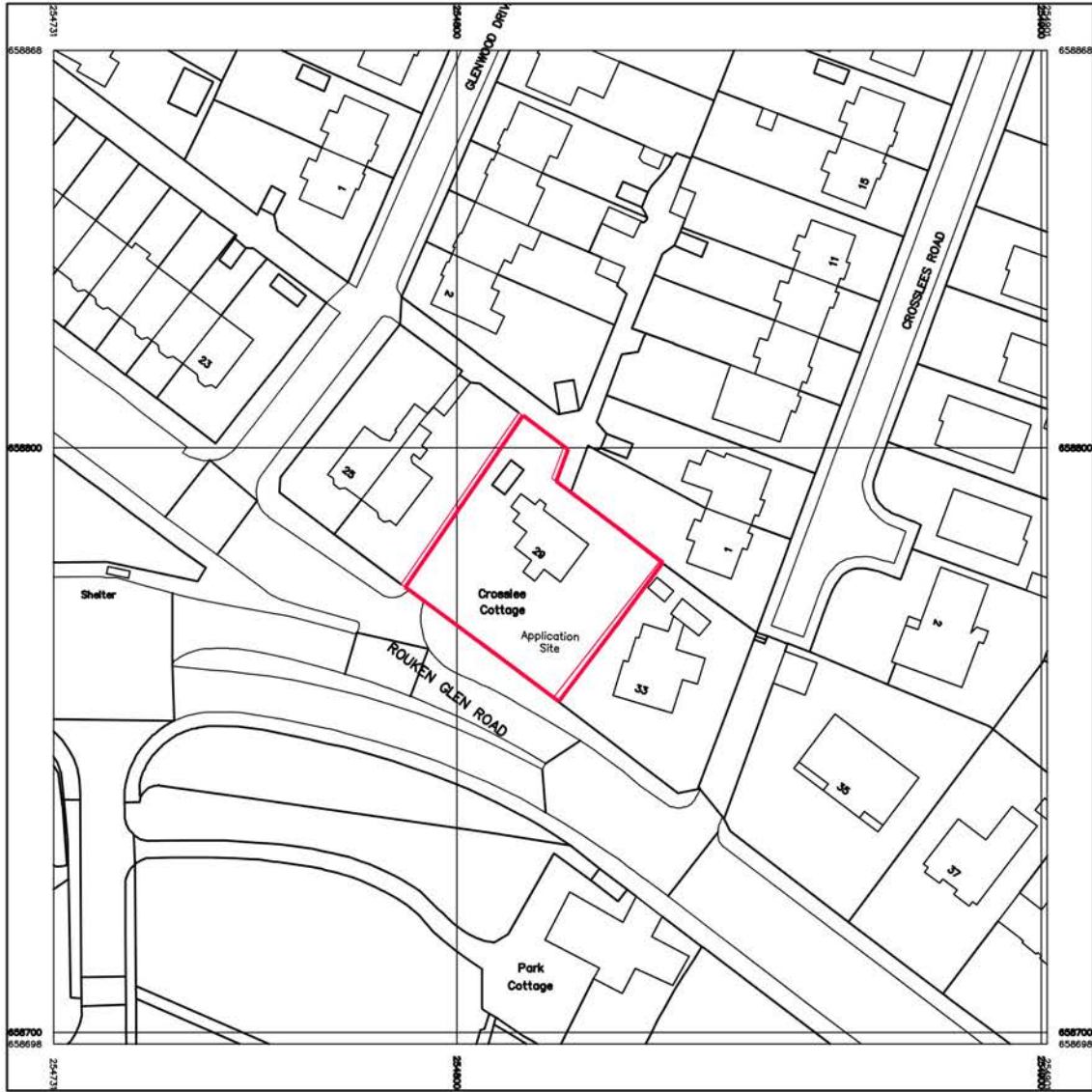
Drawing Scale
Contextual Elevation to 1:200 @ A3
Rouken Glen Road as Proposed

Drawn Checked
MH MH

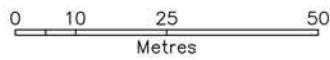
Drawn Revision Date

Planning

Drawing Date **Drawing No** **Revision No.**
Aug. 21 19-743-PL 17



Location Plan as Existing @ 1:1250



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 | info@inkdesign.co.uk
 | www.inkdesign.co.uk
 | Unit 6, 141 Bridgegate, The Briggall, Glasgow, G1 5HZ.

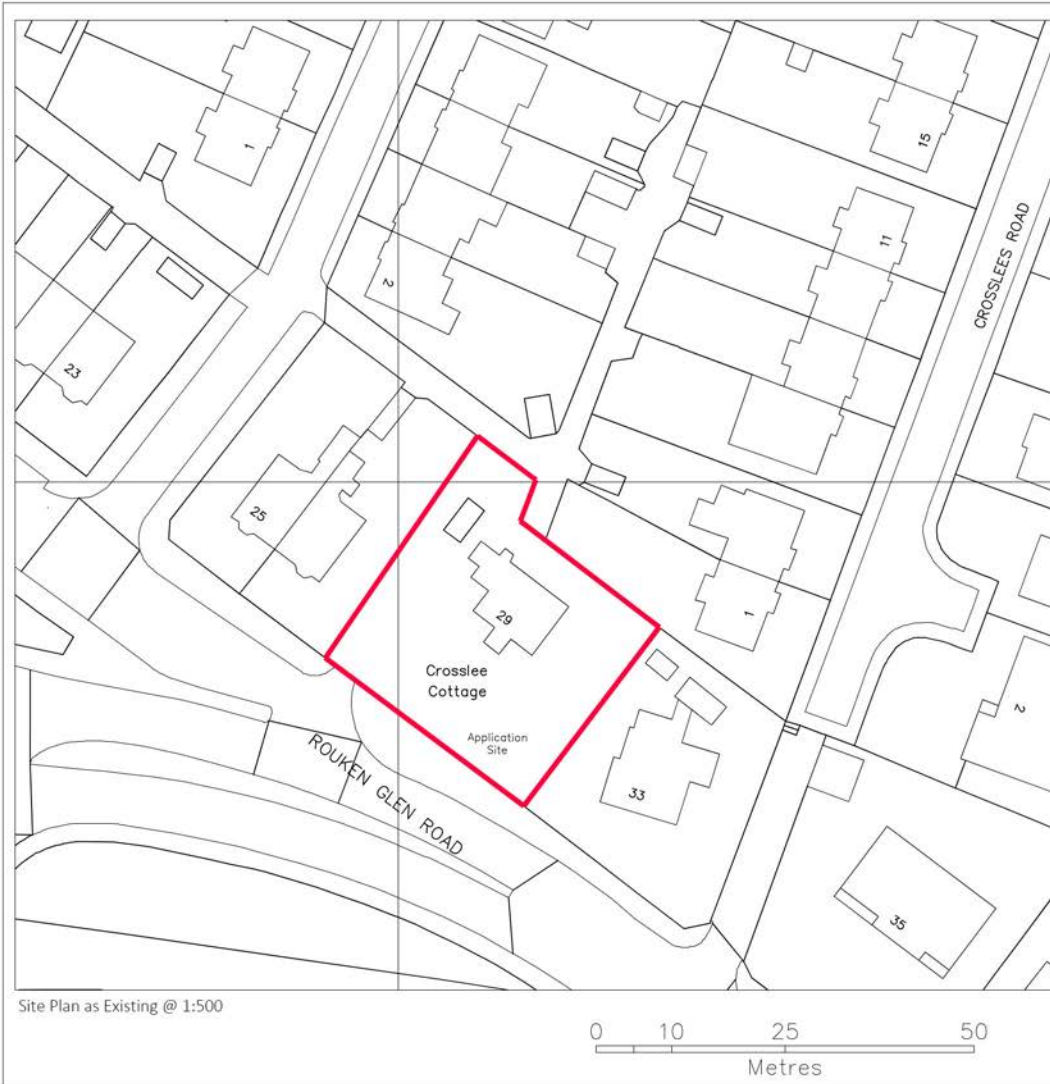
Client
 Mr R Tahir
 18 Burnside Road
 Giffnock,
 East Renfrewshire,
 G46 6TT
Project
 Demolition of existing dwelling and erection
 of New detached dwelling at
 29 Rouken Glen Road
 Giffnock,
 East Renfrewshire, G46 7EL.

Drawing	Scale
Location Plan as Existing	1:1250 @ A4

Drawn	Checked
MH	MH

Stage	Revision Date
Planning	

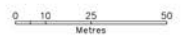
Drawing Date	Drawing No.	Revision No.
Aug. 21	19-743-PL01	



Site Plan as Existing @ 1:500



Location Plan as Existing @ 1:1250



Existing Plot Area:	1255m ²
Existing Dwelling Footprint:	115m ²
Existing Garage Footprint:	25m ²
Existing Site Garden Area:	177m ²
Existing Footprint to New Garden Ratio:	3:27
Existing building to plot ratio:	12.3%

Notes:
Do not scale from this drawing.
If in doubt consult the architect.

REV.	REVISION NOTES	DATE	ISSUED

inkdesign
architecture

11141 8121 0120
info@inkdesign.co.uk
E: info@inkdesign.co.uk

11141 8121 0120
11141 8121 0120

Client:
Mr R Tahir
18 Burnside Road
Cliffrock,
East Renfrewshire,
G46 6TT
Project:
Demolition of existing dwelling and erection
of New detached dwelling at
29 Rouken Glen Road
Cliffrock,
East Renfrewshire, G46 7EL.

Drawing	Scale
Site and Location Plans as Existing	500 / 1250 @ A3
Drawn	Checked
Title	Title
Stage	Revision Date
Planning	
Drawing Date	Drawing No.
Aug 21	18-743-PL/02
	Revision No.



Existing Plot Area	2025m ²
Existing Dwelling Footprint	115m ²
Existing Garage Footprint	15m ²
Existing Rear Garden Area	277m ²
Existing Footprint to Rear Garden Ratio	1.2%
Existing Building to plot ratio	11.5%

Notes:
Do not scale from this drawing.
If in doubt consult the architect.

REV	DESCRIPTION	DATE	BY

inkdesign
architecture

01947 652 2729
1 Highbridge Road
From: info@inkdesign.co.uk
31 Old G, 141 Bridgegate, The Bridge, Glasgow, G1 1ND

Client:
Tariq & Taher
18 Burnside Road
Giffnock,
East Renfrewshire,
G46 7TT
Project

Demolition of existing dwelling and erection of New detached dwelling at 29 Rouken Glen Road Giffnock, East Renfrewshire, G46 7EL

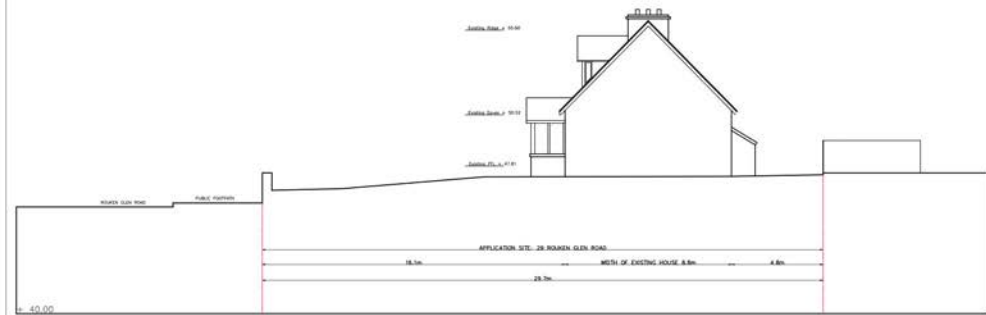
Drawing Scale
Topographic Site Plan as Existing 1:200 @ A3

Drawn	Checked
MH	MH
Draw	Revision Date
Planning	
Drawing Date	Drawing No
Aug. 21	19-743-PL 03
	Revision No.

Topographic Site Plan as Existing @ 1:200



Contextual South-West (Front) Elevation as Existing @ 1:200



South-East (Side) Elevation as Existing @ 1:200

Existing Plot width at Street Frontage - 32750mm
 Existing Building width at Street Frontage - 14900mm - 45% Ratio of Building to Plot Width - 45%

Notes:
 Do not scale from this drawing.
 If in doubt consult the architect.

REV.	DESCRIPTION	DATE	BY/NO



Client:
 Mr & Mrs
 18 Burnside Road
 Giffnock,
 East Renfrewshire,
 G46 7TT
 Project

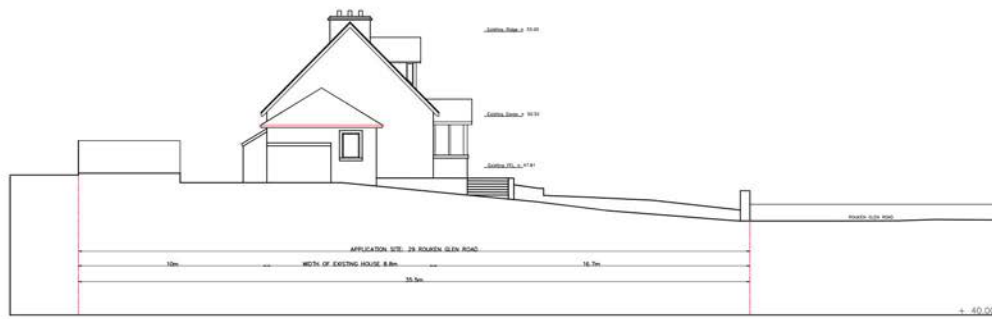
Demolition of existing dwelling and erection of New detached dwelling at 29 Roulan Glen Road Giffnock, East Renfrewshire, G46 7EL

Drawing Scale
 Front and Side Elevations as Existing 1:200 @ A3

Drawn	Checked	
MH	MH	
Discp	Revision Date	
Planning		
Drawing Date	Drawing No	Revision No.
Aug. 21	19-743-PL 04	



Contextual North-East (Rear) Elevation as Existing @ 1:200



North-West (Side) Elevation as Existing @ 1:200

Existing Plot width at Street Frontage = 32750mm
 Existing Building width at Street Frontage = 14600mm = 45% Ratio of Building to Plot Width

Notes:
 Do not scale from this drawing.
 If in doubt consult the architect.

REV	DESCRIPTION	DATE	BY/CHKD

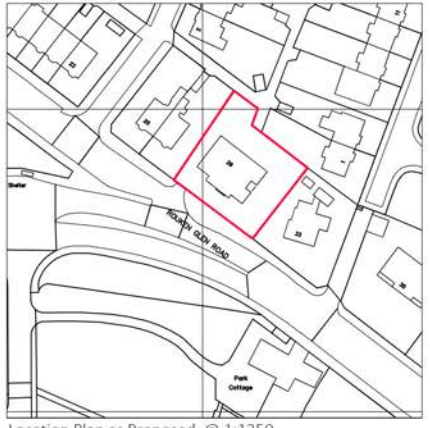


Client:
 Mr & Mrs
 18 Burns Road
 Giffnock,
 East Renfrewshire,
 G46 6TT
 Project

Demolition of existing dwelling and erection of New detached dwelling at 29 Roulen Glen Road Giffnock, East Renfrewshire, G46 7EL

Drawing: Rear and Side Elevations as Existing
 Scale: 1:200 @ A3

Drawn	Checked	
MH	MH	
Discp	Revision Date	
Planning		
Drawing Date	Drawing No	Revision No
Aug. 21	19-743-PL 05	



Existing Plot Area	1050m ²
Proposed Dwelling Footprint	200m ²
Proposed Rear Garden Area	420m ²
Proposed Footprint to Rear Garden Wall	11.2m
Proposed Building to Plot Ratio	22%

Notes:
Do not scale from this drawing.
If in doubt consult the architect.

Rev.	Revision Notes	Date	Issued

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19-745-PL-06
19-745-PL-06
19-745-PL-06
19-745-PL-06

Client:
Mr R Taylor
18 Burnside Road
Giffnock,
East Renfrewshire,
G46 6TT

Project:
Demolition of existing dwelling and erection
of New detached dwelling at
29 Rouken Glen Road
Giffnock,
East Renfrewshire, G46 7EL.

Drawing	Scale	
Site and Location Plans as Proposed	500 / 1250 @ A3	
Drawn	Checked	
1/1/1	1/1/1	
Stage	Revision Date	
Planning		
Drawing Date	Drawing No.	Revision No.
Aug 21	19-745-PL-06	



Plotting For area	1:200
Proposed Building Footprint	1:200
Proposed Footprint to Boundary	1:200
Proposed Building Footprint	1:200

PROPOSED BUILDING LEVEL TO BOUNDARY	
Point to Eastern Boundary	1.2 - 1.4m
Minimum Foot to Neighbouring Garden	1.175m
Maximum Foot to Neighbouring Garden	1.275m
Minimum Foot to Neighbouring Road	1.2m
Maximum Foot to Neighbouring Road	1.3m
Minimum Foot to Neighbouring Footpath	1.2m
Maximum Foot to Neighbouring Footpath	1.3m

Notes:
Do not scale from this drawing.
If in doubt consult the architect.

REV.	REVISION NOTES	DATE	BY/NO.

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01847 652 2729
11 Highbridge Road
East Renfrewshire
G46 6TT
31006 6, 141 Glasgow, The Glasgow Glasgow, G1 0AD

Client:
Mr & Mrs
18 Burnside Road
Giffnock,
East Renfrewshire,
G46 6TT
Project

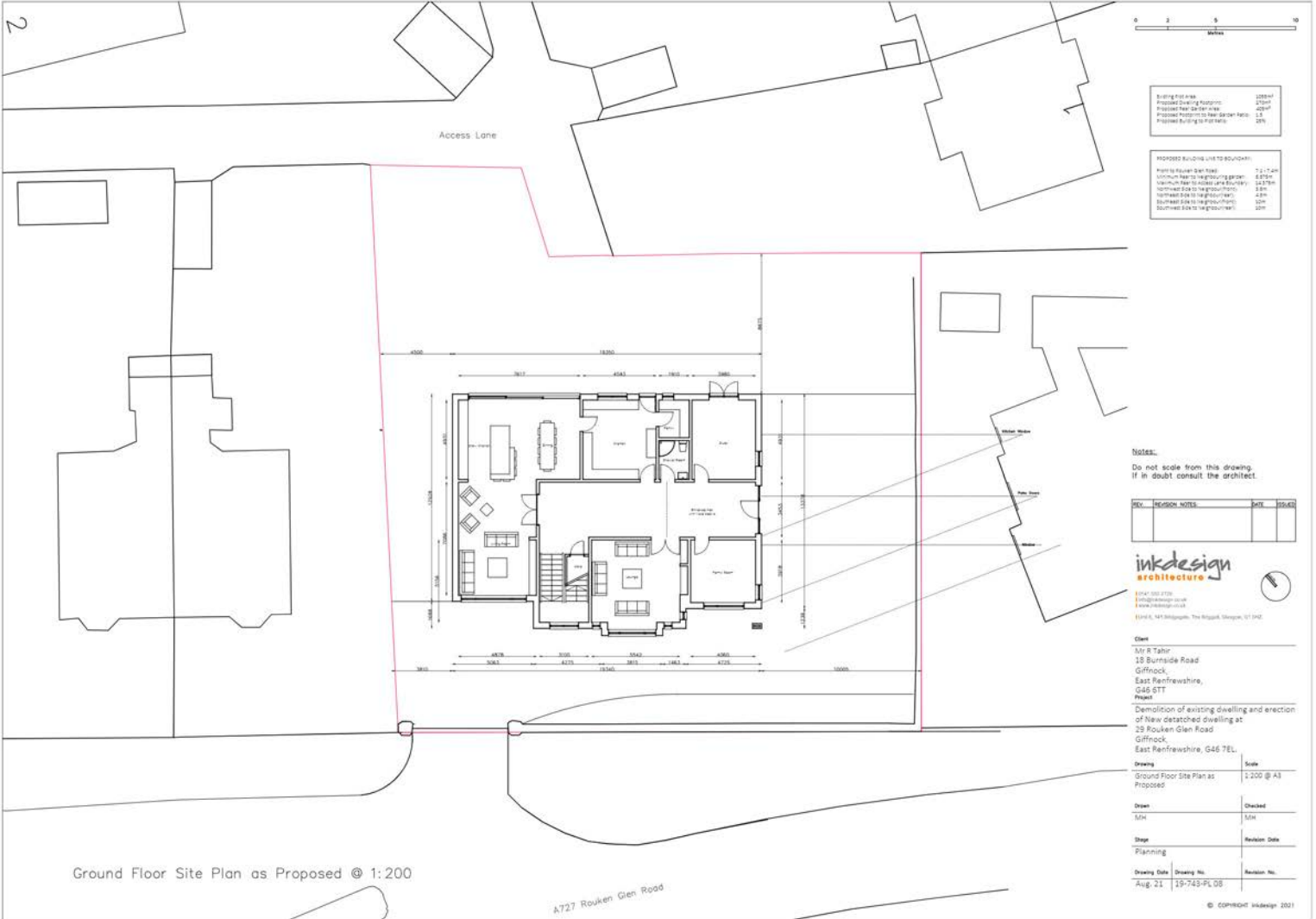
Demolition of existing dwelling and erection of New detached dwelling at 29 Rouken Glen Road Giffnock, East Renfrewshire, G46 7EL

Drawing Scale
Topographic Ground Floor Site Plan as Proposed 1:200 @ A3

Drawn	Checked
MH	MH
Disc	Revision Date
Planning	Revision No.
Drawing Date	Drawing No.
Aug. 21	19-743-PL 07

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Topographic Ground Floor Site Plan as Proposed @ 1:200



Building Footprint	1000sq
Proposed Dwelling Footprint	270sq
Proposed New Access Area	20sq
Proposed Footpath to New Access Area	10sq
Proposed Building to Footpath	20sq

PROPOSED BUILDING LINE TO BOUNDARY:	
Front Boundary to Access Lane	7.51m
Left Boundary to Neighbouring Garden	8.87m
Left Boundary to Neighbouring Garden	10.77m
Right Boundary to Neighbouring Garden	8.8m
Right Boundary to Neighbouring Garden	4.8m
Back Boundary to Neighbouring Garden	10m
Back Boundary to Neighbouring Garden	10m

Notes:
Do not scale from this drawing.
If in doubt consult the architect.

REV	REVISION	NOTES	DATE	BY/CHKD



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10747 100 2700
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10747 100 2700, The Regatta, Glasgow, G7 1PQ

Client:
Sir R Tahir
18 Burnside Road
Giffnock,
East Renfrewshire,
G46 5TT

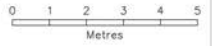
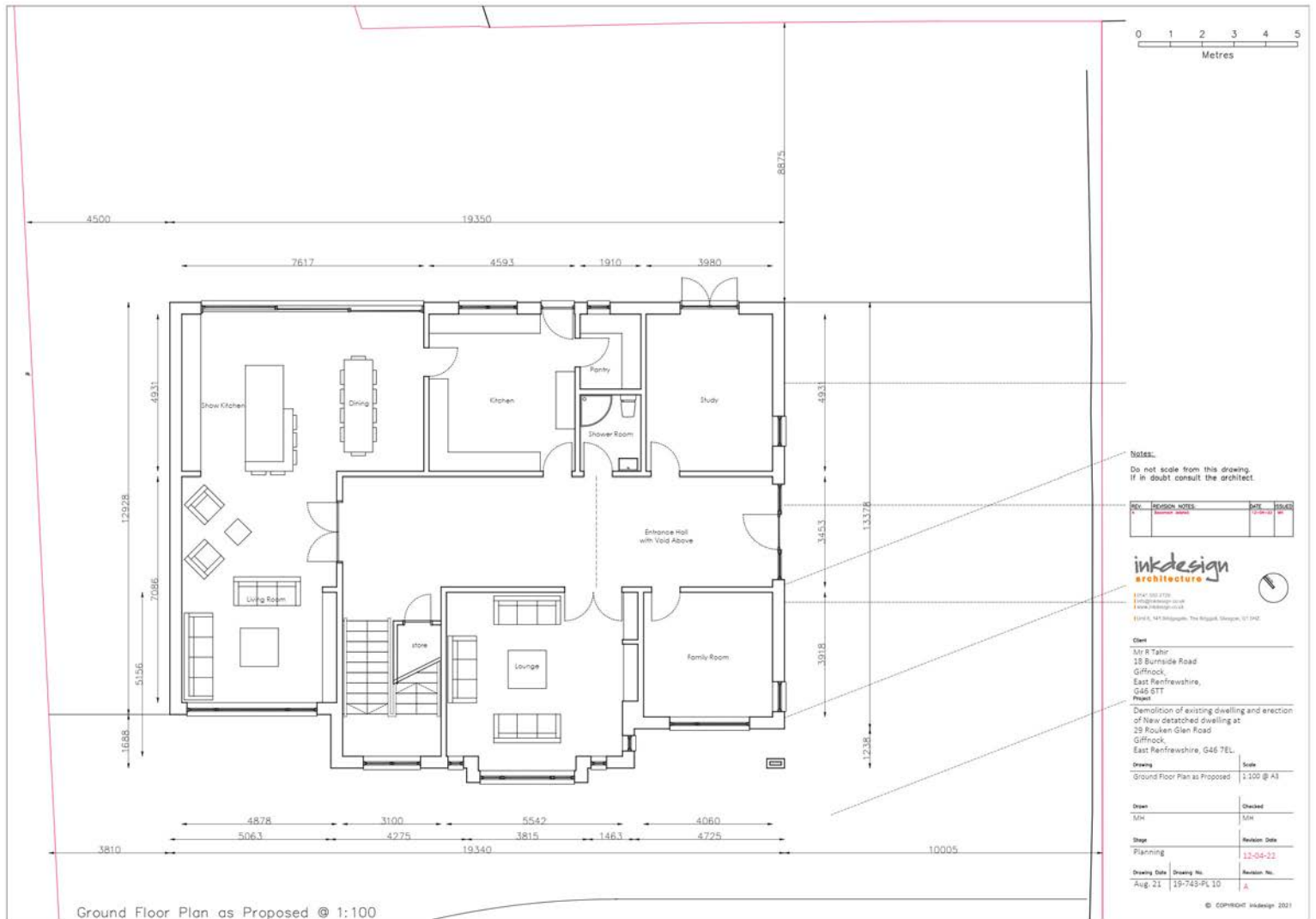
Project:
Demolition of existing dwelling and erection of New detached dwelling at 19 Rouken Glen Road Giffnock, East Renfrewshire, G46 7EL.

Drawing:	Scale:
Ground Floor Site Plan as Proposed	1:200 @ A3

Drawn:	Checked:
SMH	SMH

Stage:	Revision:	Date:
Planning		

Drawing Date:	Drawing No.:	Revision No.:
Aug. 21	19-743-PL 08	



Notes:
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If in doubt consult the architect.

REV	REVISION NOTES	DATE	BY
1	Issue for approval	12/04/22	SM



Client
Mr R Tahir
18 Burnside Road
Giffnock,
East Renfrewshire,
G46 5TT

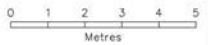
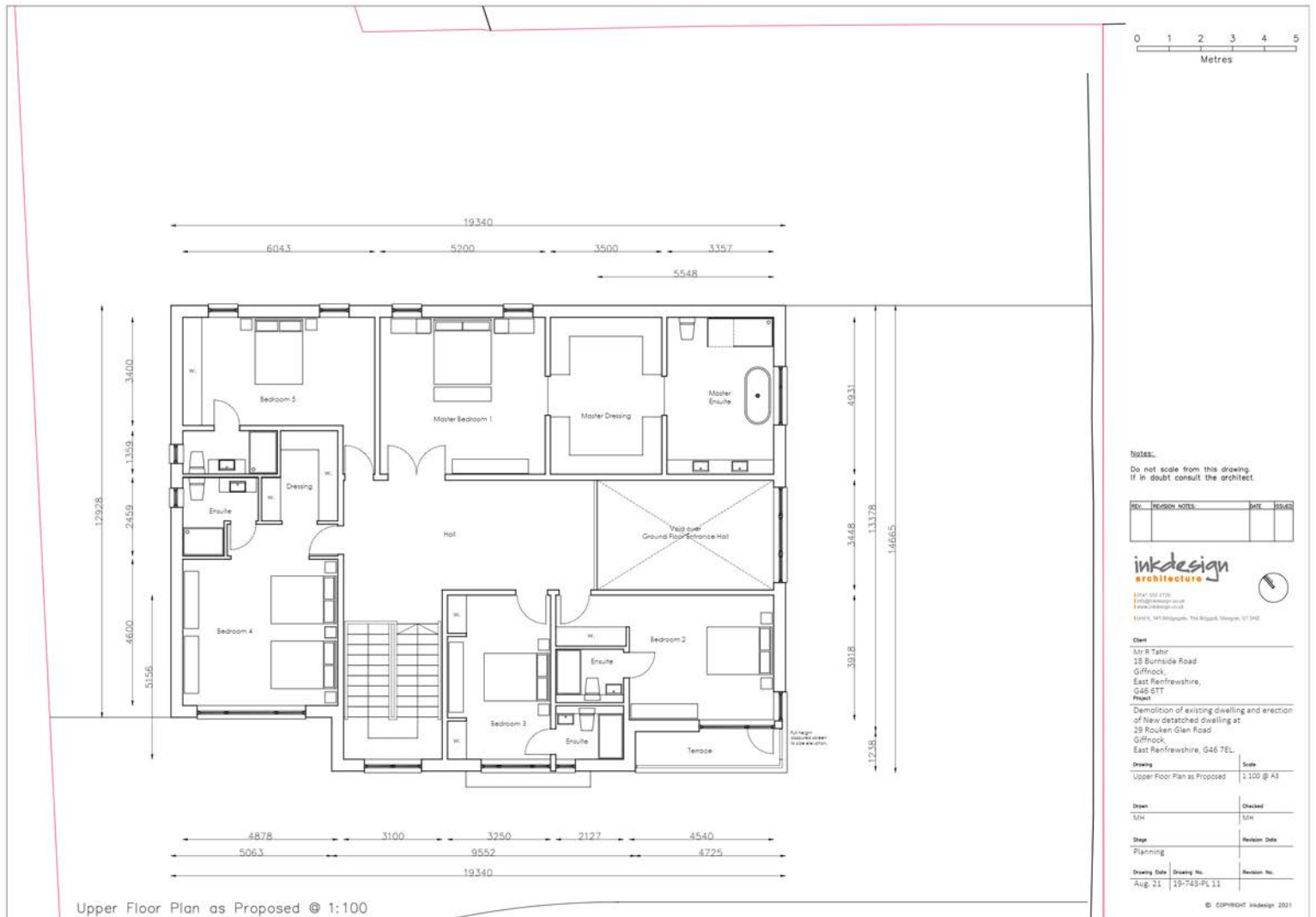
Project
Demolition of existing dwelling and erection
of New detached dwelling at
29 Rouken Glen Road
Giffnock,
East Renfrewshire, G46 7EL.

Drawing **Scale**
Ground Floor Plan as Proposed 1:100 @ A3

Drawn **Checked**
SM SM

Stage **Revision Date**
Planning 12-04-22

Drawing Date **Drawing No.** **Revision No.**
Aug. 21 19-743-PL 10 A



Notes:
 Do not scale from this drawing.
 If in doubt consult the architect.

REV	REVISION NOTES	DATE	BY/CHKD

inkdesign
 architects

01747 300 0700
 2000 Burnside Road
 Giffnock, Glasgow G46 7EL
 www.inkdesign.co.uk

Client:
 Mr R Tahir
 18 Burnside Road
 Giffnock,
 East Renfrewshire,
 G46 5TT
 Glasgow

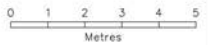
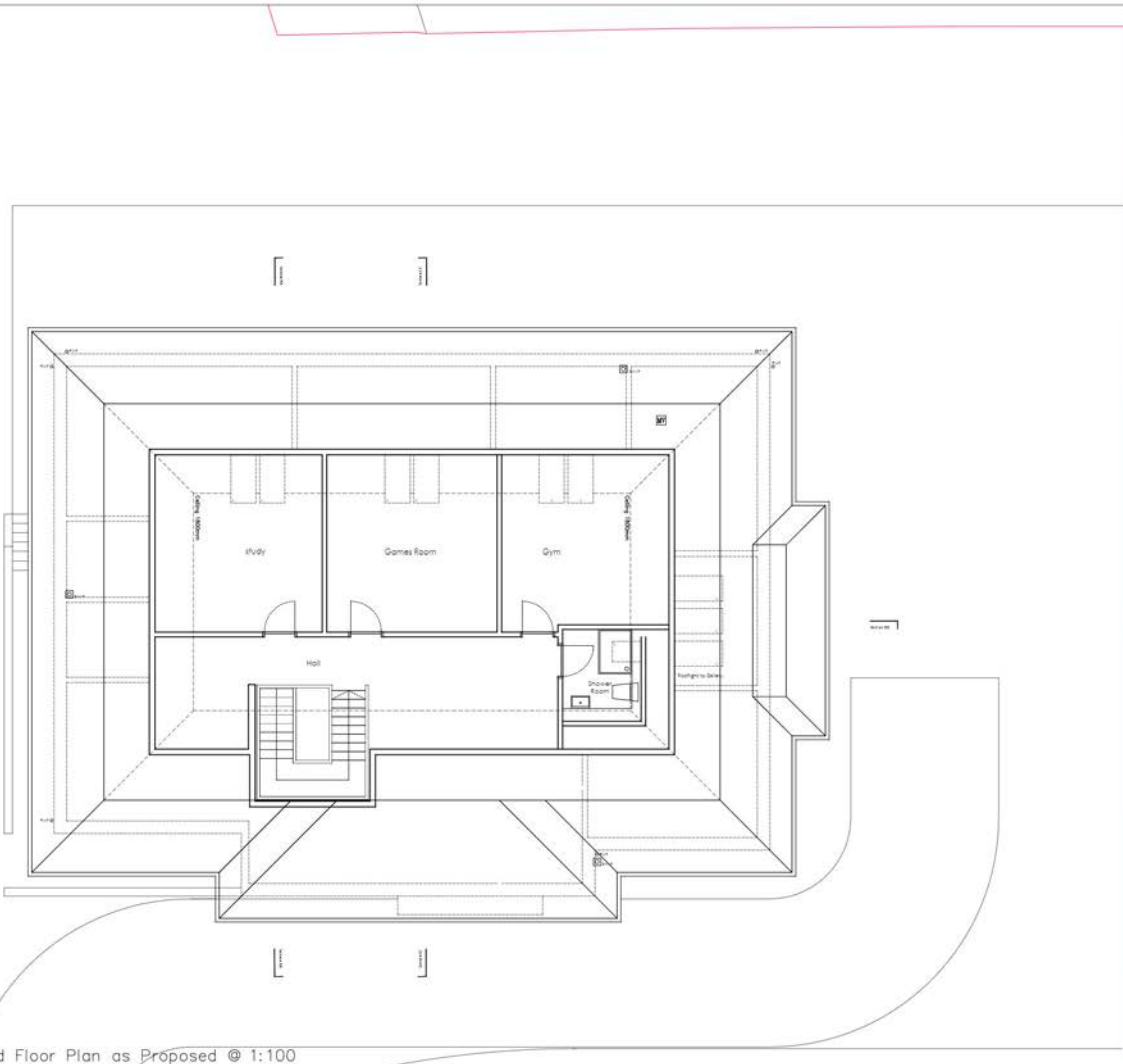
Demolition of existing dwelling and erection of New detached dwelling at 18 Rouken Glen Road Giffnock, East Renfrewshire, G46 7EL.

Drawing	Scale
Upper Floor Plan as Proposed	1:100 @ A3

Drawn	Checked
SMH	SMH

Stage	Revision Date
Planning	

Drawing Date	Drawing No.	Revision No.
Aug. 21	19-743-PL 11	



Notes:
Do not scale from this drawing.
If in doubt consult the architect.

REV	REVISION NOTES	DATE	BY

inkdesign
architecture

01747 300 070
01747 300 070
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10th Fl, 141 Oldgate, The Regent, Glasgow, G1 1JG

Client
Mr R Tahir
18 Burnside Road
Giffnock,
East Renfrewshire,
G46 5TT
Project

Demolition of existing dwelling and erection of New detached dwelling at 19 Rouken Glen Road Giffnock, East Renfrewshire, G46 7EL.

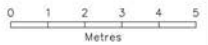
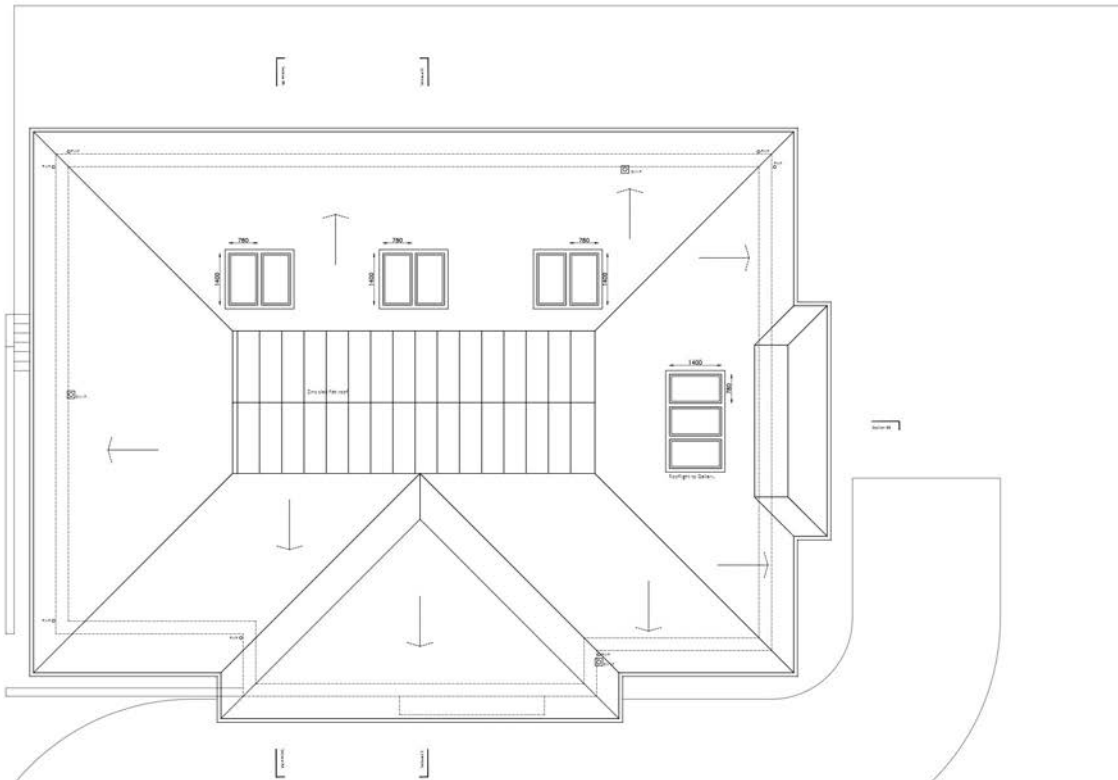
Drawing	Scale
Second Floor Plan as Proposed	1:100 @ A3

Drawn	Checked
SM	SM

Stage	Revision Date
Planning	12-04-22

Drawing Date	Drawing No.	Revision No.
Aug. 21	19-743-PL 12	A

Second Floor Plan as Proposed @ 1:100



Notes:
Do not scale from this drawing.
If in doubt consult the architect.

REV	REVISION NOTES	DATE	BY
1	For approval	28-02-22	SM

inkdesign architecture

01747 300 2770
 200 Burnside Road
 Giffnock, Glasgow G46 7EL
 Email: info@inkdesign.co.uk
 Website: www.inkdesign.co.uk

Client:
 Mr R Tahir
 18 Burnside Road
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 East Renfrewshire,
 G46 7EL

Project:
 Demolition of existing dwelling and erection
 of New detached dwelling at
 18 Rouken Glen Road
 Giffnock,
 East Renfrewshire, G46 7EL.

Drawing	Scale
Roof Plan as Proposed	1:100 @ A3

Drawn	Checked
SM	SM

Stage	Revision Date
Planning	28-02-22

Drawing Date	Drawing No.	Revision No.
Aug. 21	19-743-PL 13	A

Roof Plan as Proposed © 1:100



South-West (Front) Elevation as Proposed @ 1:200

Notes:
Do not scale from this drawing.
If in doubt consult the architect.

REV	REVISION NOTES	DATE	BY
0	Issue for planning	12-04-22	SM

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G46 5TT
Project
Demolition of existing dwelling and erection
of New detached dwelling at
19 Rouken Glen Road
Giffnock,
East Renfrewshire, G46 7EL.

Drawing	Scale
Front and Side Elevations as Proposed	1:200 @ A3

Drawn	Checked
SMH	SMH

Stage	Revision Date
Planning	12-04-22
Drawing Date	Revision No.
Aug. 21	19-743-PL 14



South-East (Side) Elevation as Proposed @ 1:200



North-East (Rear) Elevation as Proposed @ 1:200



North-West (Side) Elevation as Proposed @ 1:200

Notes:
Do not scale from this drawing.
If in doubt consult the architect.

REV	REVISION NOTES	DATE	BY
1	Final design approval	12-04-22	SM

inkdesign
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01747 300 0700
01206260000@inkdesign.co.uk
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12th Floor, 141 Whitehall, The Square, Glasgow, G1 7PD

Client
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Project
Demolition of existing dwelling and erection
of New detached dwelling at
19 Rouken Glen Road
Giffnock,
East Renfrewshire, G46 7EL.

Drawing
Rear and Side Elevations as
Proposed

Scale
1:200 @ A3

Drawn
SMH

Checked
SMH

Stage
Planning

Revision Date
12-04-22

Drawing Date
Aug. 21

Drawing No.
19-743-PL 15

Revision No.
B



Contextual South-West (Front) Elevation as Existing @ 1:200

Notes.
Do not scale from this drawing.
If in doubt consult the architect.

REV.	REVISION NOTES	DATE	BY/NO.

inkdesign
architecture

0147 622 2729
1 Highbridge Road
Farnborough GU14 7JH
0147 622 2729, The Bridge Studios, 111-113

Client
Mr & Mrs
18 Burnside Road
Giffnock,
East Renfrewshire,
G46 6TT
Project

Demolition of existing dwelling and erection
of New detached dwelling at
29 Roulen Glen Road
Giffnock,
East Renfrewshire, G46 7EL

Drawing Scale
Contextual Elevation to Roulen
Glen Road as Existing 1:200 @ A3

Drawn	Checked	
MH	MH	
Drawn	Revision Date	
Planning		
Drawing Date	Drawing No.	Revision No.
Aug. 21	19-743-PL 16	



Contextual South-West (Front) Elevation as Proposed @ 1:200

Notes:
Do not scale from this drawing.
If in doubt consult the architect.

REV.	REVISION NOTES	DATE	BY
1	For Planning & Building Control	12-04-22	SM

inkdesign
architecture

01747 300 2700
01203 600000
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10th Fl, 141 Oldgate, The Regent, Glasgow, G1 1JG

Client
Mr R Tahir
18 Burnside Road
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East Renfrewshire,
G46 6TT

Project
Demolition of existing dwelling and erection of New detached dwelling at 29 Rouken Glen Road Giffnock, East Renfrewshire, G46 7EL.

Drawing
Contextual Elevation to Rouken Glen Road as Proposed

Scale
1:200 @ A3

Drawn
SM

Checked
SM

Stage
Planning

Revision Date
12-04-22

Drawing Date
Aug. 21

Drawing No.
19-743-PL 17

Revision No.
A

Existing Plot width at Street Frontage	=	32750mm		
Existing Building width at Street Frontage	=	14625mm	% Ratio of Building to Plot Width	45%
Proposed Building width at Street Frontage	=	18350mm	% Ratio of Building width to Plot width	56%

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PLANS/DRAWINGS

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Contextual South-West (Front) Elevation as Existing @ 1:200

Notes:

Do not scale from this drawing.
If in doubt consult the architect.

REV.	REVISION NOTES:	DATE	ISSUED



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18 Burnside Road
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East Renfrewshire,
G46 6TT
Project

Demolition of existing dwelling and erection
of New detached dwelling at
29 Rouken Glen Road
Giffnock,
East Renfrewshire, G46 7EL.

Drawing	Scale
Contextual Elevation to Rouken Glen Road as Existing	1:200 @ A3

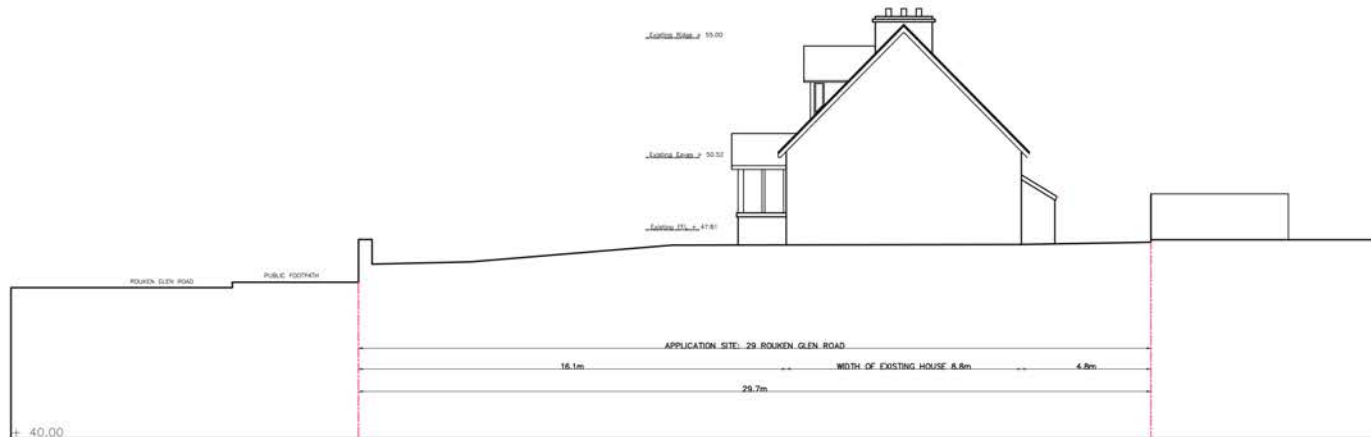
Drawn	Checked
MH	MH

Stage	Revision Date
Planning	

Drawing Date	Drawing No.	Revision No.
Aug. 21	19-743-PL 16	



Contextual South-West (Front) Elevation as Existing @ 1:200



South-East (Side) Elevation as Existing @ 1:200

Existing Plot width at Street Frontage - 32750mm
 Existing Building width at Street Frontage - 14600mm - %Ratio of Building to Plot Width :45%

Notes:

Do not scale from this drawing.
 If in doubt consult the architect.

REV.	REVISION NOTES	DATE	ISSUED

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 architecture



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Client
 Mr R Tahir
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 Giffnock,
 East Renfrewshire,
 G46 6TT
 Project

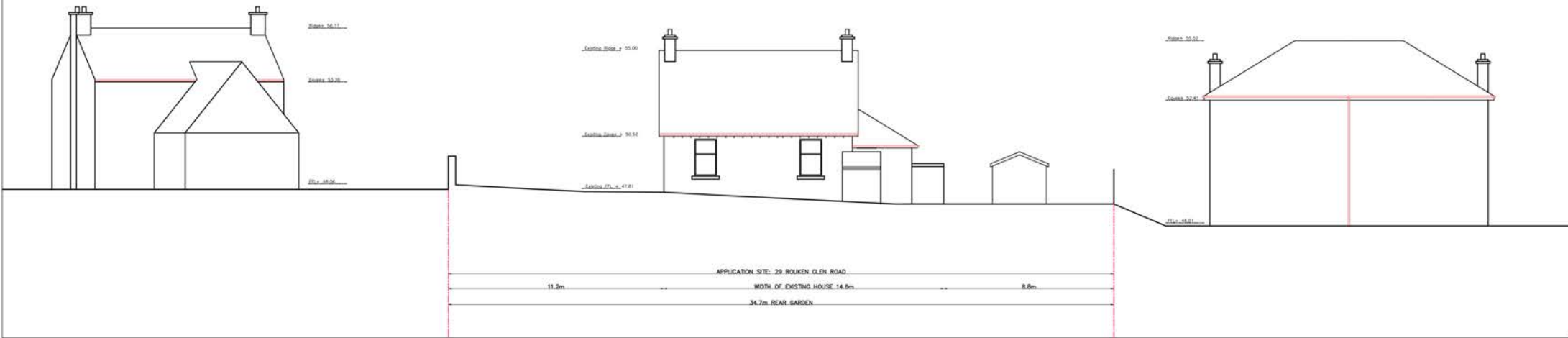
Demolition of existing dwelling and erection
 of New detached dwelling at
 29 Rouken Glen Road
 Giffnock,
 East Renfrewshire, G46 7EL.

Drawing Scale
 Front and Side Elevations as Existing 1:200 @ A3

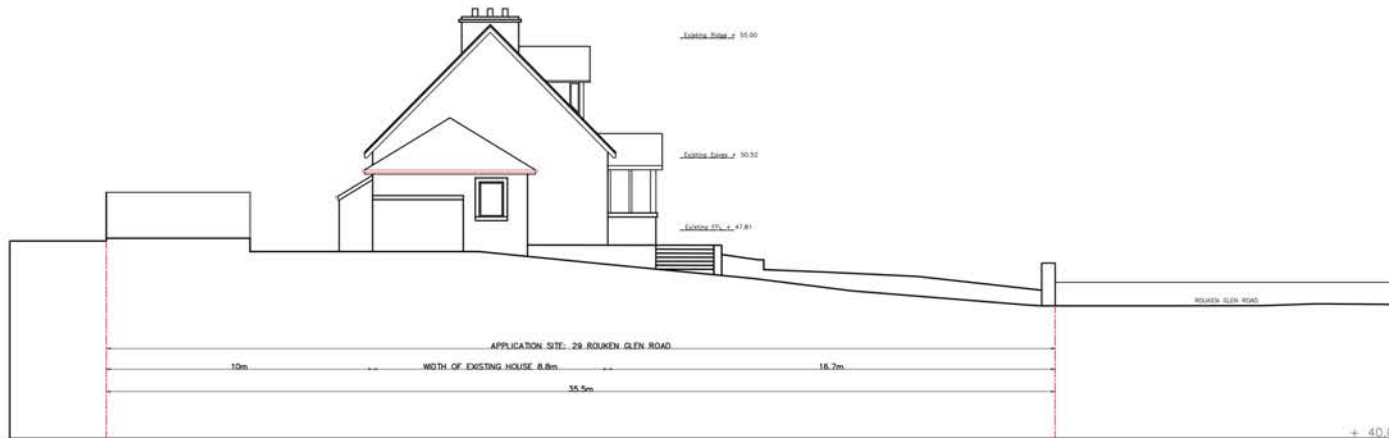
Drawn Checked
 MH MH

Stage Revision Date
 Planning

Drawing Date Drawing No. Revision No.
 Aug. 21 19-743-PL 04



Contextual North-East (Rear) Elevation as Existing @ 1:200



North-West (Side) Elevation as Existing @ 1:200

Existing Plot width at Street Frontage	-	32750mm	
Existing Building width at Street Frontage	-	14600mm	%Ratio of Building to Plot Width :45%

Notes:

Do not scale from this drawing.
If in doubt consult the architect.

REV.	REVISION NOTES	DATE	ISSUED

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Giffnock,
East Renfrewshire,
G46 6TT
Project

Demolition of existing dwelling and erection of New detached dwelling at 29 Rouken Glen Road Giffnock, East Renfrewshire, G46 7EL.

Drawing Scale

Rear and Side Elevations as Existing 1:200 @ A3

Drawn Checked
MH MH

Stage Revision Date

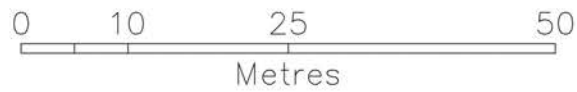
Planning

Drawing Date Drawing No. Revision No.

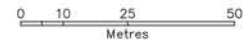
Aug. 21 19-743-PL 05



Site Plan as Existing @ 1:500



Location Plan as Existing @ 1:1250



Existing Plot Area:	1055m ²
Existing Dwelling Footprint:	115m ²
Existing Garage Footprint:	15m ²
Existing Rear Garden Area:	377m ²
Existing Footprint to Rear Garden Ratio:	3.27
Existing building to plot ratio:	12.5%

Notes:

Do not scale from this drawing.
If in doubt consult the architect.

REV.	REVISION NOTES	DATE	ISSUED

inkdesign
architecture

0141 502 2729
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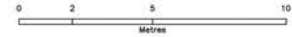
Unit 8, 141 Bridgegate, The Briggate, Glasgow, G1 5HZ

Client
 Mr R Tahir
 18 Burnside Road
 Giffnock,
 East Renfrewshire,
 G46 6TT
 Project

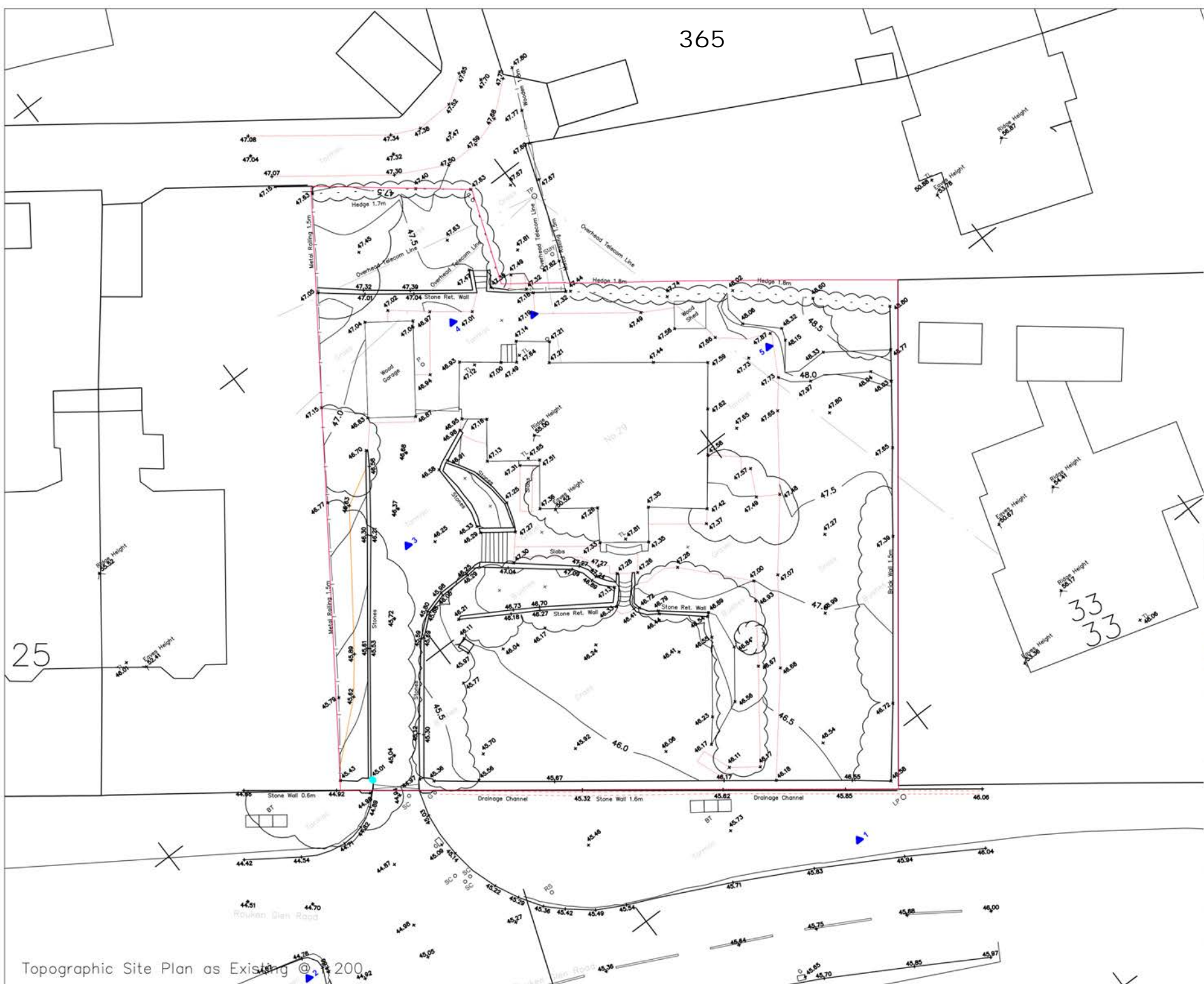
Demolition of existing dwelling and erection
 of New detached dwelling at
 29 Rouken Glen Road
 Giffnock,
 East Renfrewshire, G46 7EL.

Drawing	Scale	
Site and Location Plans as Existing	500 / 1250 @ A3	
Drawn	Checked	
MH	MH	
Stage	Revision Date	
Planning		
Drawing Date	Drawing No.	Revision No.
Aug. 21	19-743-PL 02	

365



Existing Plot Area:	1055m ²
Existing Dwelling Footprint:	115m ²
Existing Garage Footprint:	15m ²
Existing Rear Garden Area:	377m ²
Existing Footprint to Rear Garden Ratio:	3.27
Existing building to plot ratio:	12.5%



Notes:
Do not scale from this drawing.
If in doubt consult the architect.

REV.	REVISION NOTES:	DATE	ISSUED

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architecture

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Unit 6, 141 Briggate, The Briggall, Glasgow, G1 5JZ

Client:
Mr R Tahir
18 Burnside Road
Giffnock,
East Renfrewshire,
G46 6TT
Project:
Demolition of existing dwelling and erection
of New detached dwelling at
29 Rouken Glen Road
Giffnock,
East Renfrewshire, G46 7EL.

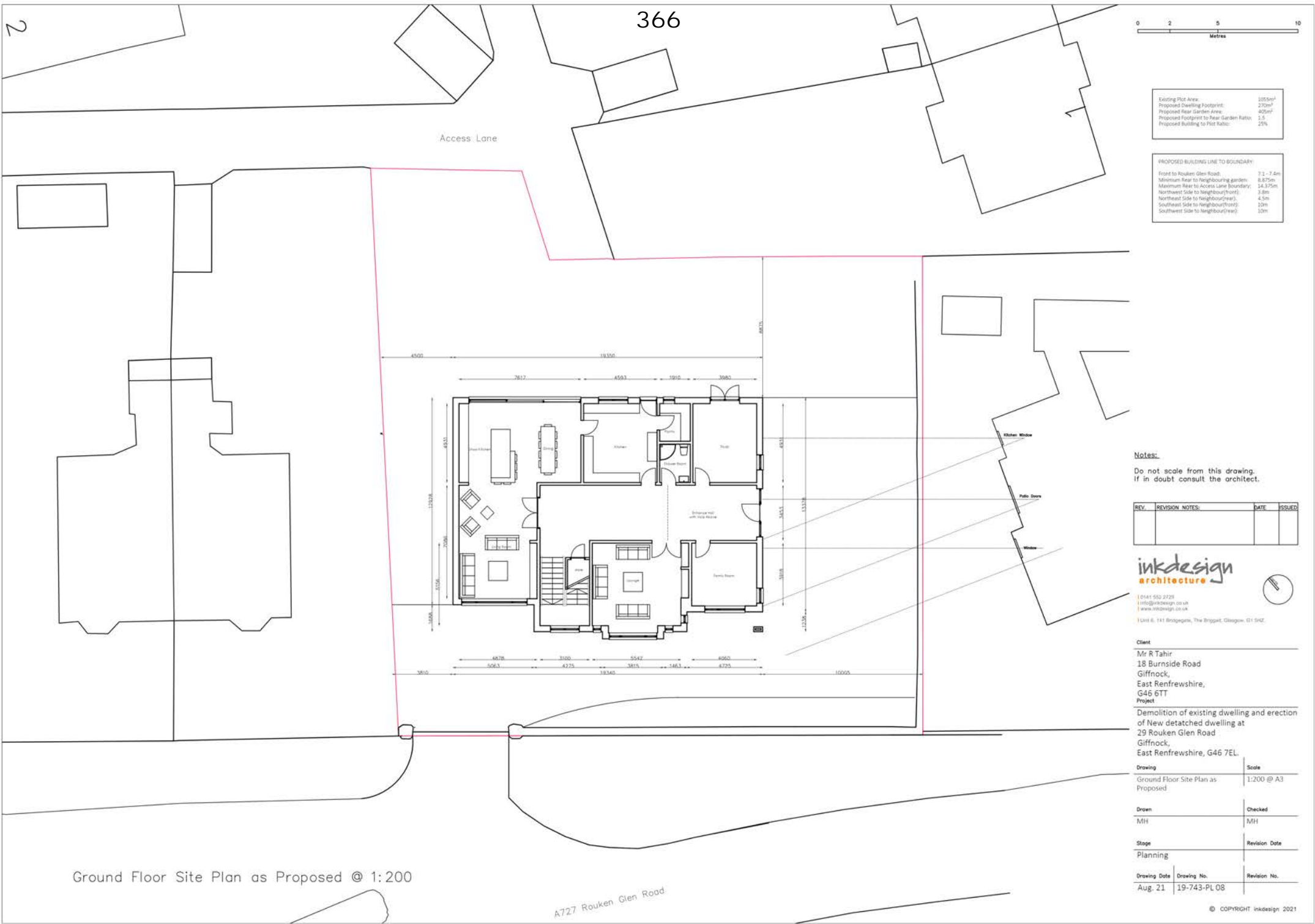
Drawing: Topographic Site Plan as Existing
Scale: 1:200 @ A3

Drawn: MH	Checked: MH
Stage: Planning	Revision Date:
Drawing Date: Aug. 21	Drawing No.: 19-743-PL 03
	Revision No.:

25

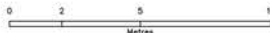
33
33

Topographic Site Plan as Existing © 200



2

366



Access Lane

Existing Plot Area:	225.5m ²
Proposed Dwelling Footprint:	270m ²
Proposed Rear Garden Area:	405m ²
Proposed Footprint to Rear Garden Ratio:	1.5
Proposed Building to Plot Ratio:	25%

PROPOSED BUILDING LINE TO BOUNDARY:	
Front to Rouken Glen Road:	7.1 - 7.4m
Minimum Rear to Neighbouring garden:	8.875m
Minimum Rear to Access Lane boundary:	14.35m
Northwest Side to Neighbour(front):	3.8m
Northwest Side to Neighbour(rear):	4.5m
Southeast Side to Neighbour(front):	12m
Southeast Side to Neighbour(rear):	10m

Notes:
Do not scale from this drawing.
If in doubt consult the architect.

REV	REVISION NOTES	DATE	ISSUED

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Client
Mr R Tahir
18 Burnside Road
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G46 6TT
Project

Demolition of existing dwelling and erection
of New detached dwelling at
29 Rouken Glen Road
Giffnock,
East Renfrewshire, G46 7EL.

Drawing	Scale
Ground Floor Site Plan as Proposed	1:200 @ A3

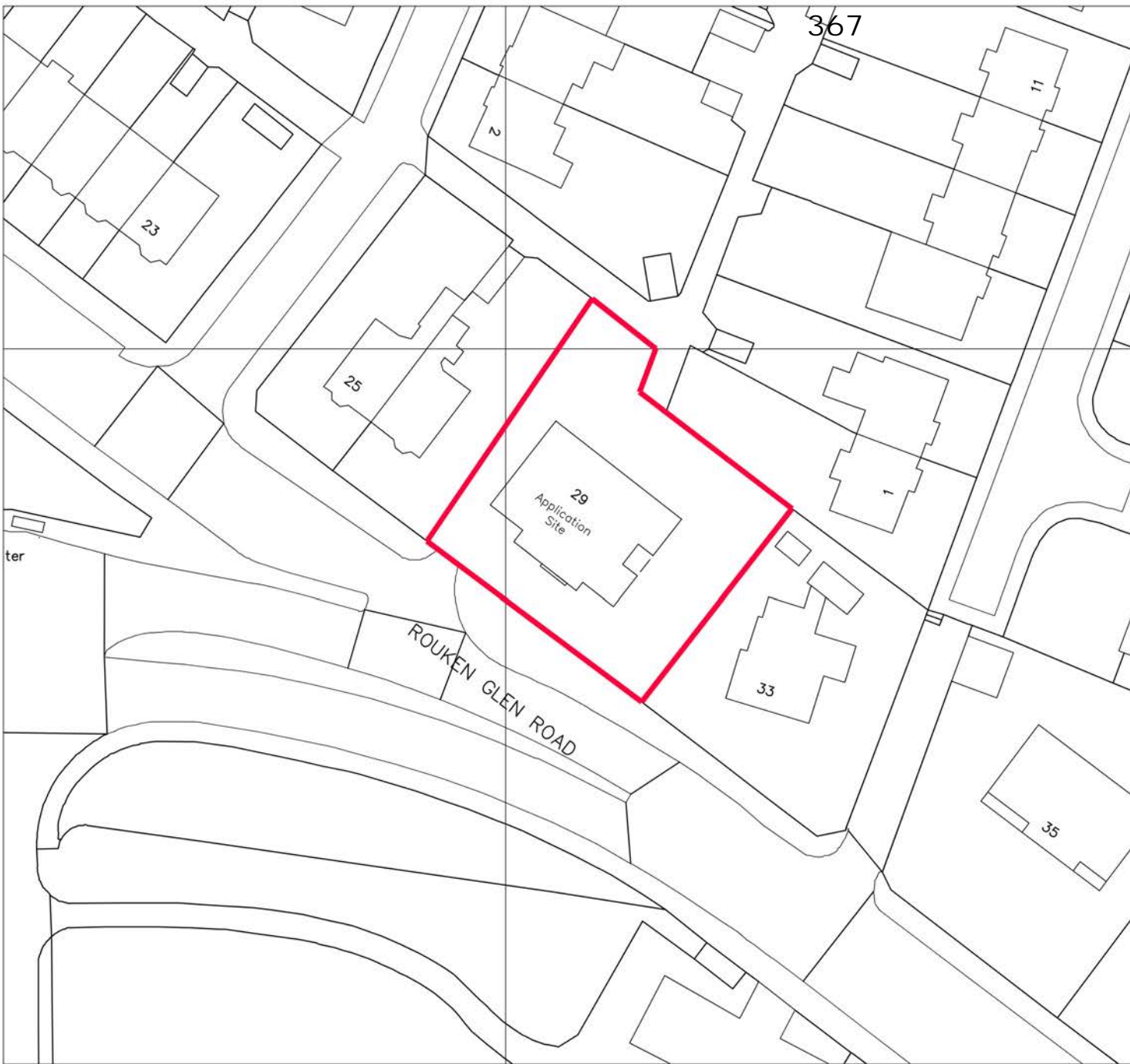
Drawn	Checked
MH	MH

Stage	Revision Date
Planning	

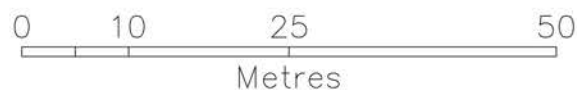
Drawing Date	Drawing No.	Revision No.
Aug. 21	19-743-PL 08	

Ground Floor Site Plan as Proposed @ 1:200

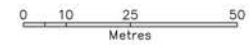
A727 Rouken Glen Road



Site Plan as Proposed @ 1:500



Location Plan as Proposed @ 1:1250



Existing Plot Area:	105m ²
Proposed Dwelling Footprint:	270m ²
Proposed Rear Garden Area:	405m ²
Proposed Footprint to Rear Garden Ratio:	1:5
Proposed Building to Plot Ratio:	25%

Notes:

Do not scale from this drawing.
If in doubt consult the architect.

REV.	REVISION NOTES:	DATE	ISSUED

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architecture

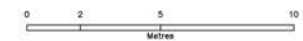
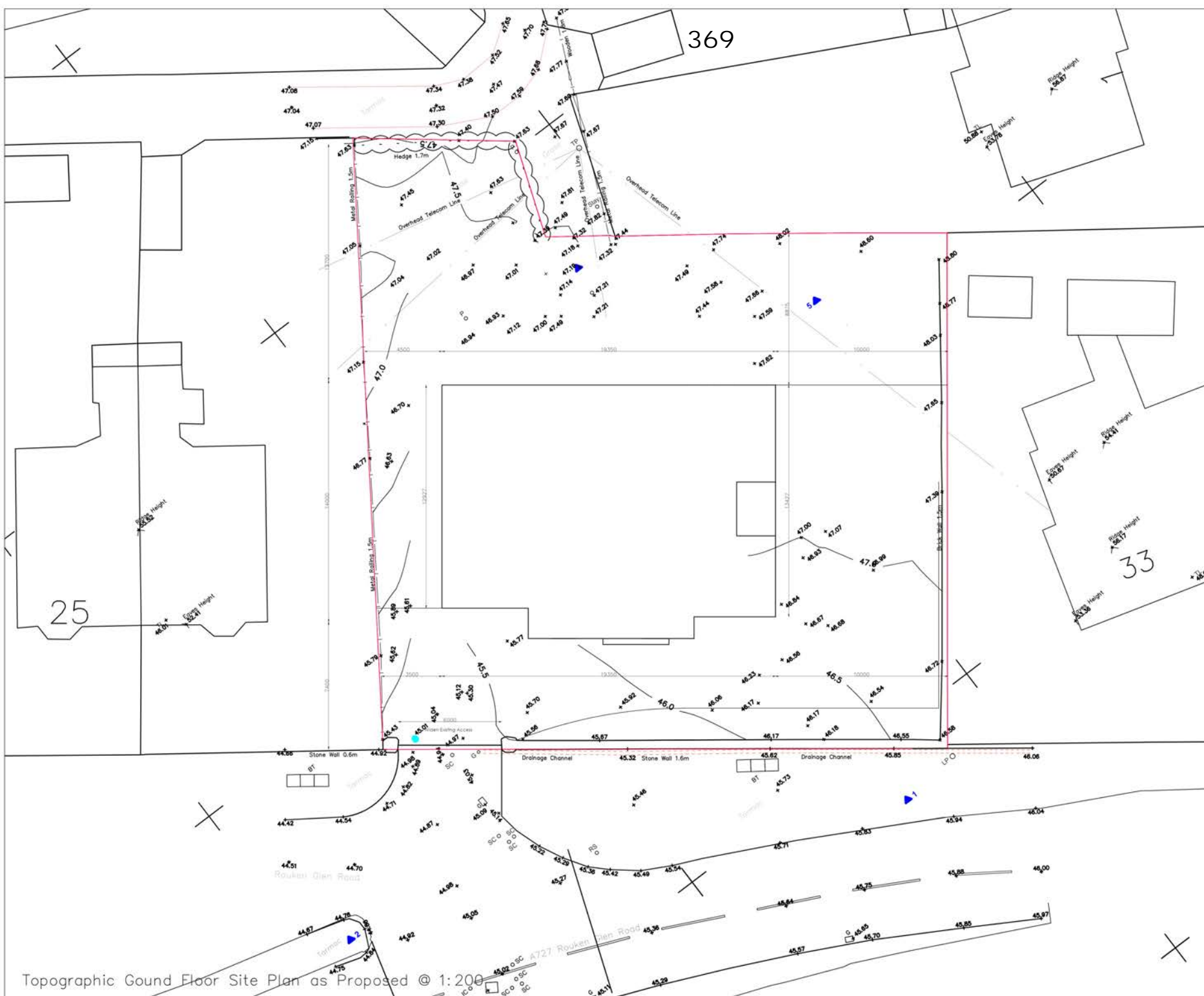
0141 552 2729
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Client
 Mr R Tahir
 18 Burnside Road
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 East Renfrewshire,
 G46 6TT
Project

Demolition of existing dwelling and erection
 of New detached dwelling at
 29 Rouken Glen Road
 Giffnock,
 East Renfrewshire, G46 7EL.

Drawing	Scale
Site and Location Plans as Proposed	500 / 1250 @ A3
Drawn	Checked
MH	MH
Stage	Revision Date
Planning	

Drawing Date	Drawing No.	Revision No.
Aug. 21	19-743-PL 06	



Existing Plot Area:	1255m ²
Proposed Dwelling Footprint:	270m ²
Proposed Rear Garden Area:	405m ²
Proposed Footprint to Rear Garden Ratio:	1.5
Proposed Building to Plot Ratio:	25%

PROPOSED BUILDING LINE TO BOUNDARY:	
Front to Rouken Glen Road:	7.1 - 7.4m
Minimum Rear to Neighbouring garden:	8.875m
Maximum Rear to Access Lane Boundary:	14.375m
Northwest Side to Neighbour(front):	3.8m
Northwest Side to Neighbour(rear):	4.5m
Southeast Side to Neighbour(front):	10m
Southeast Side to Neighbour(rear):	10m

Notes:
Do not scale from this drawing.
If in doubt consult the architect.

REV.	REVISION NOTES:	DATE	ISSUED

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Client
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Project

Demolition of existing dwelling and erection of New detached dwelling at 29 Rouken Glen Road Giffnock, East Renfrewshire, G46 7EL.

Drawing	Scale
Topographic Ground Floor Site Plan as Proposed	1:200 @ A3

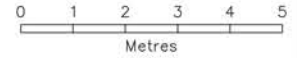
Drawn	Checked
MH	MH

Stage	Revision Date
Planning	

Drawing Date	Drawing No.	Revision No.
Aug. 21	19-743-PL 07	

Topographic Ground Floor Site Plan as Proposed @ 1:200

370



Notes:
Do not scale from this drawing.
If in doubt consult the architect.

REV	REVISION NOTES	DATE	ISSUED
A	Revised Detail	12-04-22	MH

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G46 6TT
Project

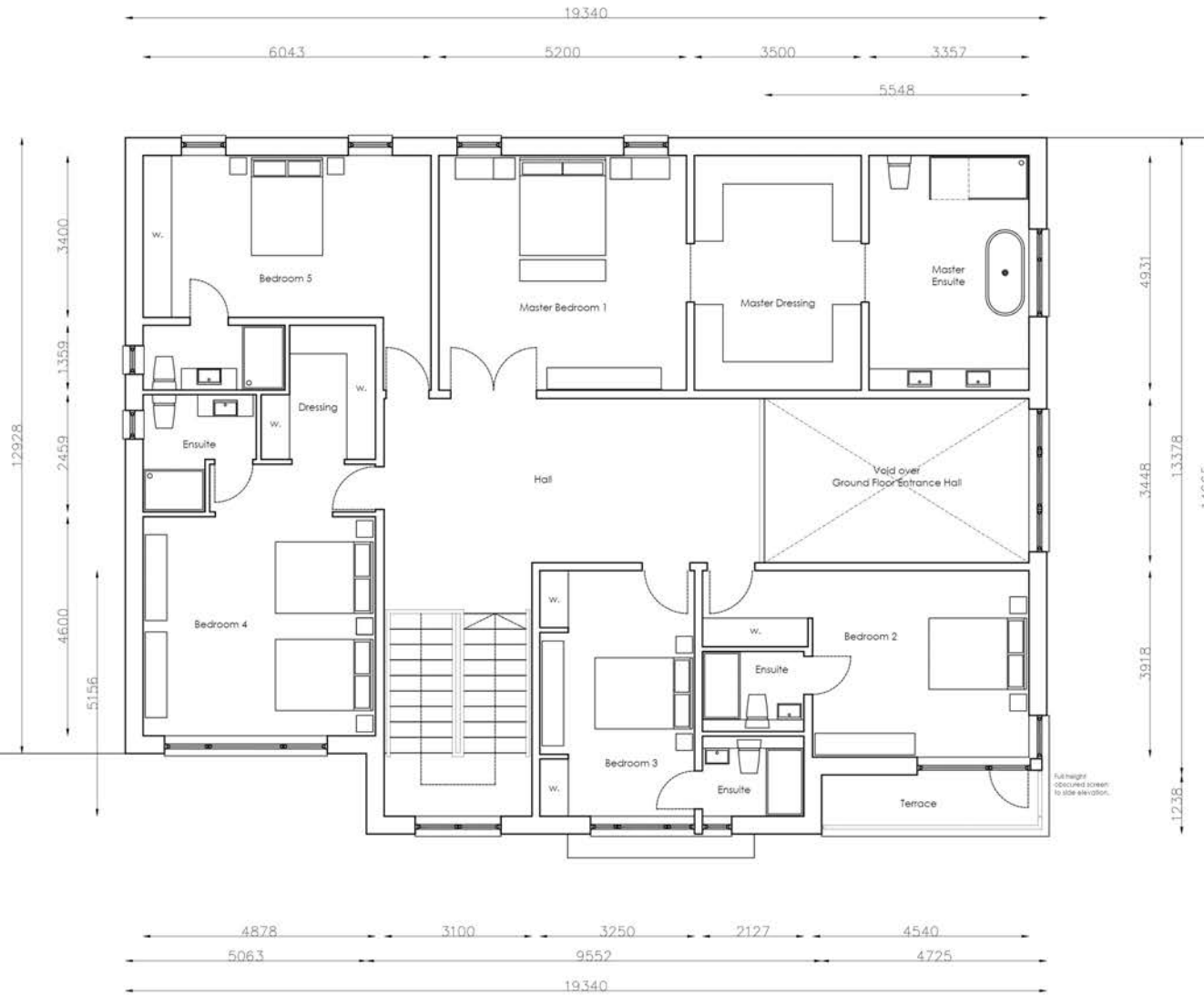
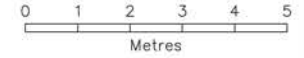
Demolition of existing dwelling and erection
of New detached dwelling at
29 Rouken Glen Road
Giffnock,
East Renfrewshire, G46 7EL.

Drawing	Scale
Ground Floor Plan as Proposed	1:100 @ A3

Drawn	Checked
MH	MH

Stage	Revision Date
Planning	12-04-22

Drawing Date	Drawing No.	Revision No.
Aug. 21	19-743-PL 10	A



Notes:

Do not scale from this drawing.
If in doubt consult the architect.

REV.	REVISION NOTES:	DATE	ISSUED

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W www.inkdesign.co.uk
Unit 6, 141 Brosgate, The Briggat, Glasgow, G1 5HZ

Client:
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G46 6TT
Project

Demolition of existing dwelling and erection
of New detached dwelling at
29 Rouken Glen Road
Giffnock,
East Renfrewshire, G46 7EL.

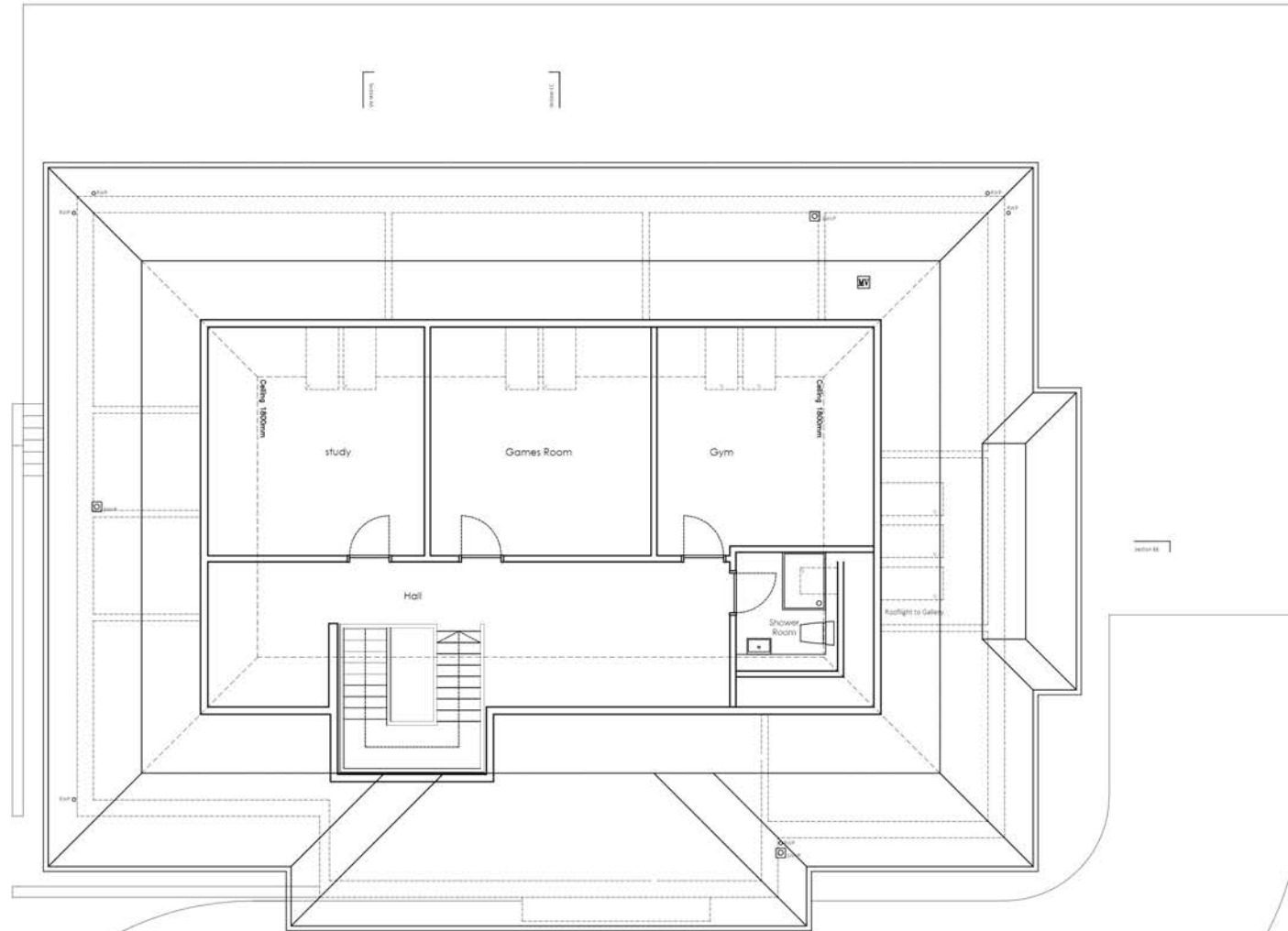
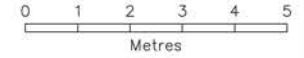
Drawing: Upper Floor Plan as Proposed
Scale: 1:100 @ A3

Drawn: MH
Checked: MH

Stage: Planning
Revision Date:

Drawing Date: Aug. 21
Drawing No: 19-743-PL 11
Revision No:

Upper Floor Plan as Proposed © 1:100



Notes:

Do not scale from this drawing.
If in doubt consult the architect.

REV	REVISION NOTES	DATE	ISSUED
A	Roof redesigned and attic plan layout amended 12-04-22	MH	

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Client
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East Renfrewshire,
G46 6TT
Project

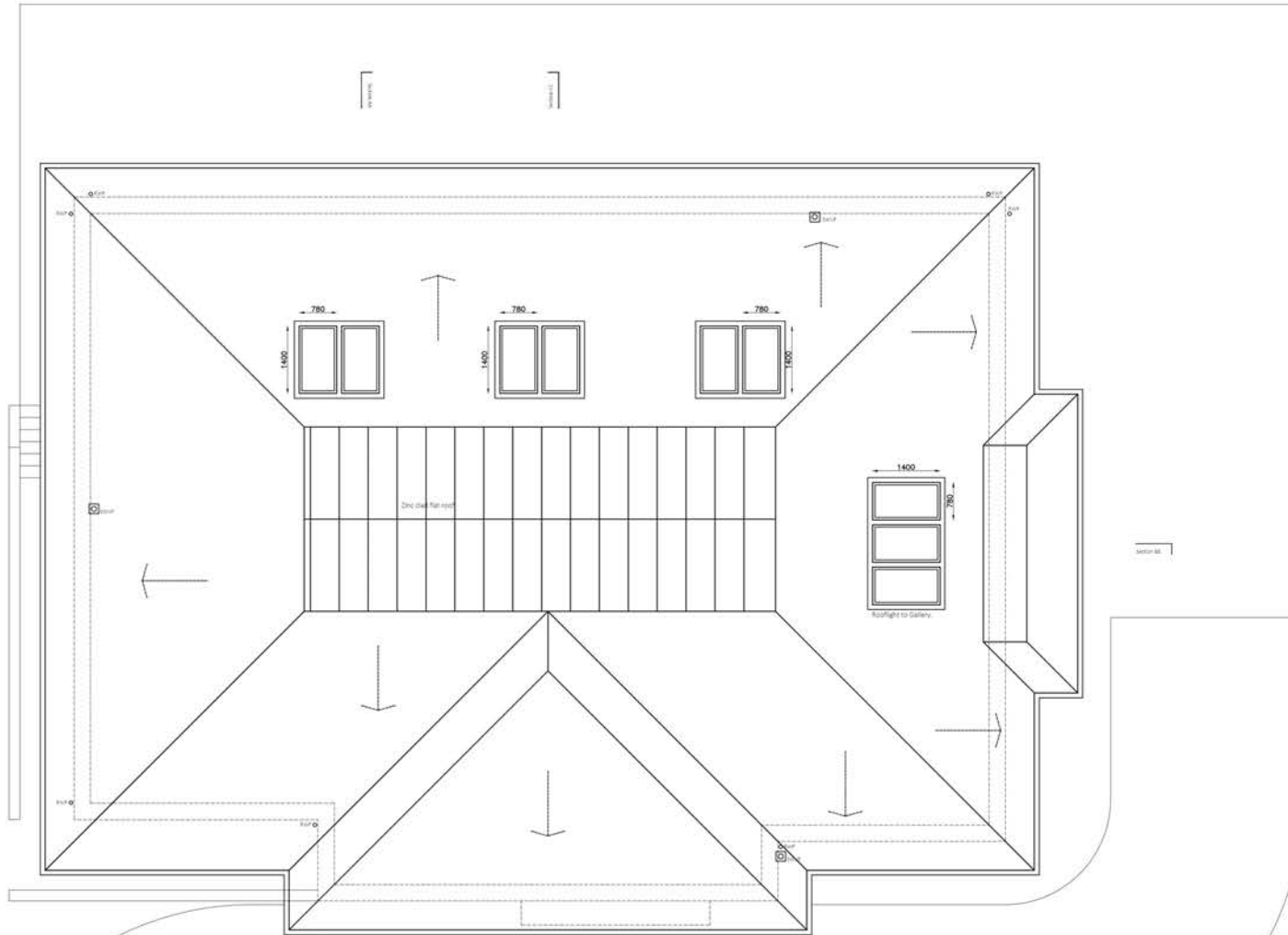
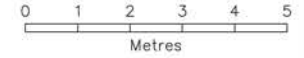
Demolition of existing dwelling and erection
of New detached dwelling at
29 Rouken Glen Road
Giffnock,
East Renfrewshire, G46 7EL

Drawing | **Scale**
Second Floor Plan as Proposed | 1:100 @ A3

Drawn | **Checked**
MH | MH

Stage | **Revision Date**
Planning | 12-04-22

Drawing Date | **Drawing No.** | **Revision No.**
Aug. 21 | 19-743-PL 12 | A



Roof Plan as Proposed @ 1:100

Notes:

Do not scale from this drawing.
If in doubt consult the architect.

REV	REVISION NOTES	DATE	ISSUED BY
A	Roof design amended.	28-02-22	MH

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18 Burnside Road
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East Renfrewshire,
G46 6TT
Project

Demolition of existing dwelling and erection
of New detached dwelling at
29 Rouken Glen Road
Giffnock,
East Renfrewshire, G46 7EL.

Drawing	Scale
Roof Plan as Proposed	1:100 @ A3

Drawn	Checked
MH	MH

Stage	Revision Date
Planning	28-02-22

Drawing Date	Drawing No.	Revision No.
Aug. 21	19-743-PL 13	A



North-East (Rear) Elevation as Proposed @ 1:200



North-West (Side) Elevation as Proposed @ 1:200

Notes:

Do not scale from this drawing.
If in doubt consult the architect.

REV	REVISION NOTES	DATE	ISSUED BY
1	Roof design amended.	28-03-22	MH
2	Roofwork deleted.	17-04-22	MH

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G46 6TT
Project

Demolition of existing dwelling and erection of New detached dwelling at 29 Rouken Glen Road Giffnock, East Renfrewshire, G46 7EL.

Drawing	Scale
Rear and Side Elevations as Proposed	1:200 @ A3

Drawn	Checked
MH	MH

Stage	Revision Date
Planning	12-04-22

Drawing Date	Drawing No.	Revision No.
Aug. 21	19-743-PL 15	B



Contextual South-West (Front) Elevation as Proposed @ 1:200

Notes:

Do not scale from this drawing.
If in doubt consult the architect.

REV	REVISION NOTES	DATE	ISSUED
A	Roof redesign & Elevation added	12-04-22	MH

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Giffnock,
East Renfrewshire, G46 7EL

Drawing	Scale
Contextual Elevation to Rouken Glen Road as Proposed	1:200 @ A3

Drawn	Checked
MH	MH

Stage	Revision Date
Planning	12-04-22

Drawing Date	Drawing No.	Revision No.
Aug. 21	19-743-PL 17	A

Existing Plot width at Street Frontage	-	32750mm		
Existing Building width at Street Frontage	-	14600mm	- Ratio of Building to Plot Width	45%
Proposed Building width at Street Frontage	-	19350mm	- Ratio of Building width to Plot width	59%